

# Ordinary Council Meeting

11 April 2023

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Shire of  
**Collie**

# MINUTES

for the

## ORDINARY MEETING OF COUNCIL

held on

**Tuesday, 14 March 2023**



## Our Vision

**Collie** - *A progressive community, rich in opportunities and as diverse as its heritage and landscape.*

## Our Values

The core values at the heart of the Council's commitment to the community are:

*Integrity*

*Transparency*

*Accountability*

*Collaboration*

*Respect*

## Our Commitment to Community

**We will** lead the delivery of our vision

**We will** support local business wherever possible

**We will** consult and engage with our community on issues that affect them

**We will** encourage, welcome and value feedback

**We will** encourage, support and advocate for our community

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Minutes for the Ordinary Meeting of the Collie Shire Council held in Council Chambers, 87 Throssell Street Collie, on Tuesday, 14 March 2023 which commenced at 7:00pm.

**1. OPENING/ATTENDANCE/APOLOGIES & LEAVE OF ABSENCE**

**PRESENT:**

Sarah Stanley	Councillor (Presiding Member)
Ian Miffing OAM JP	Councillor (Deputy Member)
John Kearney	Councillor
Joe Italiano	Councillor
Michelle Smith	Councillor
Rebecca Woods	Councillor
Gary Faries	Councillor
Elysia Harverson	Councillor
Brett Hansen	Councillor
Brent White	Councillor

Stuart Devenish	Chief Executive Officer
Matthew Young	Director Development Services
Nicole Wasmann	Director Corporate Services
Craig Yardley	Director Technical Services
Hasreen Mandry	Finance Manager
Sue Mearns	Executive Assistant

**APOLOGY:** Leonie Scoffern      Councillor

**GALLERY:**

Gael Varian  
Gretta Golubic  
Patrick Honeywill  
Nichola Polding  
Erik Mellegers  
Kym Gibson  
Dennis Gray  
Mick Murray  
Yolanda Cool

**1.1 Councillors granted Leave of Absence at previous meeting/s**  
Nil

**1.2 Councillors requesting Leave of Absence for future Ordinary Meetings of Council**

**Council Decision:**

**Resolution: 9136**

*That Council grant Cr Woods a Leave of Absence for the Ordinary Council Meeting being held on 11 April 2023.*

**Moved:**                      **Cr White**

**Seconded:**

**Cr Faries**

**CARRIED: 10/0**

**1.3 Councillors who are applying for Leave of Absence for this Ordinary Meeting of Council**

<b>Council Decision:</b>		<b>Resolution: 9137</b>	
<i>That Council grant Cr Scoffern a Leave of Absence for this Ordinary Council Meeting.</i>			
<b>Moved:</b>	<b>Cr White</b>	<b>Seconded:</b>	<b>Cr Italiano</b>
			<b>CARRIED: 10/0</b>

**2. PUBLIC QUESTION TIME**

A 15 minute public question time is made available to allow members of the public the opportunity of questioning Council on matters concerning them.

Council Consideration towards the Public:

When public questions necessitate resolutions of Council, the matter is to be dealt with immediately to allow the public to observe the determination of the matter (obviates need for the public to wait an indeterminate period of time).

**2.1 Gael Varian**

Mrs Varian asked the following three questions of Council which will be taken on notice:

1. Is it possible to install speed bumps at the end of Atkinson Road and Telfer Road?  
Response: Question taken on notice
2. Can speed signs be erected in known high speed traffic areas of Mungilup Road?  
Response: Although speed signage is regulated by Main Roads WA, the Shire will forward this request on to them for appropriate action.
3. Can shade sails be installed and maintenance conducted at the playground on Moore Street?  
The Director Corporate Services advised that this request would be put forward to Council for budget consideration for the 2023/24 financial year.

**2.2 Gretta Golubic**

Ms Golubic questioned whether a development sign be erected at Minningup Pool to notify the community of future developments and also requested information on the developers previous sites.

Response: Question in relation to previous experience of the developers was taken on notice.

Ms Golubic stated that the Shire of Collie CEO had told (Ms Golubic) that he had attended a lunch with the developers of the proposed Eco Village at Minningup Pool. Mr Devenish requested that it be recorded in the Minutes that he did not attend a lunch with the developers, but had attended a meeting with them on-site.

**2.3 Nichola Polding**

Ms Polding asked the following two questions:

1. Is the Shire of Collie committed to maintaining the 6:30am opening time for the 2023/24 swimming season and beyond?

Response: The CEO confirmed that the opening time of the pool will continue to be 6.30am on weekdays (with the exception of Public Holidays), for the 2023/24 season and beyond and that there had been no intention to change the time.

2. Is the Shire of Collie considering outsourcing to an external pool management company the operation and management of the Collie Memorial Swimming Pool for the 2023/24 season and beyond?

Response: The CEO advised that no determination, decision or even discussion has been held with regards to outsourcing the management of the Collie Mineworkers Memorial Swimming Pool.

#### 2.4 Mick Murray

Question: What, if any conversations have the Shire of Collie had with the Federal Government or Local Members to future proof Collie?

Response: The Shire President responded in the affirmative and confirmed that in addition to active participation with the Just Transition Working Group and advocacy for its membership to include Federal Government representation, numerous discussions had been held with Federal Member for O'Connor Rick Wilson, as well as presentations to Senate Select Committee delegations, a presentation to newly appointed Federal Minister for Regional Development, Local Government and Territories Kristy McBain, and discussions with representatives of the Federal Net Zero Economy Taskforce related to the challenges of our community in transitioning its economy.

Mr Murray then stated – So no direct request for assistance has been made to the Federal Government?

Response: The Shire President confirmed that the Shire had made direct contact with the Federal Government.

Mr Murray then requested to know what the Shire had asked for, giving examples of an indoor heated pool or recreation ground lighting.

Cr Stanley confirmed conversations with Federal representatives had focussed on attracting new industries to provide employment opportunities for the impacted workforce and community.

### 3. **RESPONSES TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Nil

### 4. **DISCLOSURE OF FINANCIAL INTEREST**

The Chief Executive Officer advised that Disclosures of Interest had been received from Councillors/staff as listed below:

Councillor/Staff	Agenda Item	Disclosure
Cr White	13.1 - Consolidation of R19491 to Rectify Building Encroachment (Cardiff Bushfire Brigade)	Work related - Impartial



Councillor/Staff	Agenda Item	Disclosure
Cr Woods	13.2 - Noting Response to Direct Interest Party Application for an Amended Clearing Permit - Premier Coal Limited	Husband is an Employee - Financial
Cr Faries	13.2 - Noting Response to Direct Interest Party Application for an Amended Clearing Permit - Premier Coal Limited	Employee - Financial
Cr Harverson	13.2 - Noting Response to Direct Interest Party Application for an Amended Clearing Permit - Premier Coal Limited	Husband is an Employee - Financial
Cr Kearney	13.2 - Noting Response to Direct Interest Party Application for an Amended Clearing Permit - Premier Coal Limited	Son in Law works for Premier Coal - Impartial

## **5. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS**

Members of the public invited by the Chairperson may address the meeting after Standing Orders have been suspended.

<b>Council Decision:</b>		<b>Resolution: 9138</b>	
<i>That Council suspend Standing Orders.</i>			
<b>Moved:</b>	<b>Cr Faries</b>	<b>Seconded:</b>	<b>Cr Italiano</b>
			<b>CARRIED: 10/0</b>

### **5.1 Presentation – Heritage Skills Association WA**

A comprehensive presentation regarding the purpose and works of the Heritage Skills Association WA was made by Yolanda Cool.

<b>Council Decision:</b>		<b>Resolution: 9139</b>	
<i>That Council resume Standing Orders.</i>			
<b>Moved:</b>	<b>Cr Faries</b>	<b>Seconded:</b>	<b>Cr White</b>
			<b>CARRIED: 10/0</b>

## **6. NOTIFICATION OF MATTERS FOR WHICH THE MEETING MAY BE CLOSED TO THE PUBLIC**

Councillors may disclose at this point any matters which they wish to have discussed 'behind closed doors' ie the meeting is closed to members of the public. Section 5.23 of the *Local Government Act 1995* applies and the meeting may only go behind closed doors for matters expressly prescribed in the Act - see section of the Act appended immediately after the Disclosure of Financial Interest form.

Any decision (of the meeting) to close the meeting or part of the meeting and the reasons for the decision are to be recorded in the Minutes of the meeting.

## **7. ITEMS BROUGHT FORWARD DUE TO INTEREST BY ATTENDING PERSONS**

Items 12.3 and 12.4 were brought forward due to interested attending persons.



**12.3 Outdoor Recreation – Fees and Charges**

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Nicole Wasmann – Director Corporate Services
<b>Accountable Manager:</b>	Nicole Wasmann – Director Corporate Services
<b>Legislation</b>	<i>Local Government Act 1995 S6.16</i>
<b>File Number:</b>	GAS/044
<b>Appendices:</b>	Nil
<b>Voting Requirement</b>	Absolute Majority

**Report Purpose**

To consider participation fees to be charged and budget amendments for Wheels of Wellbeing and Hike Ability projects.

**Council Decision:****Resolution: 9140**

1. *That Council adopts by an ABSOLUTE MAJORITY the following fees for the 2022/23 financial year following the statutory advertising period:*
  - a. *Wheels of Wellbeing - \$25 per week per participant*
  - b. *Hike Ability - \$25 per week per participant*
2. *That Council approve the following budget amendments for the 2022/23 financial year:*
  - a. *Increase the budget allocation for the Other Recreation and Sport program by \$16,000 to recognise the grants received from the Department of Local Government Sport and Cultural Industries.*
  - b. *Increase the fees and charges for Other Recreation and Sport by \$2,000 to recognise the participant fees.*
  - c. *Increase the budget allocation for the Other Recreation and Sport program expenditure by \$18,000 towards the Wheels of Wellbeing and the Hike Ability projects.*

**Moved: Cr Smith****Seconded:****Cr Faries****CARRIED: 10/0****Background:**

The Shire of Collie has received grant funding to run two projects which include participant fees. In accordance with legislative requirements, fees and charges must be determined by Council.

The Hike Ability project builds the confidence of new hikers over a course of six weeks including an overnight camp. The budget incorporates fees of \$25 per week per participant for the six weeks.

The Wheels of Wellbeing project includes up to ten coaching sessions with a qualified mountain bike coach and ten clinics to reinforce skills. The budget incorporates fees of \$25 per week per participant which includes one coaching session and one clinic and use of a mountain bike if required.

Fees are inclusive of GST.

**Statutory and Policy Implications:**

Section 6.16 of the *Local Government Act 1995* (the Act), stipulates that a local government may impose a fee or charge for any goods or service it provides. A fee may be charged for supplying a service at the request of a person.

Fees and charged are imposed when adopting the annual budget but may be imposed or amended from time to time during a financial year.

In accordance with Section 6.17 of the Act, in determining the amount of a fee or charge for a service or for goods a local government is required to take into consideration:

- (a) the cost to the local government of providing the service or goods;
- (b) the importance of the service or goods to the community; and
- (c) the price at which the service or goods could be provided by an alternative provider.

Local public notice is required prior to the imposition of the changed fees in accordance with Section 6.19 of the Act.

**Budget Implications:**

The Department of Local Government Sport and Cultural Industries has approved funding of \$17,000 for the Hike Ability project and \$25,300 for the Wheels of Wellbeing project.

The Shire's contribution is in kind support for project management and up to \$500 cash, which will be funded within the existing budget.

The programs are planned to be spread over two financial years in accordance with the following:

	<b>22/23</b>	<b>23/24</b>
Wheels of Wellbeing grant	10,000	15,300
Wheels of Wellbeing fees	1,000	2,000
Hike Ability grant	6,000	11,000
Hike Ability fees	1,000	2,000

**Communications Requirements: (Policy No. CS 1.7)**

In accordance with statutory requirements, any additional fees and charges after the adoption of the budget must be advertised.

**Strategic Community Plan 2022/Corporate Business Plan Implications:**

<b>GOAL:</b>	1.0	Our Community
<b>Objective:</b>	1.2	Community connection, engagement and participation

**Relevant Precedents:**

The current fees and charges were adopted on 19 July 2022 for the 2022/23 financial year.

**Comment:**

Both projects will utilise local businesses and be delivered to the local community. A trail maintenance component is also included, which will upskill interested local community members to assist with trail maintenance.

The Wheels of Wellbeing project will also provide accredited training to local coaches. The programs will encourage local community members to use the trails which have been built in the Shire.

The budgets, including participant fees, were included in the grant applications. Council endorsement of the fees by adopting the recommendation is required to meet legislative requirements. The amendment proposed to the budget will reflect the anticipated income and expense in the current financial year.

#### 12.4 Lease Variation – Collie Cycle Club

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Nicole Wasmann – Director Corporate Services
<b>Accountable Manager:</b>	Nicole Wasmann – Director Corporate Services
<b>Legislation</b>	<i>Local Government Act 1995 S3.58</i>
<b>File Number:</b>	L6684G
<b>Appendices:</b>	Nil
<b>Voting Requirement</b>	Simple Majority

#### Report Purpose

For Council to consider a request for a variation to the lease with Collie Cycle Club at the Collie Recreation Ground for the purpose of storage for the Mountain Bike Club.

<b>Officer's Recommendation/Council Decision:</b>		<b>Resolution: 9141</b>	
<i>That, subject to ministerial consent being provided, Council:</i>			
a) <i>approve a variation of the area leased to the Collie Cycle Club Inc; and</i>			
b) <i>authorise the President and Chief Executive Officer to sign and affix the Common Seal to the lease variation document between the Shire of Collie and the Collie Cycle Club Inc.</i>			
<b>Moved:</b>	<b>Cr Miffling</b>	<b>Seconded:</b>	<b>Cr Woods</b>
			<b>CARRIED: 10/0</b>

#### Background:

The Collie Cycle Club is an incorporated body that presently leases land at the Collie Recreation Ground. The lease area contains the club room used by the Club.

The Mountain Bike Club is affiliated with the Collie Cycle Club and operates under the incorporation of the Collie Cycle Club. The Mountain Bike Club is seeking storage space for a trailer, trail maintenance equipment and event related equipment such as bunting and signs. Indoor secure space is required for this purpose.

To meet the storage needs, a request has been made for a shed to be located at the Collie Recreation Ground. To avoid multiple isolated storage buildings being located on the Ground, it is proposed that a further extension be made to the existing storage shed.

This existing shed is located on land leased to the Collie River Valley Athletics Club. In September 2021, Council approved a variation to the lease to the Athletics Club to enable the existing shed to be extended. The extension works are currently in progress. Both the Athletics Club and the Cycle Club use the existing shed through their own arrangements.

The image below shows the existing shed, the section currently under construction, and the further extension requested. The new section would be separated from the existing shed via an internal partition. It is proposed that the new section be on land leased to the Cycle Club through a variation to the existing lease.



The area currently leased to the Collie Cycle Club is shown below:





**Statutory and Policy Implications:**

In accordance with the *Local Government (Functions and General) Regulations 1996* Regulation 30, disposal of land is exempt from the public notice requirements of Section 3.58 of the *Local Government Act 1995* where the lease is to a recreational or sporting and the members of which are not entitled or permitted to receive any pecuniary profit from the body's transactions.

The Shire has a management order for the Recreation Ground, Reserve 6684, which requires ministerial consent for any lease.

**Budget Implications:**

There are no budget implications.

**Communications Requirements:** (Policy No. CS 1.7)

The Athletics Club has been consulted and have no objections to the proposal.

**Strategic Community Plan/Corporate Business Plan Implications:**

<b>GOAL:</b>	1.0	Our Community
<b>Objective:</b>	1.2	Community connection, engagement and participation

**Relevant Precedents:**

Council agreed to the renew the lease to the Cycle Club in May 2018 for a period five years with a five year option.

Council has previously approved a lease variation to the Athletics Club for the purpose of a shed extension.

**Comment:**

It is recognised that an Open Space and Recreational Facilitation Strategy is presently under preparation and this strategy is expected to provide a high level overview of the role and function of grounds, and the types of facilities expected. In the interim, the Collie Mountain Bike Club is seeking access to storage for equipment. It is considered that extending the existing shed, with a partition between the two storage areas, will have minimal impact on the Ground and not compromise any future use.

Cycling events are becoming increasingly popular on the expanding trail network. Varying the lease with the Cycle Club will provide land for the storage facilities needed for event equipment and trail maintenance.

**8. CONFIRMATION OF THE PREVIOUS MEETINGS OF COUNCIL MINUTES**

**Officer's Recommendation/Council Decision:**

**Resolution: 9142**

*That Council confirms the Minutes of the Ordinary Meeting of Council held on 14 February 2023.*

**Moved: Cr Woods**

**Seconded:**

**Cr Hansen**

**CARRIED: 10/0**

**9. BUSINESS ARISING FROM THE PREVIOUS MINUTES**

Only items that have been deferred from a previous Ordinary Council Meeting for either further consideration by Councillors or for additional background information may be dealt with under this item. Details of Business Arising items will always be listed on the Agenda.

Nil

**10. RECEIPT OF MINUTES OF COMMITTEE MEETINGS HELD SINCE THE PREVIOUS MEETING OF COUNCIL**

**10.1 Receipt of Minutes of the Community Safety and Wellbeing Committee**

**Officer's Recommendation/Council Decision:**

**Resolution: 9143**

*That Council receives the minutes of the Community Safety and Wellbeing Committee Meeting held on 21 February 2023.*

**Moved: Cr Faries**

**Seconded:**

**Cr Woods**

**CARRIED: 10/0**

**10.2 Adopt the Recommendation of the Community Safety and Wellbeing Committee**

**Officer's Recommendation/Council Decision:**

**Resolution: 9144**

*That Council adopts the recommendation contained within the Minutes of the Community Safety and Wellbeing Committee Meeting held on 21 February 2023.*

**Moved: Cr Faries**

**Seconded:**

**Cr Italiano**

**CARRIED: 10/0**

Recommendation from the Community Safety and Wellbeing Meeting as following:

**Recommendation / Committee Decision:**

**Moved: Andrew Whitney**

**Seconded: Diane Blount**

That the following changes be made to the Terms of Reference with modifications identified by deleting text with ~~strike through~~ and including underlined text.

**2. Aims and Objectives**

- 2.1 To work in partnership with agencies, community groups and organisations to focus on and promote the wellbeing of ~~our community~~ all within our community.

**3. Membership**

3.3 In accordance with the provisions of Section 5.10(1)(a) of the Local Government Act 1995 resolves that the Committee shall have as its members:

- At least one Councillor
- The Director of Corporate Services
- The Community Development Officer
- Representatives from
  - the WA Police
  - the Collie PCYC
  - The Smith Family
  - ~~Collie SHS~~
  - ~~Primary Schools in Collie~~
  - Collie Public Schools
  - Investing In Our Youth
  - WALGA Roadwise
  - WA Country Health Service
  - Justice of the Peace
  - the Collie Suicide Prevention Network
  - the Disability Reference Group
  - NDIS Local area coordination partners
  - Ngalang Boodja Aboriginal Corporation
  - the community.

#### **4. Management/Procedures**

4.11 Community members wishing to address the Committee may do so ~~in writing~~ by request, providing information and proposals for consideration.

4.14 No member of the Committee is permitted to make public comment on behalf of the Committee or the Shire. This does not preclude a member speaking on their own behalf, or on behalf of the group or organisation they may represent.

**CARRIED: 8/0**

#### **10.3 Receipt of Minutes of the Audit Committee**

**Officer's Recommendation/Council Decision:**

**Resolution: 9145**

*That Council receives the minutes of the Audit Committee Meeting held on 2 March 2023.*

**Moved:**

**Cr White**

**Seconded:**

**Cr Miffing**

**CARRIED: 10/0**

#### **10.4 Adopt the Recommendations of the Audit Committee**

**Officer's Recommendation/Council Decision:**

**Resolution: 9146**

*That Council adopts the recommendations contained within the Minutes of the Audit Committee Meeting held on 2 March 2023.*

**Moved:**

**Cr Miffing**

**Seconded:**

**Cr Smith**

**CARRIED: 10/0**



Recommendation from Audit Committee Meeting as following:

**Officer's Recommendation/ Committee Recommendation:****Moved: Cr Stanley****Seconded: Cr Smith**

That Council receives the 2022 Annual Compliance Audit Return as presented in Appendix 9.1A and authorise the return to be lodged to the Department of Local Government, Sport, and Cultural Industries.

**CARRIED 3/0**

## 11. CEO REPORTS

### 11.1 Corporate Business Plan 2022/23 – 2026/27

<b>Reporting Department:</b>	Chief Executive Office
<b>Reporting Officer:</b>	Stuart Devenish – Chief Executive Officer
<b>Accountable Manager:</b>	Stuart Devenish – Chief Executive Officer
<b>Legislation</b>	<i>Local Government Act 1995</i>
<b>File Number:</b>	GOV/001
<b>Appendices:</b>	Appendix 11.1.A – Corporate Business Plan 2022/23 – 2026/27
<b>Voting Requirement</b>	Absolute Majority

#### Report Purpose

To consider adopted of the proposed Corporate Business Plan, giving effect to the terms of the recently adopted Strategic Community Plan.

#### Officer's Recommendation/Council Decision:

**Resolution: 9147**

*That Council, pursuant to Local Government (Administration) Regulations 1996 r19DA, resolve by Absolute Majority to adopt the Corporate Business Plan 2022/23 – 2026/27 as contained at Appendix 11.1.A.*

**Moved:** Cr Faries

**Seconded:**

**Cr Woods**

**CARRIED:10/0**

#### Background:

On 13 December 2022, Council resolved to adopt the Strategic Community Plan 2022. The Plan serves to guide the priorities and operations of the Shire. The Plan was adopted having regard for community inputs through workshops, surveys and interviews.

The next step is to now consider a revised Corporate Business Plan that sets out actions as to how the Strategic Community Plan will be delivered. The Corporate Business Plan will also form the basis of reporting against achievements.

#### Statutory and Policy Implications:

Section 5.56 of the *Local Government Act 1995* requires the preparation of a plan for the future of the district. Regulation 19DA of the *Local Government (Administration) Regulations 1996* further identify the need for a Corporate Business Plan to be prepared which covers a period of at least 4 financial years.

#### Budget Implications:

The resourcing required to deliver on the terms of the plan are provided for in annual budget allocations.

#### Communications Requirements: (Policy No. CS 1.7)

Preparation of the Strategic Community Plan was subject to communications associated with the community engagement processes. Advertising of the Corporate Business Plan is not required.

**Strategic Community Plan 2022/Corporate Business Plan Implications:**

<b>GOAL:</b>	5	Our Business
<b>Objective:</b>	5.1	Good governance and leadership

**Relevant Precedents:**

Strategic Community Plans are reviewed and adopted in accordance with the terms of the Act and Regulations.

**Comment:**

The Corporate Business Plan, together with the Strategic Community Plan comprise the Shire's plan for the future, and has been prepared in accordance with the required of the *Local Government (Administration) Regulations 1995*. The plans guide decision making around operational planning and prioritisation so as to achieve the objectives and desired outcomes with limited resources available. The planning framework also guides the terms of the annual budget.

A total of 56 strategy actions and timeframes are set out within the Corporate Business Plan which will direct operations and provide a basis for reporting on achievements. The Corporate Business Plan 2022/23 – 2026/27 is recommended for adoption accordingly.

## 12. CORPORATE SERVICES REPORTS

### 12.1 Accounts Paid – February 2023

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Hasreen Mandry – Finance Manager
<b>Accountable Manager:</b>	Nicole Wasmann – Director Corporate Services
<b>Legislation:</b>	<i>Local Government Act 1995 &amp; Financial Management Regulations 1996</i>
<b>File Number:</b>	FIN/024
<b>Appendices:</b>	Appendix 12.1.A – Accounts Paid – February 2023
<b>Voting Requirement</b>	Simple Majority

#### Report Purpose

To present the accounts paid during the month of February 2023.

#### Officer's Recommendation/Council Decision:

**Resolution: 9148**

*That Council accepts the Accounts as presented in Appendix 12.1.A being vouchers 41906 totalling \$273.70 and direct payments totalling \$1,124,641.19 authorised and paid in February 2023.*

**Moved:** Cr Harverson

**Seconded:**

**Cr Faries**

**CARRIED: 10/0**

#### Background:

In accordance with Delegation 14 adopted by Council on 9 August 2022, the Chief Executive Officer is authorised to incur expenditure in accordance with the Annual Budget provisions and limited over-expenditure subject to subsequent budget amendment. In doing so, section 13 of the *Financial Management Regulations 1996* is to be adhered to with a list of accounts for approval to be presented to the Council each month.

Month	2022/23		
	Cheques	Electronic Transfer	Total Payment
July	3,583.29	771,047.53	<b>774,630.82</b>
August	1,860.69	1,070,192.80	<b>1,0720,53.49</b>
September	808.37	1,127,453.91	<b>1,128,262.28</b>
October	2,111.39	724,735.09	<b>726,846.48</b>
November	1,166.65	982,186.60	<b>983,353.25</b>
December	1,381.68	1,326,276.04	<b>1,327,657.72</b>
January	2,534.78	898,267.52	<b>900,802.30</b>
February	273.30	1,124,641.19	<b>1,124,914.89</b>

**Statutory and Policy Implications:***WA Local Government Act 1995**Financial Management Regulations 1996*

Council Policy CS3.7 relates to the payment of creditors, and in particular item 5.0 which relates to the presentation of accounts paid. A list of all accounts paid shall be presented to Council within two months. The list shall comprise of details as prescribed in the *Local Government Financial Management Regulations 1996*.

**Budget Implications:**

All liabilities settled have been in accordance with the Annual Budget provisions.

**Communications Requirements:** (Policy No. CS1.7)

Nil

**Strategic Community Plan/Corporate Business Plan Implications:**

Nil

**Relevant Precedents:**

N/A

**Comment:**

For a detailed listing of payments see Appendix 12.1.A.

Please raise any queries prior the meeting to enable questions to be investigated and a response prepared.

## 12.2 Financial Management Report – January 2023

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Hasreen Mandry – Finance Manager
<b>Accountable Manager:</b>	Nicole Wasmann – Director Corporate Services
<b>Legislation:</b>	<i>Local Government Act 1995 &amp; Financial Management Regulations 1996</i>
<b>File Number:</b>	FIN/024
<b>Appendices:</b>	Appendix 12.2.A – Financial Report – January 2023
<b>Voting Requirement</b>	Absolute Majority

### Report Purpose

To provide a summary of the financial position for the Shire of Collie for the month ending January 2023.

### Officer's Recommendation/Council Decision:

**Resolution: 9149**

*That Council resolve to accept the Financial Management Report for January 2023 as presented in Appendix 12.2.A.*

**Moved:** Cr Kearney

**Seconded:**

**Cr Harverson**

**CARRIED: 10/0**

### Background:

In accordance with Council policy and the provisions of the *Local Government Act 1995*, the Financial Report and budget amendments required for the end of the period is presented to Council for information. Refer to Appendix 12.2.A.

### Statutory and Policy Implications:

Section 34 (1) (a) of the *Local Government (Financial Management) Regulations 1996* states that a Local Government is to prepare monthly statement of financial activity including annual budget estimates; budget estimates to the end of the month to which the statement relates; actual amounts of expenditure, revenue and income to the end of the month to which the statement relates, material variances between monthly budget and actual figures, and net current assets on a monthly basis.

In accordance with section 34(5) of the *Local Government (Financial Management) Regulations 1996* each year a local government is to adopt a percentage or value to be used in statements of financial activity for reporting material variances. In this case, the Shire of Collie has adopted the material variance of 10% or \$10,000, whichever is greater, for reporting variations to the 2022/23 Budget in the monthly statement of financial activity reported to Council.

In accordance with section 6.8 of the *Local Government Act 1995*, a local government is not to incur expenditure, not included in the annual budget for an additional purpose unless the expenditure is (b) authorised in advance by absolute majority.

**Budget Implications:**

Nil

**Communications Requirements: (Policy No. CS1.7)**

Nil

**Strategic Community Plan/Corporate Business Plan Implications:**

Nil

**Relevant Precedents:**

N/A

**Comment:**

The financial statements provided in Appendix 12.2.A reports on the following information for the reporting period:

- Rate Setting Statement by Nature and Type
- Material Variances
- Statement of Financial Positions
- Cash and Investments
- Receivables & Payables
- Capital Projects
- Other Projects
- Budget Amendments

Commentary for the material variances identified is included in Appendix 12.2.A.

### 13. **DEVELOPMENT SERVICES REPORTS**

Cr White had declared an impartial interest at Item 13.1.

#### **13.1 Consolidation of R19491 to Rectify Building Encroachment (Cardiff Bushfire Brigade)**

<b>Reporting Department:</b>	Development Services
<b>Reporting Officer:</b>	Isabel Fry - Town Planner
<b>Accountable Manager:</b>	Matt Young – Director Development Services
<b>Legislation</b>	<i>Land Administration Act 1997</i>
<b>File Number:</b>	R19491
<b>Appendices:</b>	Appendix 13.1.A- Aerial and Tenure Map Appendix 13.1.B- Proposed Tenure Arrangement
<b>Voting Requirement</b>	Simple Majority

#### **Report Purpose**

For Council to consider the consolidation of land tenure arrangements relating to Reserve 19491 (Cardiff Bushfire Brigade), for the purpose of rectifying building encroachments.

#### **Officer's Recommendation/Council Decision:**

**Resolution: 9150**

*That Council resolve to:*

1. *Authorise Officers to work with Department of Planning, Lands and Heritage to consolidate the land tenure arrangements associated with Reserve 19491 and facilitate:
 
  - a) *Closure of unconstructed road (PIN 11419588) pursuant to section 58 of the Land Administration Act 1997 and Regulation 9 of the Land Administration Regulations 1998 for its amalgamation into the adjoining Reserve 19491 pursuant to section 51 of the Land Administration Act 1997; and*
  - b) *Cancellation of unmanaged Reserve 19457 (Lots 8-10 on DP 203723) pursuant to section 51 of the Land Administration Act 1997 to facilitate the dedication of a portion as road pursuant to section 56 of the Land Administration Act 1997 and Regulation 8 of the Land Administration Regulations 1998 and a portion being included into Reserve 19491 pursuant to section 51 of the Land Administration Act 1997.**
2. *Recommend that the purpose of Reserve 19491 be amended to be Recreation - Fire and Emergency Services, Recreation and Ancillary Uses*
3. *Authorise Officers to advertise the proposal for 28 days to service providers and relevant agencies, as well as in the local newspaper and on the Shire website.*
4. *Authorise Officers to undertake or have undertaken, a survey plan and sketch plan detailing the proposal; and*
5. *Indemnify the Minister of Lands against all claims for compensation and costs that may reasonably be incurred as a result of the road dedication process.*

**Moved:** Cr Miffling

**Seconded:**

**Cr Smith**

**CARRIED: 10/0**



**Background:**

The Shire has received correspondence from the Department of Planning, Lands and Heritage (DPLH) relating to Reserve 19491 (R19491) in Cardiff. The request detailed:

*Through the completion of Case 2202554 'Request to Investigate the Removal of White Gum Trees on Reserve 19457 over Lots 8, 9 and 10 on Deposited Plan 203723' the Department of Planning, Lands and Heritage (Department) internally initiated this proposal to address the identified unlawful encroachments affecting Reserve 19457, unconstructed road (PIN 11419588) and Reserve 19491.*

The Shire undertook a project in 2019/20 for the construction of the Cardiff Bushfire Brigade. The 8m encroachment into R19491 was identified through the design process, however the project proceeded as detailed in the design documentation that had already been prepared.

The Bushfire Brigade building is constructed across two Reserves. Refer Appendix 13.1.A.

- Class-C Reserve 19457 (Lots 8-10 on DP 203723) is unmanaged for the purpose of 'Public Utility'.
- Class-C Reserve 19491 (Lot 422 on DP 34931) is managed by the Shire of Collie for the purpose of 'Recreation'.

DPLH has offered to assist in the tenure rationalisation in this area including resolving the identified encroachments from the structure on Reserve 19491 into Reserve 19457 (Lot 10 on DP 203723) and unconstructed road (PIN 11419588) and suggested the following actions (refer Appendix 13.1.B):

- Closure of unconstructed road (PIN 11419588) pursuant to section 58 of the *Land Administration Act 1997 (LAA)* and Regulation 9 of the *Land Administration Regulations 1998 (LAR)* for its inclusion/amalgamation into the adjoining Reserve 19491 pursuant to section 51 of the LAA and include the amendment to the adjoining Reserve 19491 pursuant to section 51 of the LAA.
- Cancellation of unmanaged Reserve 19457 (Lots 8-10 on DP 203723) pursuant to section 51 of the LAA to facilitate the dedication of a portion as road pursuant to section 56 of the LAA and Regulation 8 of the LAR and a portion being included into Reserve 19491 pursuant to section 51 of the LAA. Also, it is requested that the Shire include within the recommendation, a line indemnifying the Minister of Lands against all claims for compensation and costs that may reasonably be incurred as a result of the road dedication process.

The purpose of Reserve 19491 also needs to be amended from Recreation to Recreation - Fire and Emergency Services, Recreation and Ancillary Uses, or similar. DPLH has supported this change and agrees it is necessary.

**Statutory and Policy Implications:**

*Land Administration Act 1997*

*Land Administration Regulations 1998*

**Budget Implications:**

The Shire will be required to prepare a Plan of Survey for the road dedication and a sketch plan for the road closure which will be funded through existing allocations.

**Communications Requirements: (Policy No. CS 1.7)**

The Shire is required to advertise the proposal to utility service providers and other relevant agencies. Advertising in the local newspaper and on the Shire's website will also be undertaken.

**Strategic Community Plan 2022/Corporate Business Plan Implications:**

<b>GOAL:</b>	3.0	Our Built Environment
<b>Objective:</b>	3.1	Safe and well-maintained shire owned facilities and infrastructure
<b>Objective:</b>	3.2	Sound land planning and building strategies and schemes

**Comment:**

It is recommended that Council direct Officers to undertake the process to rationalise the land tenure relating to R19491, with assistance from the DPLH.

Undertaking this process will rationalise an existing road to be inside a formal road reserve, as well as addressing the encroachments associated with the Cardiff Bushfire Brigade building. It is recommended that the Officers liaise with service providers and agencies and undertake the necessary infrastructure investigations prior to finalising a survey plan and sketch for the proposal.

DPLH has also requested that the Shire include as part of this resolution, reference to indemnifying the Minister of Lands against all claims for compensation and costs that may reasonably be incurred as a result of the road dedication process.

The proposal is consistent with several other land tenure rationalisations that Officers are investigating within the Shire to assist with the management of reserves vested with the Shire. The proposed amendment to the purpose of the Reserve will not impact on the future recreational use of the balance Reserve 19491 should the Shire wish to develop it further at a later stage.

Cr Kearney had declared an impartial interest at Item 13.2 and left the room at 8.01pm.

Crs Woods, Faries and Harverson declared financial interests at Item 13.2 and also left the room at 8.01pm.

**13.2 Noting Response to Direct Interest Party Application for an Amended Clearing Permit - Premier Coal Limited**

<b>Reporting Department:</b>	Development Services
<b>Reporting Officer:</b>	Isabel Fry - Town Planner
<b>Accountable Manager:</b>	Matt Young – Director Development Services
<b>Legislation</b>	<i>Environmental Protection Act 1986</i>
<b>File Number:</b>	A4287
<b>Appendices:</b>	Appendix 13.2.A- Application Area Maps Appendix 13.2.B- Requested Amendments
<b>Voting Requirement</b>	Simple Majority

**Report Purpose**

For Council to note the response provided by Officers to the Department of Mines, Industry, Regulation and Safety regarding an Application for an Amended Clearing Permit for Premier Coal Limited.

**Officer's Recommendation/Council Decision:**

**Resolution: 9151**

*That Council note the response provided by Officers to the Department of Mines, Industry Regulation and Safety that the Shire of Collie has no objections to the proposed amendment to the existing clearing permit, subject to:*

- a) The consent of the manager/owner of the subject land being sought.*
- b) Areas identified to be containing Registered Aboriginal Heritage Sites should be referred to the Department of Planning, Lands and Heritage Aboriginal Heritage Branch and consultation with Traditional Landowners must be undertaken prior to approval, where applicable.*
- c) Habitat trees should be retained and unacceptable impacts to fauna and significant flora should be avoided.*

**Moved:** Cr Hansen

**Seconded:**

**Cr Italiano**

**CARRIED: 6/0**

**Background:**

The Shire of Collie was invited to comment on the proposal prepared by Premier Coal to amend a clearing permit (CPS9654/1) that was previously granted under the *Environmental Protection Act 1986*.

Due to the Shire receiving the clearing permit application (CP9654/2) from the Department of Mines, Industry Regulation and Safety (DMIRS) on 31 January 2023, the application was unable to be reviewed and a report drafted for the February Ordinary Meeting of Council. The statutory timeframe to provide a response to the application is 21 days, therefore a response

was required to be provided prior to the application being brought to this Ordinary Meeting of Council.

An existing clearing permit is in place, approving 10 hectares of clearing within a 387 hectares permit boundary. The application is to amend Conditions 3,4,7,12a,12d(ii), 12d(iii), 13a and 15(2), so as to allow for Premier Coal's exploration activities to occur, which are restricted by the current conditions, and to rectify minor editing errors. Premier Coal is also seeking to increase the approved clearing area from 10 to 12 hectares, this is due to compliance with existing CPS9654/1 conditions requiring additional clearing access to the same drill target sites. The existing clearing permit application relates to approved exploration in the area. The permit area is primarily State Forest, managed by DBCA. Refer Appendix 13.2.A.

The requested amendments to the existing permit are included in Appendix 13.2.B.

Officers have provided a response and request that Council note the response provided.

**Statutory and Policy Implications:***Environmental Protection Act 1986-*

- Section 51O- Principles and instruments to be considered when making decisions as to clearing permits.
- Section 51P- Relationship between clearing permits and approved policies.

**Budget Implications:**

Nil

**Communications Requirements:**

The Shire was referred the application as a Direct Interest Party under the *Environmental Protection Act 1986*.

**Strategic Community Plan 2022/Corporate Business Plan Implications:**

<b>GOAL:</b>	2.0	Our Economy
<b>Objective:</b>	2.1	Economic Development
<b>GOAL:</b>	4.0	Our Natural Environment
<b>Objective:</b>	4.2	Conservation of our natural environment

**Relevant Precedents:**

The subject site has a previously approved clearing permit.

**Comment:**

In view of the timeframe required for a response to the Department, Officers provided advice as follows:

*The Shire of Collie has no objections to the proposed amendment to the existing clearing permit, subject to:*

- *The consent of the manager/owner of the subject land being sought.*
- *Areas identified to be containing Registered Aboriginal Heritage Sites should be referred to the Department of Planning, Lands and Heritage Aboriginal Heritage Branch and consultation with Traditional Landowners must be undertaken prior to approval, where applicable.*
- *Habitat trees should be retained and unacceptable impacts to fauna and significant flora should be avoided.*

This advice was provided, recognising the environmental assessments undertaken by the State Government in association with any clearing. It also recognises that mining is an essential activity and continues to be an important economic function while industry transitions away from coal. It is recommended that the advice provided by officers be noted accordingly.

Crs Kearney, Woods, Faries and Harverson returned to the Chambers at 8.02pm.

**14. TECHNICAL SERVICES REPORTS**

Nil

**15. MOTIONS FOR WHICH PRIOR NOTICE HAS BEEN GIVEN**

Elected Members have the ability to submit notices of motion between meetings and up to a time prescribed in standing orders before a meeting.

**16. QUESTIONS BY MEMBERS FOR WHICH DUE NOTICE HAS BEEN GIVEN**

Members have the ability to submit notices of questions between meetings and up to a time prescribed in standing orders before a meeting.

Responses to questions asked at the October Ordinary Council Meeting, for which an answer has not been provided, are listed below:

**17. URGENT BUSINESS APPROVED BY THE PRESIDING MEMBER OR BY DECISION**

Nil

**18. ANNOUNCEMENTS BY THE PRESIDING MEMBER AND COUNCILLORS**

Cr Sarah Stanley

**Announcements**

- 15 February: South West Zone of WALGA meeting
- 21 February: Collie River Valley Little Athletics discussion
- 22 February: Meeting at Minningup with Traditional Owners
- 23 February: Meeting with potential energy proponents
- 24 February: Bunbury Geographe CEOs and Presidents meeting
- 1 March: Meeting with new principal at Wilson Park Primary School
- 3 March: Attended the Vernissage for the Collie Art Prize
- 4 March: Attended Official Opening of the upgraded Replica Underground Mine attraction by Hon Don Punch MLA, Minister for Regional Development; Disability Services; Fisheries; Seniors and Aging and the Local Member for Collie-Preston Jodie Hanns MLA.
- 4 March: Attended the Official Opening and Award Presentation for the Collie Art Prize, one of Australia's richest regional art prizes
- 8 March: Attended Official Plaque Unveiling for the entry of the Goods Shed and Footbridge to the State Register of Heritage Places.
- 8 March: Received two copies of Traces, a book of poems written by Norma Schwind about her grandparents, Frederick George and Annie Therese Buckle, who settled in Collie shortly after coal mining began
- 9 March: Participated in airport master planning stakeholder consultation
- 13 March: Met with potential minerals processing proponent
- 14 March: Collie River Valley Marketing meeting

**Upcoming events**

- 9.40am, 5 April: Combined Schools Anzac Service at Soldiers Memorial Park
- 15 March: Synergy Solar Schools Challenge
- 20 March: City of Bunbury Elected Members and Executives visit
- 21 March: Collie River Restoration Community Forum
- 24 March: South Regional TAFE Student Awards Ceremony

Cr Ian Miffing

- 16<sup>th</sup> February attended as a community representative the South32 Community Liaison Committee meeting at the Chamber of Minerals & Energy office in Bunbury
- 22<sup>nd</sup> February attended a meeting with the Department of Transport regarding taxi transport in Collie and discussions with Mrs Julie Ransome of Mario's Taxis regarding her funding application for a new wheelchair purposed taxi bus
- 22<sup>nd</sup> February met with Philip Ugle and Christina Ugle at Minningup Pool regarding Aboriginal issues
- 24<sup>th</sup> February attended (representing Shire President) at the Coalfields Museum the unveiling of the restored 'Geldert's Truck'
- 2<sup>nd</sup> March attended the Council's Audit Committee meeting
- 4<sup>th</sup> March attended the Collie Art Prize 2023 at the Collie Art Gallery and acted as MC for the event
- 8<sup>th</sup> March attended the unveiling of the heritage plaque at the Collie Good-shed building
- 8<sup>th</sup> March attended the Annual General Meeting of the Collie Visitor Centre and acted as their returning officer for their elections of office bearers and committee members
- 13<sup>th</sup> March attended a meeting with a proponent's representative for a potential new industry for Collie

Cr Michelle Smith

- March – attended official opening of the upgraded Replica Underground Mine
- Attended official plaque unveiling for the entry of the Goods Shed and Footbridge to the State Register of Heritage Places
- Attended Future Fund Meeting
- Just Transition Sub-Group
- Audit Committee Meeting
- Small Business discussion with the Delivery Unit and Chamber of Commerce and Industry
- Council Forum
- Visitor Centre AGM

Cr Joe Italiano

- 21 February: Collie River Valley Little Athletics discussion

Mr Stuart Devenish - CEO

- 15 February: South West Zone of WALGA meeting
- 21 February: Collie River Valley Little Athletics discussion
- 22 February: Meeting at Minningup with Traditional Owners
- 23 February: Meeting with potential energy proponents
- 24 February: Bunbury Geographe CEOs and Presidents meeting
- 27 February: Meeting with prospective manufacturing industry
- 28 February: Attended South West Waste Services Group meeting
- 1 March: Meeting with new principal at Wilson Park Primary School
- 2 March: Attended the Audit Committee meeting
- 3 March: Attended the Vernissage for the Collie Art Prize
- 7 March: Attended the Collie Just Transition Subgroup – Diversifying the Economy meeting

- 8 March: Met with the South West Football League at the Recreation Ground.
- 8 March: Attended Official Plaque Unveiling for the entry of the Goods Shed and Footbridge to the State Register of Heritage Places
- 9 March: met with the Stephen Michael Foundation
- 10 March: Attended the Regions Rising – Western Australia event convened by the Regional Australia Group
- 13 March: Met with potential minerals processing proponent

Mr Matt Young – Director Development Services

Mr Young confirmed that Leigh and Heather O’Conner were given a community award from WA Police, together with one of their officers for the compassion and assistance they offered the family of a man that drowned on Christmas Day at Black Diamond Lake last year.

Leigh and Heather went out of their way and put the family up at their house as nothing was available in town and they were not local to Collie. Leigh and Heather set aside their own Christmas plans to help that day and evening.

**19. STATUS REPORT ON COUNCIL RESOLUTIONS**

Summary reports on the status of Council’s resolutions are:

- ‘Closed Since Last Meeting’ at Appendix 19.1.A
- ‘All Open’ at Appendix 19.1.B

**19. CLOSURE OF MEETING TO MEMBERS OF THE PUBLIC**

Nil

**20. CLOSE**

The Shire President declared the meeting closed at 8.16pm.





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 10.1.A**





Shire of  
**Collie**

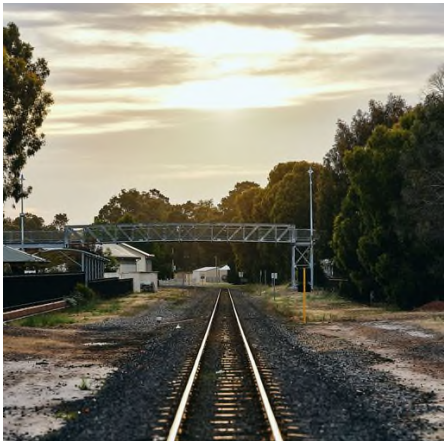
# MINUTES

for the

## AUDIT COMMITTEE MEETING

held on

Thursday, 30 March 2023



## Our Vision

**Collie** - *A progressive community, rich in opportunities and as diverse as its heritage and landscape.*

## Our Values

The core values at the heart of the Council's commitment to the community are:

*Integrity*

*Transparency*

*Accountability*

*Collaboration*

*Respect*

## Our Commitment to Community

**We will** lead the delivery of our vision

**We will** support local business wherever possible

**We will** consult and engage with our community on issues that affect them

**We will** encourage, welcome and value feedback

**We will** encourage, support and advocate for our community

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Minutes for the Shire of Collie Audit Committee Meeting held in Council Chambers, 87 Throssell Street Collie, on Thursday, 30 March 2023 commenced at 1:35pm.

**1. OPENING/ATTENDANCE/APOLOGIES**

PRESENT:	Cr Ian Miffing Cr Joe Italiano Cr Michelle Smith Cr Sarah Stanley	Chairperson/ Councillor Councillor Councillor Councillor
STAFF:	Stuart Devenish Nicole Wasmann Hasreen Mandry	Chief Executive Officer Director Corporate Services Finance Manager

**2. PUBLIC QUESTION TIME**

Nil

**3. RESPONSES TO PREVIOUS PUBLIC QUESTIONS TAKEN ON NOTICE**

Nil

**4. DISCLOSURE OF FINANCIAL INTEREST**

Nil

**5. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS**

Nil

**6. NOTIFICATION OF MATTERS FOR WHICH THE MEETING MAY BE CLOSED TO THE PUBLIC**

Nil

**7. CONFIRMATION OF THE PREVIOUS MINUTES OF COMMITTEE MEETING****7.1 Audit Committee Meeting – 2 March 2023****Committee Recommendation:**

That the minutes from the Audit Committee Meeting held on 2 March 2023 be confirmed.

**Moved: Cr Smith**

**Seconded: Cr Stanley**

**CARRIED 4/0**

**8. BUSINESS ARISING FROM THE PREVIOUS MINUTES**

Nil

## 9. OFFICER REPORTS

### 9.1 2021/22 Annual Audit Findings – Management Report

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Hasreen Mandry – Finance Manager
<b>Accountable Manager:</b>	Stuart Devenish – Chief Executive Officer
<b>Legislation:</b>	<i>Local Government Act 1995 &amp; Local Government (Financial Management) Regulations 1996</i>
<b>File Number:</b>	CMG/080
<b>Appendices:</b>	Appendix 9.1.A: Audit Findings
<b>Voting Requirement</b>	Simple Majority

#### Report Purpose

To present the findings and recommendations of the audit for the year ended 30 June 2022.

#### Officer's Recommendation/Committee Recommendation:

**Moved: Cr Stanley**

**Seconded: Cr Smith**

That Council receives the Management Report for the year ended 30 June 2022 presented in Appendix 9.1.A.

**CARRIED 4/0**

#### Background:

In accordance with the *Local Government Act 1995* and associated regulations and auditor is required to examine the accounts and annual financial report submitted for audit.

In addition to the Audit Report, the auditor may provide a Management Letter providing an overview of the audit process and outcomes and identifying any matters, which were not considered material for inclusion in the Audit Report, however are still considered relevant for consideration.

Following the audit of the Shire's Annual Financial Statements for the year ended 30 June 2022 an exit meeting was held with the chairperson of the Audit Committee, CEO, Director Corporate Services and Finance Manager on 20 March 2023. The Office of Auditor General (OAG) has since provided their signed Audit Report, including the Management Letter which is included as an attachment.

Six findings for improvements were reported and discussed at the exit meeting. The findings are listed below, and further details are provided in Appendix 9.1.A.



<b>Findings</b>	<b>Rating</b>
No borrowings reconciliation is prepared	Moderate
Letter of offer signed after commencement date	Minor
Interim rates procedure	Moderate
PO for credit card purchase was not authorised by CEO	Moderate
Changes to employee and creditor bank details	Moderate
Review of general journals	Significant

**Statutory and Policy Implications:**

*Local Government Act 1995*

Section 7.12AB requires the auditor to audit the accounts and annual financial report of a local government at least once in respect of each financial year.

*Local Government (Audit) Regulations 1995*

Regulation 10 provides for the auditor to prepare a management report to accompany the auditor's report.

**Budget Implications**

Nil

**Communications Requirements: (Policy No. CS 1.7)**

Nil.

**Strategic Community Plan/Corporate Business Plan Implications:**

Nil

**Relevant Precedents:**

2021/22 Annual Audit Findings- Management Report was presented to the Audit Committee on 25 February 2022.

**Comment**

It is recommended that the Management Report in Appendix 9.1.A be received.

**9.2 2021/22 Annual Financial Report**

<b>Reporting Department:</b>	Corporate Services
<b>Reporting Officer:</b>	Hasreen Mandry – Finance Manager
<b>Accountable Manager:</b>	Stuart Devenish – Chief Executive Officer
<b>Legislation:</b>	<i>Local Government Act 1995 &amp; Local Government (Financial Management) Regulations 1996</i>
<b>File Number:</b>	CMG/080
<b>Appendices:</b>	Appendix 9.2.A: 2021/22 Annual Financial Report Appendix 9.2.B: Independent Auditor's Report
<b>Voting Requirement</b>	Simple Majority

**Report Purpose**

To present the Annual Financial Report and independent auditor's report for the year ended 30 June 2022.

**Officer's Recommendation/Committee Recommendation:****Moved: Cr Italiano****Seconded: Cr Stanley**

That Council accepts the Annual Financial Report and independent Auditor's Report for the year ended 30 June 2022 presented in Appendix 9.2.A and Appendix 9.2.B.

**CARRIED 4/0****Background:**

The Independent Audit Report in relation to the 2021/22 Annual Financial Statements was received from the Office of Auditor General on 20 March 2023 and is provided as an attachment along with the Annual Financial Statements. The OAG has confirmed that the Shire has been provided with an unqualified audit opinion (clear audit).

The Annual Financial Report will form part of the Annual Report that will be prepared and presented at the Annual Electors Meeting.

**Statutory and Policy Implications:***Local Government Act 1995*

Section 7.12 AD of the Act requires the auditor to prepare and sign a report on a financial audit.

Section 7.12A(2) of the Act requires a local government to meet with its Auditor at least once each year.

Section 7.12A(3) a local government must examine an audit report received by the local government and determine if any matters raised require action to be taken.

Section 7.9(1) of the Act requires the auditor to submit a report to the local government by 31 December each year.

**Budget Implications**

Nil

**Communications Requirements:** (Policy No. CS 1.7)

Section 5.55 of the *Local Government Act 1995*

The Annual Financial Report will be incorporated into the Annual Report. Local notice of the availability of the Annual Report will be provided once the Report has been accepted. The Report will be placed on the Shire's website.

**Strategic Community Plan/Corporate Business Plan Implications:**

Nil.

**Relevant Precedents:**

2021/22 Annual Financial Report was presented to the Audit Committee on 25 February 2022.

**Comment:**

It is recognised that the completion of the audit and associated reporting is beyond the timeframe stipulated in the Act. Factors contributing to this has included delays in infrastructure asset revaluation, along with engagements with the auditors.

Notwithstanding the above, the Shire has received a clear audit and acceptance of the Annual Financial Report and Auditor's Report is recommended.

**10. MOTIONS FOR WHICH PRIOR NOTICE HAS BEEN GIVEN**

Nil

**11. QUESTIONS BY MEMBERS FOR WHICH DUE NOTICE HAS BEEN GIVEN**

Nil.

**12. URGENT BUSINESS APPROVED BY THE PRESIDING MEMBER OR BY DECISION**

Nil.

**13. ANNOUNCEMENTS BY THE PRESIDING MEMBER AND COUNCILLORS**

Nil.

**14. CLOSE**

The chairperson (Cr Miffing) closed the meeting at 1.50pm

I certify that these minutes were confirmed at a meeting of the Audit Committee

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Presiding MemberDate

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Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 10.2.A**





Shire of  
**Collie**

**MINUTES**

of the

**Tourism & Marketing Advisory  
Committee**

held on

**Thursday 30 March 2023**



Shire of Collie  
Tourism & Marketing Advisory Committee  
Minutes – 30 March 2023

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**Shire of Collie  
Tourism & Marketing Advisory Committee  
Minutes – 30 March 2023**

**1. OPENING/ATTENDANCE/APOLOGIES & LEAVE OF ABSENCE**

The Chairperson declared the meeting open at 12:30 pm.

**Members**

Cr Michelle Smith	Councillor/Chairperson
Tamsin Emmett	Community Development Officer
Nicole Wasmann	Director Corporate Services
Simone Fraser	Collie River Valley Marketing
Janine Page	Manager, Collie Visitor Centre
Dee O'Brien	South32 (from 12.46pm)
Cr Sarah Stanley	Shire President
Stuart Devenish	Chief Executive Officer

**Apologies**

Cr Leonie Scoffern	Councillor
Cr Elysia Harverson	Councillor
Cr Joe Italiano	Councillor

**Visitors**

Emilea Shepherd	South32
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**2. DISCLOSURE OF FINANCIAL INTEREST**

Nil

**3. PETITIONS/DEPUTATIONS/PRESENTATIONS/SUBMISSIONS**

Nil

**4. ITEMS BROUGHT FORWARD DUE TO INTEREST BY ATTENDING PERSONS**

Nil

**5. CONFIRMATION OF THE MINUTES OF THE PREVIOUS MEETING**

**Moved:** Simone Fraser

**Seconded:** Tamsin Emmett

*That the minutes of the Tourism and Marketing Advisory Committee meeting held 23 November 2022 be confirmed.*

**CARRIED 5/0**

**6. BUSINESS ARISING FROM THE PREVIOUS MINUTES**

Nil.

**7. OFFICER REPORTS**

Nil

Shire of Collie  
Tourism & Marketing Advisory Committee  
Minutes – 30 March 2023

**8. MOTIONS FOR WHICH PRIOR NOTICE HAS BEEN GIVEN**

Nil

**9. QUESTIONS BY MEMBERS FOR WHICH DUE NOTICE HAS BEEN GIVEN**

Nil

**10. URGENT BUSINESS APPROVED BY PRESIDING MEMBER OR BY DECISION**

Nil

**11. ANNOUNCEMENTS BY PRESIDING MEMBER OR BY DECISION**

Nil

**12. STATUS REPORT ON COUNCIL RESOLUTIONS**

The status report was reviewed.

**13. GENERAL BUSINESS**

**13.1 FestivArty**

Tamsin Emmett advised the festival will be held over four days commencing 7 September 2023.

**13.2 Lost and Found - CRVM**

12:46pm Dee O'Brien and Emilea Shepherd entered the meeting.

Simone Fraser advised that following the Council decision not to participate in Lost and Found in 2023, Collie River Valley Marketing has had some discussions with Ahoy Management and are liaising with local businesses to ascertain interest in participating. Lost and Found will be held on the same weekend as FestivArty. Ahoy Management, who are coordinating Lost and Found, will also meet with the FestivArty Committee.

**13.3 Collie River Valley Visitor Centre Update**

**13.3.1 Website**

Janine Page briefed the meeting on the website redevelopment that is currently in progress with the financial support of the State Government and South32. Following a Request for Quote, Jack in the Box was appointed. The site will have the ability to make bookings with Rezdy as is currently available. The Visitor Centre will use WooCommerce which has the ability to run an online store in the future.

It was initially proposed that accommodation bookings would be possible through the website, however following discussion with Jack in the Box and the Margaret River Visitor Centre, accommodation bookings were not considered viable for Collie. Margaret River has returned to direct bookings with accommodation providers as they could not make bookings via their website viable.

Rezdy is available for bookable products. At the moment there is not a lot of product. The feedback has been that people want to direct book with supplier and that they don't want to wait for response for the Visitor Centre to contact providers.

**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
**Minutes – 30 March 2023**

Discussion was held around the lack of consultation with members with regards to the booking systems and whether prices and commissions had been considered in determining viability.

**Moved:** Dee O'Brien

**Seconded:** Simone Fraser

*That Standing Orders be suspended.*

**CARRIED 6/0**

The ability to enable online bookings for the destination marketing packages prepared by Kathy Miller for CRVM was raised.

#### 13.3.2 Logo/Branding

Janine provided some background to the proposed Visit Collie logo that had been developed to go at the top of the website. As the website address is [www.visitcollie.com.au](http://www.visitcollie.com.au), it was felt that the logo needed to reference Visit Collie. The Visitor Centre had commissioned Jack in the Box to design a logo that they felt was more fitting to Collie with brighter colouring. The intent was that the logo could be used on the website and tied in with social media.

It was noted that the Collie Marketing Strategy has "Power Your Play".

Some Committee members felt that there should have been consultation with stakeholders and that the logo/brand was not in keeping with the Strategy. Reference was made to a previous meeting, when the Strategy was developed, and it was agreed to keep the Collie River Valley brand and align to Power Your Play. The Shire was to maintain ownership of the social accounts, domains and brand marks as per the Strategy. The Visitor Centre has the responsibility for maintaining content but does not have the authority to change the brand.

It was also acknowledged that the Shire had to acquit the funding to South32 for the website. The funding was focused on delivering the Tourism Strategy.

The Visitor Centre indicated that they would liaise with accommodation providers with regards to a booking system and discuss the website colouring and brand with the developers. Due to staff absences this may not progress immediately.

#### **14. CLOSE AND NEXT MEETING**

The chairperson thanked everyone for their attendance and declared the meeting closed at 1.31 pm.

The date of the next meeting of the Tourism and Marketing Advisory Committee is to be determined.

**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
**Minutes – 30 March 2023**

I certify that these minutes were confirmed at a meeting of the Tourism and Marketing Advisory Committee

\_\_\_\_\_  
Presiding Member

\_\_\_\_\_  
Date

**15. ATTACHMENTS**

Status Report

**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
**Minutes – 30 March 2023**

Status Report Tabled at the Meeting

Meeting	Item	Committee Recommendation	Current Status
2-Aug -21	7.3	<p>That the Committee recommend that Council support in principle the following:</p> <ol style="list-style-type: none"> <li>1. The designation of the following sites as overnight parking (24 hours) for the self-contained RVs only <ul style="list-style-type: none"> <li>• Medic Street</li> <li>• Forrest Street running track</li> <li>• Long bay parking at the Collie Visitor Centre (weekends, school holidays and public holidays);</li> </ul> </li> <li>2. Review charging and permit arrangements and report to the Committee; and</li> <li>3. Request staff investigate provision of long-term parking for self-contained vehicles to meet the essential criteria for designation as an RV Friendly Town<sup>TM</sup>.</li> </ol>	<p>See also 14.3 from November meeting below.</p> <p>A parking strategy for the Collie town centre is to be developed. In the interim, staff will review options for charging and permit arrangements.</p>
24-Nov-21	8.2	<p>That the Committee recommend that Council resolve to: <b>1.</b> develop a position description for a Tourism and Marketing Coordinator position in collaboration with the Collie Visitor Centre for a fixed term appointment in order to progress the actions of the Collie Tourism Marketing Strategy and other tourism initiatives; <b>2.</b> incorporate terms in the Service Level Agreement with the Collie Visitor Centre that reflect the role of the Visitor Centre in the management and oversight of a Tourism and Marketing Coordinator; <b>3.</b> investigate opportunities for funding assistance for the position of Tourism and Marketing Coordinator; <b>4.</b> authorise the commencement of the recruitment process for a Tourism and Marketing Coordinator; and <b>5.</b> consider the necessary budget amendment at the mid-year budget review for the purpose of the appointment.</p>	<p>Funding received from South32. <a href="#">Position readvertised. Closes 19 April 2023.</a></p>

**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
**Minutes – 30 March 2023**

Meeting	Item	Committee Recommendation	Current Status
24 Nov 21	14.3	RV Friendly Bays - map has been developed indicated the sizing of required bays in the identified areas. Additional long bay parking is required in the PCYC carpark as there are a large number of caravans using that parking area	<p>The Shire of Collie has conducted a car parking survey in the vicinity of the Collie Town Centre and commercial/mixed use precincts along Throssell Street with the view of developing a strategy that will ensure adequate and suitable parking and associated facilities is provided both now and into the future.</p> <p>In addition to car and commercial vehicle parking, it is anticipated that the study will identify another associated issues including, but not limited to:</p> <ul style="list-style-type: none"> <li>• Long stay parking</li> <li>• Taxi parking</li> <li>• Long vehicle parking (RVs, trailers, caravans etc.)</li> <li>• Coach and tuck parking</li> <li>• Dump sites</li> </ul> <p>The parking conflicts and limitation for caravans at the PCYC is understood by Shire officers.</p> <p><u>At the October 2022 Council Meeting, Council resolved:</u></p> <ol style="list-style-type: none"> <li>1. To receive the results of the Collie town centre car parking survey;</li> <li>2. To instruct officers to commence work to scope out a Collie town centre car parking strategy and budget, in consultation with the Chamber of Commerce and Industry and local businesses;</li> <li>3. To instruct officers to address short term parking maintenance (such as re-line marking of car parking bays on Throssell Street) and car parking compliance matters as raised in Appendix 13.6.B; and</li> <li>4. To instruct officers to liaise with local businesses identified in detailed comments to the survey in respect to the maintenance standard of privately owned car parks.</li> </ol> <p>Temporary RV Camping will be available for the Easter long weekend at Wallsend as the Tourist Park has not taken up overflow camping.</p>
28 July 22	13.5	RV Friendly Town Registration	



**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
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Meeting	Item	Committee Recommendation	Current Status
24 Nov 2021	14.4	Collie Show to incorporate a Caravan and Camping/Trails show concurrently with the Agricultural show could be investigated	Defer for further consideration after Tourism and Marketing Coordinator employed and reviewed potential options. The Collie Agricultural Society has invited the Shire to be part of a Vision Committee with major sponsors of the Show.
	14.5	Throssell Street Façade Upgrades - heritage facades in Throssell Street need to be promoted, possible through development of a walk trail/ brochure and interpretive signage	<a href="#">Rail to River Heritage Trail includes six plaques. Launched. Available on the Wambenger Trails App. Brochures available. Completed</a>
28 Jul 2022	13.4	Tourism and Marketing Coordinator	<a href="#">Position advertised. Closes 19 April 2023.</a>

**Shire of Collie**  
**Tourism & Marketing Advisory Committee**  
**Minutes – 30 March 2023**



Shire of  
**Collie**

11 April 2023

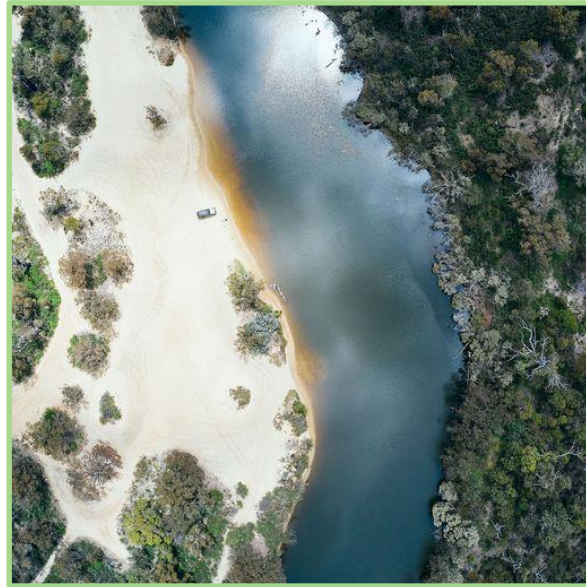
**ORDINARY COUNCIL MEETING**

**APPENDIX 11.1.A**

**Corporate Business Plan**

**Quarterly Update**





# Corporate Business Plan

2022/23 – 2026/27

*Quarterly Progress Report  
January to March 2023*

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## Introduction

### What is the Corporate Business Plan?

The Corporate Business Plan 2022/23 – 2026/27 is the Shire of Collie's four-year delivery program, aligned to the Shire's Integrated Planning and Reporting Framework, namely the Strategic Community Plan, Annual Budget and other supporting strategies.

The purpose of the Corporate Business Plan is to give effect to the communities vision and the Shire's strategic objectives through the establishment of actions that address each strategy contained within the Strategic Community plan:



The Corporate Business Plan sets out 56 actions that will give effect the 28 strategic priorities of the themes set out above.

### Performance Reporting

On a quarterly basis, the Shire completes this performance report against the Corporate Business Plan. This provides an important opportunity to update Council and the community on achievements of the actions. The progressive reporting will also feed into the Annual Report as prepared for each financial year.

### Report Structure

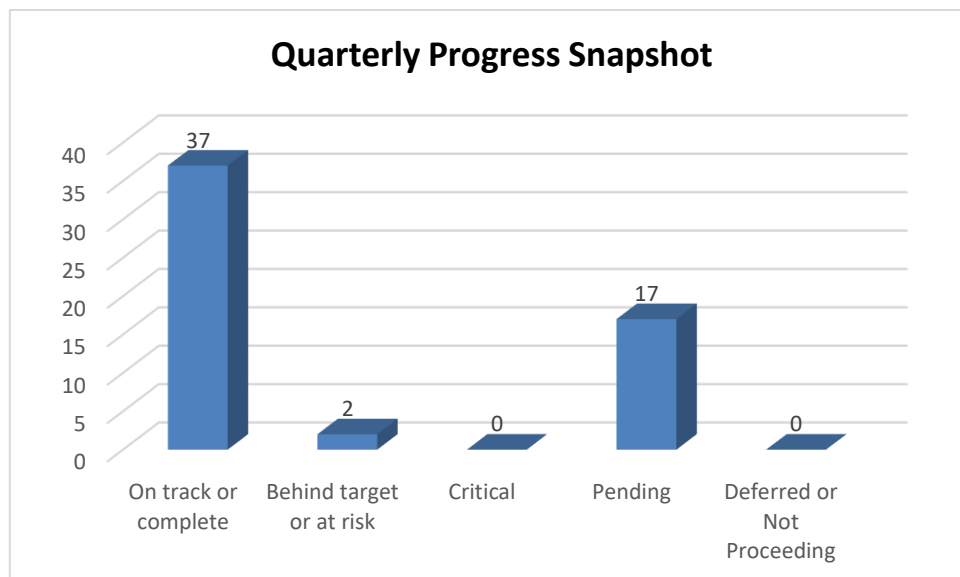
This report includes an overall progress snapshot where a summary of status for actions by category. This is followed by a commentary against each action.



## Overall Progress of Actions

### Quarterly Progress Snapshot






Progress statistics for the 56 actions during January to March 2023 are:



Refer to the following pages for description of actions and commentary against progress. The two actions identified as behind target relate to tourism and marketing resourcing.

### Action Description and Progress Commentary

The table overpage reflects the actions adopted within the Corporate Business Plan along with comment on progress. The status indicator is based on the criteria set out below:

Status	Criteria
 On track or Complete	Action is progressing as planned or is completed.
 Behind target or at risk	Minor issues have put achievement of the project due date at risk or behind target. Causes are being managed and the issues are expected to be resolved.
 Critical	Major issues have prevented the service/project from commencing or continuing. The causes for this do/will require significant action to rectify and the issues are likely to be ongoing into future reporting periods
 Pending	Work is pending commencement or waiting on completion of another project
 Deferred or Not Proceeding	Action is no longer proceeding within its planned year of the Corporate Business Plan but will be occurring within a future year of the Plan, or Action is no long proceeding within the timeframe of the current Corporate Business Plan. This may be due to a change in direction caused by external factors (eg loss of grant funding) or change of direction by Council.

# Q1 2023 Corporate Business Plan Progress Report

OUR COMMUNITY									
Objective	Strategic Priority	#	Actions	2023	2024	2025	2026	Status	Comment
Community health, safety and wellbeing	To prepare and implement a comprehensive Open Space and Recreation Facilities Strategy	1.1.1.1	Prepare a Public Open Space and Community Recreational Facilities Strategy	✓				✓	The Consultant is finalising the draft Strategy by May 2023
		1.1.1.2	Liaise with user groups to optimise facility sharing and co-location opportunities in line with adopted strategy	✓	✓			✓	Once the draft Strategy is received further liaison with user groups will commence. Ongoing discussion between users of the Recreation Ground, Roche Park and the hockey grounds are occurring outside of the Strategy preparation process, however these should all be aligned before the Strategy is finalised.Nicole
	To improve our emergency management planning in terms of prevention, preparedness, response and recovery capabilities.	1.1.2.1	Undertake a review of the Local Emergency Management Arrangements	✓	✓	✓	✓	✓	The draft LEMA has been received by the Consultant and is being considered by the District Emergency Management Advisor – South West prior to it being referred to the LEMC and South West District Emergency Management Committee for approval.
		1.1.2.2	Ongoing coordination with emergency response agencies	✓	✓	✓	✓	✓	Ongoing participation in District Emergency Management Committee meetings and facilitating Local Emergency Management Committee meetings.
Community connection, engagement and participation	To conduct a biennial community satisfaction survey on public health and safety, services and facilities.	1.2.1.1	Formulate a community scorecard for benchmark against other local governments	✓				✓	Research to be undertaken to establish comparative metric for benchmark against other local governments.
		1.2.1.2	Implement survey of community against scorecard		✓		✓	✓	Pending completion of action 1.2.1.1. Action is scheduled for 2024.
	To work with sporting clubs and community groups to promote volunteering and increase participation	1.2.2.1	Encourage club and group involvement in community programs	✓	✓	✓	✓	✓	Trail programs have commence and grant funding achieved for club development.
		1.2.2.2	Engage clubs and groups with the annual community expo	✓	✓	✓	✓	✓	An expo was held in February.

# Q1 2023 Corporate Business Plan Progress Report

	Improve how we communicate with the community and other stakeholders	1.2.3.1	Prepare and refer to Council for adoption, a Corporate Communications Plan	✓				✓	Pending commencement of plan preparation.
		1.2.3.2	Progressively implement the communication methods set out in the adopted Plan	✓	✓	✓	✓	✓	Pending completion of action 1.2.3.1.

## OUR ECONOMY

Objective	Strategic Priority	#	Actions	2023	2024	2025	2026	Status	Quarterly Update
Economic development	Support the State Government Collie's Just Transition initiatives to achieve economic diversification and sustainability	2.1.1.1	Amend Local Planning Scheme No. 6 to increase land use flexibility and appropriate zoned land	✓	✓	✓	✓	✓	Omnibus Scheme Amendment will be considered by Council at the April OCM, which will provide additional land use flexibility and stage one expansion of the LIA.  The Shire is working with DevelopmentWA and The Department of Jobs, Tourism and Innovation on the Coolangatta Structure Plan and associated studies. This will lead allow for development of this industrial area and rezoning of land required for future industrial development in line with the Collie's Just Transition Plan
		2.1.1.2	Work with Development WA to prepare the South West Industrial Land Study	✓	✓			✓	The Shire has contributed initially to the South West Industrial Land Study. Consultants have prepared a draft report that is with DevelopmentWA for its consideration.
	To work with State Government, business and landowners to ensure appropriate serviceable industrial land availability	2.1.2.1	Progress the expansion of the Light Industrial Area	✓	✓	✓	✓	✓	Omnibus Scheme Amendment will be considered by Council at the April OCM, which will provide for the rezoning of Lots 2 and 51 Patstone Road from Rural to Industrial

## Q1 2023 Corporate Business Plan Progress Report

									Development. The Shire is also liaising with other land owners identifies in the Local Planning Strategy for future industrial expansion of the LIA to facilitate development of that land.
		2.1.2.2	Progress the Coolangatta Structure Plan in collaboration with the State Government	✓	✓			✓	The Shire is collaborating with the Department of Jobs, Tourism, Science and Innovation in relation to readiness of Coolangatta land for industrial development.
	To develop a plan to commercialise the airfield	2.1.3.1	Prepare the Collie Airfield Masterplan	✓				✓	Consultants are engaged and work is underway to prepare a masterplan for the airfield.
		2.1.3.2	Identify commercial business opportunities at the airfield through the preparation of an airport masterplan.		✓	✓		⚪	Pending completion of action 2.1.3.1. Action is scheduled for 2024.
Tourism promotion and attractions	To increase the tourism and marketing capability within the Shire with a focus on destination marketing	2.2.1.1	Engage tourism and marketing resources to implement strategy actions	✓	✓			⚪	Recruitment of a tourism and marketing resource is underway. Notwithstanding, some actions are underway including Visitor Centre website development and planning for major quarry dinner events.
		2.2.1.2	Collaborate with regional marketing agencies and local service providers to extend marketing reach	✓	✓	✓	✓	⚪	Pending recruitment of a tourism and marketing resource.
	To be registered as a Trail Town to promote Collie as a recognisable destination for adventure trails	2.2.2.1	Achieve registration of Collie as a Trail Town	✓				✓	Once the DBCA has finalised the Collie Adventure Trails mountain bike (80km) and walk (45km) trails that are minimum requirements for Trail Town Accreditation, a submission will be lodged.
		2.2.2.2	Implement the Collie Trails Strategy to expand the trail network	✓	✓	✓	✓	✓	Ongoing work is progressing with the Collie Adventure Trails Working Group in areas of trail construction, signage, marketing, trail heads, bike racks, parking at Wellington Dam, App and website development,

# Q1 2023 Corporate Business Plan Progress Report

									campsites and overnight stay huts etc
	To plan for a new cultural and heritage museum to celebrate Collie's unique history	2.2.3.1	Work with the Coalfields Museum to establish long term plans for the museum	✓	✓			✓	Ongoing engagement with the museum group is evaluating site development options.
		2.2.3.2	Assist the Coalfields Museum to design and undertake a business plan for a new museum initiatives in readiness for funding applications	✓	✓			⊖	Pending completion of action 2.2.3.1.

## OUR BUILT ENVIRONMENT

Objective	Strategic Priority	#	Actions	2023	2024	2025	2026	Status	Quarterly Update
Safe and well-maintained Shire owned facilities and infrastructure	To increase the Shire's capability to maintain and improve facilities and infrastructure	3.1.1.1	Progressively increase financial Reserves to provide for renewal, replacement and upgrade works	✓	✓	✓	✓	✓	Budget allocations are made each financial year to increase reserve balances, along with any surpluses from preceding year directed to reserves.
		3.1.1.2	Progressively improve management plans for all asset classes, enabling programmed maintenance and improvements	✓	✓	✓	✓	✓	Management plans for all asset classes are progressively being prepared, updated or improved to inform budget allocations and works programming.
	To develop a pathway, streetscape, laneway and playground renewal program	3.1.2.1	Preparation of asset management plans for each class	✓	✓			✓	Management plans for pathways, streetscape, laneways and playgrounds are under preparation.
		3.1.2.2	Forecast expenditure requirements for renewal works	✓				✓	Expenditure requirements are being drawn from asset management plans as they are progressed.
	To advocate for the development of the Williams Rd Bushfire Brigade facilities	3.1.3.1	Apply for DFES funding for the Williams Rd Bushfire Brigade centre and associated fire trucks	✓	✓			✓	Application has been submitted to DFES for funding of a Williams Rd Bushfire Brigade centre.
		3.1.3.2	Once funded, build the new Williams Rd centre		✓	✓		⊖	Pending outcome of action 3.1.3.1. Action is scheduled for

## Q1 2023 Corporate Business Plan Progress Report

									2024.
Sound land planning and building strategies and schemes	To revise the Local Planning Strategy to update the residential and industrial chapters consistent with emerging needs	3.2.1.1	Prepare a Housing Strategy for Collie		✓	✓		✓	Action is scheduled for 2024.
		3.2.1.2	Update the housing chapter of the Local Planning Strategy		✓	✓		✓	Action is scheduled for 2024.
		3.2.1.3	Prepare business case feasibility and demonstration projects for infill housing projects	✓	✓			✓	Work is partially undertaken with assistance of Development WA. Next stage is pending funding application with South West Development Commission.
	To evaluate public/private partnerships to facilitate appropriate affordable housing	3.2.2.1	Advocate on behalf of the private sector to plan and build new housing	✓	✓	✓	✓	✓	Advocacy underway to encourage private sector investment in housing renewal and new housing.
		3.2.2.2	Partner with government and/or the private sector to build housing on Shire owned land	✓	✓	✓	✓	✓	Pending grant funding for infrastructure works.
	To prepare a car parking and access strategy addressing commercial and visitor needs in the town centre	3.2.3.1	Progress initiatives to optimise customer and visitor parking in town centre locations	✓	✓			✓	Parking issues are being progressively addressed with report to Council April 2023.
		3.2.3.2	Evaluate taxi and other special needs parking or pick-up/set-down areas within the town	✓	✓			✓	Recommendations are presented to April 2023 meeting of Council to establish taxi and special needs vehicles within the town.

# Q1 2023 Corporate Business Plan Progress Report

OUR NATURAL ENVIRONMENT									
Objective	Strategic Priority	#	Actions	2023	2024	2025	2026	Status	Quarterly Update
A high standard of sustainable waste services	To integrate and optimise use of pyrolysis waste technology within Shire operations	4.1.1.1	Establish an operational agreement with Renergi to enable integrated waste management practices	✓				✓	Terms of an operational agreement between the Shire and Renergi are underway.
		4.1.1.2	Evaluate opportunities to increasing waste receival		✓	✓		✓	Review of waste receival optimisation is pending Renergi plant commissioning. Action is scheduled for 2024.
	To substantially reduce waste to landfill	4.1.2.1	Optimise redirection of waste from landfill to pyrolysis		✓	✓		✓	Review of waste redirection optimisation is pending Renergi plant commissioning. Action is scheduled for 2024.
	To prepare a landfill site closure plan	4.1.3.1	Prepare a landfill closure plan with optimal fill levels and staged remediation	✓	✓			✓	Landfill closing plan is well underway.
Conservation of our natural environment	To prepare, implement and review Collie River Revitalisation Strategy to improve the health and amenity of the Collie River	4.2.1.1	Finalise review of the Collie River Revitalisation Strategy	✓				✓	Consultant is contracted and work commenced on the strategy review.
		4.2.1.2	Implement the strategy review recommendations	✓	✓	✓	✓	✓	Pending outcome of action 4.2.1.1
	To obtain funding and increase community capacity to remove weeds and pests on Shire reserves	4.2.2.1	Seek State and Federal government and private sector funding	✓	✓	✓	✓	✓	Funding is progressively sought on project basis to advance environmental management projects.
		4.2.2.2	Collaborate with adjacent local authorities and natural resource management agencies to deliver environmental enhancement and mitigation projects	✓	✓	✓	✓	✓	Further funding applications in collaboration with the Shire of Donnybrook-Balingup are being prepared to extend the blackberry mitigation scheme.  The Shire is working with the Leschenault Catchment Council for environmental improvements at the Collie River south branch.  Environmental enhancement of the Jack Mears Springs has been



## Q1 2023 Corporate Business Plan Progress Report

									raised with potential funding partners.
		4.2.2.3	Support existing and new local community groups to undertake local open space restoration projects	✓	✓	✓	✓	✓	<p>The Shire continues to support the Friends of the Collie River in restoration project in collaboration with South 32.</p> <p>The Shire is working with the DBCA to undertake community training and support to maintain the trail network in April/May.</p>
	To pursue funding to implement the Minningup Pool Day Use Master Plan	4.2.3.1	Complete all statutory approvals to implement the Minningup Pool Day Use Master Plan	✓				✓	Applications presently with Environmental Protection Authority and Department of Aboriginal Affairs to achieve statutory approvals for plan implementation.
		4.2.3.2	Seek State and Federal Government and other funding for the Minningup Pool Day Use Master Plan	✓	✓			✓	Progress of funding requests pending statutory approvals and further community engagements.
		4.2.3.3	Formalise head lease and sub lease arrangements for commercially operated tourism accommodation providers	✓	✓	✓	✓	✓	Negotiations are underway with Department of Lands to achieve suitable lease arrangements. Progress is pending business case development by private party.



## Q1 2023 Corporate Business Plan Progress Report

OUR ORGANISATION										
#	Objective	Strategic Priority	#	Actions	2023	2024	2025	2026	Status	Quarterly Update
5.1	Innovative leadership, forward planning, and mutually beneficial partnerships	To develop a long-term financial plan based on industry best practice	5.1.1.1	Develop an initial 10-year budget	✓				✓	Preparation of a 10-year draft budget is underway.
			5.1.1.2	Integrate asset management plan requirements into Long Term Financial Plan		✓	✓		✓	Asset management planning is underway to inform Long Term Financial Planning. Action scheduled for 2024.
		To progressively improve the Shires financial health indicators	5.1.2.1	Financial management decisions that align with financial health index ratios	✓	✓	✓	✓	✓	Recommendations and financial decisions are referenced against financial health implications.
			5.1.2.2	Progressively increase financial Reserve balances and increase renewal expenditure	✓	✓	✓	✓	✓	Reserve balances are increasing year-on-year, and budget allocations are biasing renewal works.
		To develop and share a quarterly achievements report against community strategic priorities	5.1.3.1	Prepare a reporting template for publishing progress of this plan	✓	✓	✓	✓	✓	This report forms the template for ongoing progress reporting.
			5.1.3.2	Publish quarterly progress reports	✓	✓	✓	✓	✓	Following receipt by Council, progress reports are published on the Shire website.
		To collaborate and build partnerships with the Government sector to optimise resources and service delivery	5.1.4.1	Ongoing collaboration through Just Transition initiative, southwest local governments, emergency service and community based agencies	✓	✓	✓	✓	✓	The Shire is an active participant in the Just Transition initiative, and actively collaborates with southwest local governments and agencies.
		To imbed our strategic priorities throughout the organisation	5.1.5.1	Incorporate strategic priorities within divisional key performance indicators	✓				✓	Strategic priorities of this plan are incorporated into key performance indicators.
			5.1.5.2	Monitor progress through regular executive meetings	✓	✓	✓	✓	✓	Structured executive meeting agendas review progress of priority actions.



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 12.1.A**



# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
EFT35228	01/03/2023	WA AUSTRALIAN SERVICES UNION WA (ASU)	Payroll Deductions/Contributions	- 155.40		Payment
EFT35229	01/03/2023	AUSTRALIAN TAXATION OFFICE	Payroll Deductions/Contributions	- 46,025.00		Payment
EFT35230	01/03/2023	DEPARTMENT OF HUMAN SERVICES	Payroll Deductions/Contributions	- 286.25		Payment
EFT35231	03/03/2023	BRENT THOMAS WHITE	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35232	03/03/2023	ELYSIA HARVERSON	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35233	03/03/2023	GARY FARIES	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35234	03/03/2023	JOHN LESLIE KEARNEY	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35235	03/03/2023	LEONIE SCOFFERN	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35236	03/03/2023	IAN H MIFFLING	Elected Member Annual Attendance Fee 2022/23	- 9,480.00		Payment
EFT35237	03/03/2023	REBECCA WOODS	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35238	03/03/2023	MICHELLE SMITH	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
EFT35239	03/03/2023	SARAH STANLEY	Elected Member Annual Attendance Fee 2022/23	- 12,480.00		Payment
EFT35240	03/03/2023	ARROWES ROADING SAFETY PTY LTD	Repairs On Traffic Control Hand Piece	- 132.55		Payment
EFT35241	03/03/2023	THE APPRENTICE AND TRAINEESHIP COMPANY (GROUP TRAINING SOUTH WEST)	School Based Trainee Week Ending 07.02.2023	- 306.07		Payment
EFT35242	03/03/2023	BUNBURY HARVEY REGIONAL COUNCIL	Hook Bin Hire & Delivery To Perth - Jan 2023	- 1,517.27		Payment
EFT35243	03/03/2023	CJD EQUIPMENT PTY LTD	Hire Prime Mover Truck For Use With Road Construction Work	- 2,142.80		Payment
EFT35244	03/03/2023	COLLIE ELECTRICAL SERVICE	Airport Runway Lighting - Replace Relay In Control Panel	- 293.22		Payment
EFT35245	03/03/2023	CALTEX COLLIE SERVICE CENTRE	Hire Truck Fuel	- 138.64		Payment
EFT35246	03/03/2023	CB TRAFFIC SOLUTIONS	Invoices As Below	- 15,220.70		Payment
00011745	22/01/2023		Tc Crew 16,17,18,19 Jan 23 Powerhouse Road		9,353.30	INV
00011794	29/01/2023		Tc Crew 23,24,25 Jan 2023 Powerhouse Road		5,867.40	INV
EFT35247	03/03/2023	DEAN GUJA	Contract Environmental Health Officer - Feb 2023	- 9,181.00		Payment
EFT35248	03/03/2023	HEATLEY SALES PTY LTD	Boot Southern Cross Slate Zip Sided Sz 10	- 194.23		Payment
EFT35249	03/03/2023	ROB BENNETT MOBILE SERVICES	Replace Hydraulic Hose On Backhoe	- 844.45		Payment
EFT35250	03/03/2023	HALES CONTRACTING GROUP P/L	To Provide Whs Consulting Services To The Shire	- 1,056.00		Payment
EFT35251	03/03/2023	HARMONIC ENTERPRISES PTY LTD T/AS HARMONIC IT	It Support - Hosted Backups - Feb 2023	- 495.00		Payment
EFT35252	03/03/2023	INTERPHONE	Interphone Nbn Optic Fibre Internet Feb 23	- 130.90		Payment
EFT35253	03/03/2023	PFI SUPPLIES	Public Toilet Consumables - Cleaning Items	- 1,131.40		Payment
EFT35254	03/03/2023	READY INDUSTRIES PTY LTD (TRANDING AS 1300TEMPFENCE)	Plastic Spout For Portable Toilets At Black Diamond	- 43.95		Payment
EFT35255	03/03/2023	SOUTHERN LOCK & SECURITY	Invoices As Below	- 239.97		Payment
C21538	10/02/2023		Keys For Pyc - Margaretta Wilson Centre		59.99	INV
C21630	15/02/2023		Keys For Senior Citizens In Collie		179.98	INV
EFT35256	03/03/2023	COLLIE MOWERS AND MORE	Invoices As Below	- 212.50		Payment

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
712#0	10/01/2023		Chlorine Drum For Water Park		74.00	INV
722#0	19/01/2023		Repairs On Pole Saw Pruner		138.50	INV
EFT35257	03/03/2023	SUPER COOL AUTO AIR	Repairs To Loader A/C	- 588.50		Payment
EFT35258	03/03/2023	SAMARA GROEN	Refund	- 155.00		Payment
EFT35259	03/03/2023	TLC CARPET AND TILE CLEANING	Cleaning Within Roche Park (Week Of : 23.01.2023)	- 440.00		Payment
EFT35260	03/03/2023	TROY WILLIAM BRIGGS	Rates Refund	- 80.00		Payment
EFT35261	13/03/2023	ICON TOURISM CONSULTING PTY LTD	Development Of Project Management - Minningup Pool	- 5,500.00		Payment
EFT35262	13/03/2023	AMAROO DELI & CAFE	Australia Day Coffee Vouchers X 8	- 40.00		Payment
EFT35263	13/03/2023	ALLIANCE ENGINEERING CONSULTANTS	Engineering Consultation - Equipment Integrity/Useability	- 1,928.30		Payment
EFT35264	13/03/2023	AVIATION PROJECTS	Consultants Masterplaning Process For Collie Aerodrome	- 7,914.50		Payment
EFT35265	13/03/2023	THE APPRENTICE AND TRAINEESHIP COMPANY (GROUP TRAINING SOUTH WEST)	School Based Trainee, Week Ending 21.02.2023	- 306.07		Payment
EFT35266	13/03/2023	COLLIE BOULEVARD CAFE	Catering - Council Meetings 07.02.2023 And 14.02.2023	- 330.00		Payment
EFT35267	13/03/2023	BUILDING COMMISSION	Building Services Levy Dec 2023	- 1,031.12		Payment
EFT35268	13/03/2023	BUNNINGS BUILDING SUPPLIES	Invoices As Below	- 1,437.59		Payment
2706/99851214	13/01/2023		Dry Chlorine		565.50	INV
2179/01408594	09/02/2023		Paint Garage Floor Kit Dy-Mark 4L For Lions Park		126.35	INV
2706/99852889	15/02/2023		0000076 Tbg Heavy Duty Timber To Steel -		718.69	INV
2179/01416872	01/03/2023		1 X Sheet Of Plywood Pine Premium Bc Grade For Pool		27.05	INV
EFT35269	13/03/2023	BOOMERING	Threaded Rods For Roche Park Backboards On Court 1	- 1,170.00		Payment
EFT35270	13/03/2023	BANDIT TREE EQUIPMENT	B6-Bawincline Winchline	- 524.70		Payment
EFT35271	13/03/2023	BUSY BEE DRY CLEANERS	Invoices As Below	- 128.15		Payment
00001386	19/02/2023		Dry Cleaning Of Movie Screen		88.55	INV
00001385	19/02/2023		Dry Cleaning Of Linen Cloths For Council Meetings		39.60	INV
EFT35272	13/03/2023	FORWARD MOTION PTY LTD ATF THE STUMPS TRUST T/A BUNBURY TRUCKS SALES AND SERVICE CENTRE	Replacement Fuel Caps	- 214.55		Payment
EFT35273	13/03/2023	CHADSON ENGINEERING PTY LTD	Water Witch 5 Electronic Leveller Ws310	- 567.60		Payment
EFT35274	13/03/2023	PETE'S	Invoices As Below	- 846.15		Payment
251199	25/01/2023		Long Sleeve High Visibility Day/Night Shirts With Embroidery		229.00	INV
251416	31/01/2023		Long Sleeve, High Visibility Works Shirts + Embroidery		171.75	INV
251429	01/02/2023		Long Sleeve High Visibility Shirts		171.75	INV
251923	16/02/2023		3X Long Sleeve High Vis Shirts For Volunteer Member		150.00	INV
252130	22/02/2023		5X Light Weight Hi Visibility Vest With Shire Logo		19.25	INV
252182	23/02/2023		Polo H/V, Polo H/V Yellow/Navy, Embroidery X2		104.40	INV
EFT35275	13/03/2023	COLLIE RADIATOR SERVICE	Clean, Flush, Service, Test And Paint Radiator	- 308.00		Payment

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
EFT35276	13/03/2023	CLEANAWAY PTY LTD	Invoices As Below	- 52,340.85		Payment
21720134	31/01/2023		Waste, Organics & Recycling Contract Jan 2023		40,379.56	INV
21720135	31/01/2023		Cleanaway Bin Repairs / Replacements For Dec 2022		3,062.46	INV
21716293	02/03/2023		Recycling Contract January 2023		8,898.83	INV
EFT35277	13/03/2023	BOC LIMITED	Monthly Rental For Medical Oxygen Bottles	- 11.69		Payment
EFT35278	13/03/2023	COLLIE CHAMBER OF COMMERCE & INDUSTRY	Severance Gift	- 350.00		Payment
EFT35279	13/03/2023	CROSS SECURITY SERVICES	Attended And Access Cctv Footage At Cardiff Bfb;	- 550.00		Payment
EFT35280	13/03/2023	COMMERCIAL AQUATICS AUSTRALIA	Activation And Instruction On Chlorine Dosing System	- 940.50		Payment
EFT35281	13/03/2023	CB TRAFFIC SOLUTIONS	Invoices As Below	- 17,914.60		Payment
00011850	31/01/2023		Tc Crew 30, 31 Jan 23 Powerhouse Road		3,726.80	INV
00011902	05/02/2023		Tc Crew 01,02 Feb 23 Powerhouse Road		3,724.60	INV
00011950	12/02/2023		Tc Crew 06,07,08,09 Feb 2023 Powerhouse Road		7,651.60	INV
00012027	19/02/2023		Tc Crew Mon 13.02.2023-14.02.2023 Powerhouse Road		2,811.60	INV
EFT35282	13/03/2023	COLLIE COMMUNITY PUBLISHERS (CRV BULLETIN)	Invoices As Below	- 1,105.17		Payment
INV-5703	09/02/2023		Monthly Shire Update Page In Bulletin - 09.02.2023		528.00	INV
INV-5741	16/02/2023		Advertising - Street Closure 05.03.2023		84.70	INV
INV-5737	16/02/2023		Public Notice Shire Planning 16/02/2023		278.30	INV
INV-5734	16/02/2023		Technical Services Administration Officer Advert		214.17	INV
EFT35283	13/03/2023	COLLIE EMBROIDERY SERVICE	1 Polo Shire With Embroidery Pool Shirt For Emp 631	- 34.10		Payment
EFT35285	13/03/2023	CHAPPELL LANDSCAPING	20.5Cm Ars Professional Bypass Secateurs	- 387.50		Payment
EFT35286	13/03/2023	COUNTRY LANDSCAPING PTY LTD T/AS COUNTRY WATER SOLUTIONS	Repair Pumps Pool	- 1,294.47		Payment
EFT35287	13/03/2023	CTEC MECHANICAL WA PTY LTD	New Tyre Fit, Balance And Disposal 115Co	- 4,650.00		Payment
EFT35288	13/03/2023	COALFIELDS WEARPARTS PTY LTD	Gb6834Ht Grader Blade Ht Curv (Green) 1828 X	- 700.80		Payment
EFT35289	13/03/2023	LANDGATE	Gross Rental Valuations Chargeable Schedule No: G2023/01 Dated 07/01/2022 - 20/01/2023	- 71.80		Payment
EFT35290	13/03/2023	DEPARTMENT OF BIODIVERSITY, CONSERVATION AND ATTRACTIONS	Lease 1377/97 - Motor Cycle Scramble Course	- 891.52		Payment
EFT35291	13/03/2023	EAST END CONTRACTORS	Invoices As Below	- 11,880.00		Payment
ADJ4604766	06/02/2023		Extended Dry Hire For D65E Equipment @ Transfer Station		7,920.00	INV
ADJ4604769	16/02/2023		Extended Hire For Dozer Hire @ Waste Station Due To Tracks Being Oos		3,960.00	INV
EFT35292	13/03/2023	DEPARTMENT OF FIRE AND EMERGENCY SERVICES	Esl Quarter 3 In Accordance With Dfes	- 139,207.31		Payment
EFT35293	13/03/2023	PFD FOOD SERVICES PTY LTD	Invoices As Below	- 575.25		Payment
LF876072	09/02/2023		Pool Kiosk Expenses Crisps Etc		66.70	INV
LF945401	16/02/2023		Pool Kiosk Expenses - Ice Creams, Crisps Etc		172.55	INV

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
LG225596	23/02/2023		Pool Kiosk Expenses - Crisps, Ice Creams, Pies & S/Rolls Etc		336.00	INV
EFT35294	13/03/2023	FIRE RESCUE SAFETY AUSTRALIA PTY LTD	Bfb Appliance Toolbox And Tool Kit For The Williams Rd 1.4	- 307.56		Payment
EFT35295	13/03/2023	FUEL TECHNOLOGY PTY LTD	Clean And Inspect Diesel Storage Tank, 6 Monthly Replacement Of Tank Breather Element	- 2,084.50		Payment
EFT35296	13/03/2023	GLEN FLOOD GFG CONSULTING	Collie River Revitalisation Strategy 2023-2028	- 5,445.83		Payment
EFT35297	13/03/2023	GRIFFIN VALUATION ADVISORY	Asset Valuation - Bridges And Other Infrastructure Assets	- 11,440.00		Payment
EFT35298	13/03/2023	HEATLEY SALES PTY LTD	Invoices As Below	- 362.31		Payment
Y606836	08/02/2023		512761P-85 Boot Southern Cross Zip		177.42	INV
Y606835	08/02/2023		Graniteb-11 Boot Granite Safety Black		184.89	INV
EFT35299	13/03/2023	HARMONIC ENTERPRISES PTY LTD T/AS HARMONIC IT	It Support - 60 Hours - Used As Needed	- 6,897.00		Payment
EFT35300	13/03/2023	CONNECT CCS	Overcalls Fee For Contract Ca0184 For Month Of Jan 2023	- 406.84		Payment
EFT35301	13/03/2023	IAN JOHNSTONE SHANNON & LOUISE SHANNON	Rates Refund	- 918.30		Payment
EFT35302	13/03/2023	JON DYAS	Sporting Scholarship 2023 - Wa State Clay Target Shooting	- 250.00		Payment
EFT35303	13/03/2023	LOCAL GOVERNMENT PROFESSIONALS AUSTRALIA WA	Finance Professionals Conference 2023 - Registration	- 930.00		Payment
EFT35304	13/03/2023	LJ MECHANICAL	Emergency Repairs On Grader	- 5,985.00		Payment
EFT35305	13/03/2023	LANDMARK PRODUCTS LTD	Progress Payment - Toilet Block At Lions Park	- 3,679.50		Payment
EFT35306	13/03/2023	MILLA HARKER	Sports Scholarship - Milla Harker - U18S Womens State Country Basketball Team	- 250.00		Payment
EFT35307	13/03/2023	NUTRIEN WATER	Invoices As Below	- 5,038.78		Payment
412532063	13/02/2023		Sprinkler Geardrive, Sprinkler Pop Up, Nozzle Rotators		3,126.11	INV
412536335	14/02/2023		Nozzle Rotator 360D Male, Nozzle Rotator 90-210D Male		1,279.51	INV
412558835	28/02/2023		Hunter Pgp Ultra Sprinkler		633.16	INV
EFT35308	13/03/2023	IXOM OPERATIONS PTY LTD	Service Fees For Chlorine Cylinders At Pool	- 195.58		Payment
EFT35309	13/03/2023	OFFICE OF THE AUDITOR GENERAL	Fee For The Certification Of The Roads To Recovery Funding	- 2,750.00		Payment
EFT35310	13/03/2023	OFFICEWORKS (ON LINE ORDERS ONLY)	Library Stationery	- 328.88		Payment
EFT35311	13/03/2023	PLANNING INSTITUTE OF AUSTRALIA	Invoices As Below	- 500.00		Payment
149795	27/02/2023		Pia Conference 22-23Mar23 Emp 505 - Full Registration		335.00	INV
149796	27/02/2023		Pia Conference 22-23Mar23 Emp 616 - Day Registration		165.00	INV
EFT35312	13/03/2023	PILATTI BROS TRANSPORT	Invoices As Below	- 2,911.26		Payment
INV-4711	21/02/2023		Concrete For Footpath Repair/Replacement 0.8M <sup>3</sup>		385.44	INV
INV-4710	21/02/2023		Replce Section Of Footpath Near Collie Ridge		2,525.82	INV
EFT35313	13/03/2023	PFI SUPPLIES	Bin Liners And Rapid Clean Wipes	- 189.00		Payment
EFT35314	13/03/2023	PRIME SUPPLIES	Invoices As Below	- 822.91		Payment
240259497	15/02/2023		Jigsaw, D-Handle		400.95	INV

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
240259468	15/02/2023		Circular Saw, 184Mm, Brushless		421.96	INV
EFT35315	13/03/2023	P & S GRIGGS PLUMBING	Invoices As Below	- 972.81		Payment
INV-15153	23/01/2023		Repair Of Leaking Tap Water Service - Wallsend Ground		572.81	INV
INV-15209	20/02/2023		Repair Of Faulty Cisterns At Truck Bay Toilet		220.00	INV
INV-15300	23/02/2023		Backflow Device Testing For Lot 2781 Forrest St		180.00	INV
EFT35316	13/03/2023	PIAVANINI WELDING	Emergency Repairs On The Sweeper Truck Rear Assembly	- 885.50		Payment
EFT35317	13/03/2023	COLLIE BETTA HOME LIVING	Printer Cartridges For Swimming Pool Printer	- 195.90		Payment
EFT35318	13/03/2023	COLLIE MOWERS AND MORE	Invoices As Below	- 624.00		Payment
748#0	08/02/2023		Chlorine Drums For Water Park With Exchange Drums		74.00	INV
764#0	17/02/2023		Helmet - Professional - Kit		550.00	INV
EFT35319	13/03/2023	STEWART & HEATON CLOTHING CO PTY LTD	Ppe Items For New Bfb Members	- 1,365.89		Payment
EFT35320	13/03/2023	STEERE ST DELI	Australia Day Coffee Vouchers X 3	- 15.00		Payment
EFT35321	13/03/2023	SUNNY SIGN COMPANY PTY LTD	Hamilton Rd - Blk On White Class 1	- 56.10		Payment
EFT35322	13/03/2023	SOUTH WEST FIRE UNIT	Repair To 3Rd Delivery Line And Rear Bumper On Cardiff 4.4	- 1,885.36		Payment
EFT35323	13/03/2023	SCOPE BUSINESS IMAGING	Admin Office Colour Photocopier Feb 2023	- 1,425.58		Payment
EFT35324	13/03/2023	SITE ENVIRONMENTAL AND REMEDIATION SERVICES	Bore And Surface Water Monitoring -Waste Facility	- 8,360.00		Payment
EFT35325	13/03/2023	SOUTHWEST HOIST AND CRANE	Invoices As Below	- 962.50		Payment
VH1639	07/02/2023		Inspect And Service Workshop Hoist 11548-035		481.25	INV
VH1640	07/02/2023		Inspect And Service Workshop Hoist 12479-002		481.25	INV
EFT35326	13/03/2023	SPRY'S MEAT MARKET	Bbq Items, Salads And Onions For Farewell At Shire Depot	- 443.95		Payment
EFT35327	13/03/2023	WINC AUSTRALIA PTY LTD	Invoices As Below	- 990.79		Payment
9901397447	13/02/2023		L7067 Laser Labels For Shire Rubbish Bins		272.53	INV
9901397647	14/02/2023		Stationery -Paper, Glue, Sharpies Etc		305.50	INV
10226408	17/02/2023		Stationery - Dividers, Pens, Key Tags Etc		170.79	INV
9901399351	23/02/2023		Stationery - Markers, A5 Notebooks, W/Board Cleaner Etc		241.97	INV
EFT35328	13/03/2023	THOMSON'S AUTO PARTS	Invoices As Below	- 642.30		Payment
563781	01/02/2023		Auto Body Detail 750MI		22.95	INV
563806	02/02/2023		Tyre Repair Kit		18.00	INV
563804	02/02/2023		Penrite Green Coolant, Red Coolant		112.00	INV
563793	02/02/2023		P/S Fluid With Stop Leak 1 L		18.00	INV
563849	08/02/2023		Connector 50Amp, Anderson Ext 3M, M Toggle Tab Etc		73.50	INV
563863	09/02/2023		Trim Remover		18.95	INV
563953	20/02/2023		Penrite Eplus 10W40 Oil, Filter Pack		174.00	INV
563958	20/02/2023		Filter Pack, Enviro+Eng Oil 5W 40 7Ltr		154.00	INV
563959	21/02/2023		Tyre Repair Kit And Plugs		40.90	INV



# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
563988	23/02/2023		Pr Globes 12V21/5		3.00	INV
564028	27/02/2023		6Ltr Oil Drain Dish		7.00	INV
EFT35329	13/03/2023	THE ROYAL LIFE SAVING SOCIETY OF WA	Rlswa Pool Staff Coverage Of Swimming Pool Jan/Feb 2023	- 13,228.82		Payment
EFT35330	13/03/2023	T-QUIP	Engine Oil Filter, Hyd Filter	- 42.00		Payment
EFT35331	13/03/2023	TYREPOWER	Invoices As Below	- 875.00		Payment
3356621	03/02/2023		Repair Truck Tyre #32 (Co19468)		70.00	INV
3359656	15/02/2023		11225Rm208C, Tyre Disposal		500.00	INV
3356723	15/02/2023		Service Call Out, 115357 O-Ring, Puncture Repair		305.00	INV
EFT35332	13/03/2023	THE COLLIEFIELDS	Australia Day Coffee Vouchers X 8	- 40.00		Payment
EFT35333	13/03/2023	TLC CARPET AND TILE CLEANING	Invoices As Below	- 12,364.03		Payment
INV-0223	12/02/2023		Cleaning Roche 6,7,8,9 Feb 23.		495.00	INV
INV-0241	13/02/2023		Cleaning Roche Park 13,14,15,16 Feb 23		467.50	INV
INV-0256	24/02/2023		Cleaning Roche Park For 20,21,23,24 Feb 23		440.00	INV
INV-0247	28/02/2023		Public Toilet And Bbq Cleaning Services During Feb 23		10,961.53	INV
EFT35335	13/03/2023	T&R CONTRACTING PTY LTD	Invoices As Below	- 17,331.60		Payment
INV-1552	08/02/2023		Sand Cartage Truck & Loader Transfer Stn 31/1,1/2,6/2,7/2		7,211.60	INV
INV-1583	01/03/2023		Site Preparation For Lions Park Toilet		3,520.00	INV
INV-1584	01/03/2023		Demolition Of Lions Park Toilet Block		6,600.00	INV
EFT35336	13/03/2023	TOLL TRANSPORT PTY LTD	Invoices As Below	- 90.41		Payment
0568-S280142	12/02/2023		Freight For Fire Rescue Safety - Invoice 222186Aa		24.73	INV
0569-S280142	19/02/2023		Freight For Stewart & Heaton Invoice Sin-3672402		18.56	INV
0570-S280142	26/02/2023		Freight For Delivery From Pathwest, Stewart & Heaton		47.12	INV
EFT35337	13/03/2023	COLLIE RIVER VALLEY MEDICAL CENTRE	Employee Medical	- 469.50		Payment
EFT35338	13/03/2023	COLLIE BIN HIRE	Pumping Out From Chemical Dump Point At Visitors Centre	- 858.00		Payment
EFT35339	13/03/2023	WESTERN AG	Invoices As Below	- 1,544.71		Payment
7461	07/02/2023		Sicbp06020 Bp60/20 Pump No C/Valve Splined		1,355.00	INV
7204	15/02/2023		Otat346094 - Fuel Cap - Jd Grader		189.71	INV
EFT35340	13/03/2023	WURTH AUSTRALIA PTY LTD	Mechanical Workshop Consumables Restock	- 439.63		Payment
EFT35341	13/03/2023	WA DISTRIBUTORS	Invoices As Below	- 1,321.15		Payment
810741	09/02/2023		Pool Kiosk Expenses - Drinks & Confectionery		421.90	INV
810814	09/02/2023		Roche Park Kiosk Expenses & Cleaning Expenses		484.95	INV
814916	23/02/2023		Roche Park Kiosk Expenses - Confectionery, Drinks Etc		414.30	INV
EFT35342	13/03/2023	WESTERN AUSTRALIA POLICE	National Police Check - Oct 22 #1529	- 17.00		Payment
EFT35343	21/03/2023	THINKPROJECT (RAMM SOFTWARE)	Rental Of Pocket Ramm Software - 01 July 22 To 30 June 23.	- 8,754.24		Payment
EFT35344	22/03/2023	WA AUSTRALIAN SERVICES UNION WA (ASU)	Payroll Deductions/Contributions	- 155.40		Payment
EFT35345	22/03/2023	AUSTRALIAN TAXATION OFFICE	Payroll Deductions/Contributions	- 45,933.00		Payment

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
EFT35346	22/03/2023	DEPARTMENT OF HUMAN SERVICES	Payroll Deductions/Contributions	- 286.25		Payment
EFT35347	23/03/2023	ALL TECH PLUMBING	Install Eye Wash/ Safety Shower	- 2,195.60		Payment
EFT35348	23/03/2023	B-TECH ELECTRONIC ENGINEERING	Australia Day - Production Services/Sound System	- 450.00		Payment
EFT35349	23/03/2023	CB TRAFFIC SOLUTIONS	Invoices As Below	- 4,228.40		Payment
00011654	15/01/2023		Tc Crew For Powerhouse Road 09,10 Jan 23		3,445.20	INV
00011675	15/01/2023		Traffic Management Plan - Powerhouse Road		783.20	INV
EFT35350	23/03/2023	HOWSON MANAGEMENT PTY LTD (ARF BK& E FAMILY TRUST TA HOWSON TECHNICAL)	Invoices As Below	- 2,910.60		Payment
HT0223-2558	26/02/2023		Professional Services For Roadworks - Hoddell Rd		2,048.20	INV
HT0223-2559	01/03/2023		Professional Services For Roadworks - Gastaldo Rd, Mcalinden Rd, Powerhouse Rd		862.40	INV
EFT35351	23/03/2023	REUBEN'S NEWSAGENCY	Invoices As Below	- 87.90		Payment
LIB PAPERS FEB23	01/02/2023		Newspapers And Magazines For Library Feb 2023		74.70	INV
ADMIN PAPERS 260223	01/02/2023		Newspapers For Admin Feb 2023		13.20	INV
EFT35352	23/03/2023	REGIONAL FIRE & SAFETY	Invoices As Below	- 1,801.80		Payment
RFS-1646	22/02/2023		Annual Inspection And Test And Tag Of All Electrical Equipment For The Ses Unit Office & Equipment Shed.		1,100.00	INV
RFS-1641	08/03/2023		New Battery For Defibrillator At The Library.		701.80	INV
EFT35353	23/03/2023	TLC CARPET AND TILE CLEANING	Invoices As Below	- 7,210.94		Payment
INV-0250	15/02/2023		Carpet Cleaning Services At The Library.		1,705.00	INV
INV-0254	17/02/2023		Carpet Cleaning Services To Roche Park Recreation Centre		1,262.80	INV
INV-0265	26/02/2023		Carpet Cleaning Services At The Administration Building.		3,005.64	INV
INV-0273	02/03/2023		Cleaning Roche Park 27,28 Feb, 1,2 Mar		467.50	INV
INV-0283	12/03/2023		Cleaning Roche Park 7,8,9 Mar 23		330.00	INV
INV-0292	19/03/2023		Cleaning Roche Park 13,14,15,16 Mar 23		440.00	INV
EFT35354	23/03/2023	TELSTRA LIMITED	Invoices As Below	- 5,115.77		Payment
K132904901-8	09/03/2023		Telstra - Rec Ground Lighting, Mobile Phones, Visitor Centre, Ohs Ipad, Waste, Roche Park, Library, Asset Management Ipad, Pwo, Land Lines, Internet, Bushfire Risk Planning Coordinator, Bushfire Risk Planning Coordinator, Ses		4,835.82	INV
K605933501-3	12/03/2023		Telstra Account 0500999000 Internet And Data Plan		279.95	INV
EFT35355	23/03/2023	COLLIE TOWING	Towing Of Vehicle 1Dpj739 In Alleyway Behind 26 Mary St	- 130.00		Payment
EFT35356	23/03/2023	ARROW BRONZE	Invoices As Below	- 1,128.08		Payment
734729A	03/03/2023		Single Niche 7 Lines - Martin		509.63	INV

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
734729B	03/03/2023		2 X Single Niche 8 Lines - Pilatti		618.45	INV
EFT35357	23/03/2023	AUSTRALIAN INSTITUTE OF MANAGEMENT	New Supervisor Training - Parks & Gardens Supervisor	- 1,382.00		Payment
EFT35358	23/03/2023	ANSPACH AGRICULTURAL CONTRACTING	Hire Of Tipper Trailers For Road Construction	- 10,129.41		Payment
EFT35359	23/03/2023	AARON DUNCAN COOPER & GAY MICHELLE COOPER	Rates Refund	- 144.04		Payment
EFT35360	23/03/2023	ADAM DAVEY CONSULTING	Report On Collie River High Salinity Affects On Rec Ground Turf, Plus Recommendations And Benefits Of An Alternative Water Source	- 770.00		Payment
EFT35361	23/03/2023	THE APPRENTICE AND TRAINEESHIP COMPANY (GROUP TRAINING SOUTH WEST)	Invoices As Below	- 612.14		Payment
GT1641114	02/03/2023		School Based Trainee, W/Ending 28.02.2023		306.07	INV
GT1641216	09/03/2023		School Based Trainee W/Ending 07.03.2023		306.07	INV
EFT35362	23/03/2023	BUILDING & CONSTRUCTION INDUSTRY	Building Levy X 3 Properties	- 1,423.25		Payment
EFT35363	23/03/2023	BUNBURY MACHINERY	Invoices As Below	- 10,691.00		Payment
SIB35904	24/02/2023		Spitwater Hp251/Sae 3650 Psi Pressue Cleaner,		10,460.00	INV
SIB36081	28/02/2023		Rectify Issue With Kubota Tractor 3Pl Not Lifting (Co30539)		231.00	INV
EFT35364	23/03/2023	BUILDING COMMISSION	Invoices As Below	- 3,105.91		Payment
BSL JAN 2023	01/01/2023	BUILDING COMMISSION	Building Services Levy Jan 2023		752.75	INV
BSL FEB 2023	01/02/2023	BUILDING COMMISSION	Building Services Levy Feb 2023		2,353.16	INV
EFT35365	23/03/2023	BUNNINGS BUILDING SUPPLIES	Wooden Stakes - 38*38*1800Mm - 3Pk	- 766.40		Payment
EFT35366	23/03/2023	BUSY BEE DRY CLEANERS	Dry Cleaning Of Linen Cloths For Council Meetings	- 19.80		Payment
EFT35367	23/03/2023	BIOBAG WORLD AUSTRALIA PTY LTD	Biodegradable Dog Waste Bags	- 1,518.00		Payment
EFT35368	23/03/2023	BLACK DIAMOND LODGE	Accommodation For Royal Life Pool Supervisors	- 600.00		Payment
EFT35369	23/03/2023	BUNBURY HARVEY REGIONAL COUNCIL	Organics Disposal Banskia Road - Feb 2023	- 7,614.20		Payment
EFT35370	23/03/2023	BROOKS HIRE SERVICE PTY LTD	Steel Drum Roller To Replace Damaged Shire Roller	- 1,454.90		Payment
EFT35371	23/03/2023	COLLIE FREIGHTLINES	Freight For Delivery From T-Quip, Southern Lock And Security, Heatleys	- 155.47		Payment
EFT35372	23/03/2023	SCOTT CHRISTINGER	For Decommissioning Of Electricity At Lions Park Toilet (Incl. Western Power Approval), And Installation Of Temporary Freestanding Pole With Switchboard	- 5,466.75		Payment
EFT35373	23/03/2023	COLLIEBURN / CARDIFF FIRE BRIGADE	Invoices As Below	- 1,600.00		Payment
13122022	04/01/2023		M.A.F Burn Treatment #3015 Patstone Road East		800.00	INV
30012023	30/01/2023		M.A.F Burn Treatment #5878 Gordon Road,		800.00	INV
EFT35374	23/03/2023	CLEANAWAY PTY LTD	Invoices As Below	- 45,644.64		Payment
21722448	28/02/2023		Recycling Contract February 2023		2,174.46	INV
21724703	28/02/2023		Cleanaway Bin Repairs / Replacements For Feb 2023		2,632.26	INV
21724702	28/02/2023		Waste Refuse, Organics, Recycling Contract Feb 2023		40,837.92	INV

## SHIRE OF COLLIE

### List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
EFT35375	23/03/2023	CROSS SECURITY SERVICES	Investigate Cctv Fault At The Mineworkers Memorial Pool, Duress Pendant Fault At Library	- 785.18		Payment
EFT35376	23/03/2023	COLLIE COMMUNITY PUBLISHERS (CRV BULLETIN)	Invoices As Below	- 878.90		Payment
INV-5824	02/03/2023		Job Advertisements - Grader Driver, General Hands, Whs		181.50	INV
INV-5825	02/03/2023		Road Closure Advertisement		169.40	INV
INV-5856	09/03/2023		Monthly Shire Update Page For Mar23		528.00	INV
EFT35377	23/03/2023	COLLIE EAGLES FOOTBALL CLUB INC.	Kaya Collie Grant - Sponsorship Towards Labor Day Concert	- 1,500.00		Payment
EFT35378	23/03/2023	CHAPPELL LANDSCAPING	Truck Load Yellow Sand Delivered To Rec Ground	- 390.00		Payment
EFT35379	23/03/2023	COLLIE PETS AND VETS	Vet Services - Microchipping 09Jan, 30Jan 23	- 100.00		Payment
EFT35380	23/03/2023	CTEC MECHANICAL WA PTY LTD	Holden Colorado Ls 4X4 C/Cab (117Co) Tyres And Balance	- 1,360.00		Payment
EFT35382	23/03/2023	DALE ALCOCK HOMES SOUTH WEST PTY LTD	Kerb Bond Refund For 18 Coverley Drive Collie Bp2021081	- 1,000.00		Payment
EFT35383	23/03/2023	DORMAKABA AUSTRALIA PTY LTD	Service The Front Sliding Door At Roche Park	- 220.00		Payment
EFT35384	23/03/2023	DYNAMIC SECURITY MANAGEMENT P/L	Alarm Call Out To Transfer Station 07/02/2023	- 330.00		Payment
EFT35385	23/03/2023	EVERLON BRONZE	Bronze Plaque For Cemetery	- 334.40		Payment
EFT35386	23/03/2023	EVERGREEN HOUSE TRANSFORMERS	Kerb Bond Refund - Dp2022090	- 1,025.00		Payment
EFT35387	23/03/2023	DEPARTMENT OF FIRE AND EMERGENCY SERVICES	Reimbursement To Dfes For Meals For Incident 606629 Coalfields X Rose Rd 30.01.2023	- 754.50		Payment
EFT35388	23/03/2023	PFD FOOD SERVICES PTY LTD	Invoices As Below	- 651.45		Payment
LG367242	10/03/2023		Pool Kiosk Expenses - Crisps, Ice Creams Etc		248.30	INV
LG367241	10/03/2023		Pool Kiosk Expenses - Sausage Rolls & Pies		403.15	INV
EFT35389	23/03/2023	FULTON HOGAN INDUSTRIES PTY LTD	Supply & Spray Of Aggregate & Precoat For Mcalinden Road	- 164,902.41		Payment
EFT35390	23/03/2023	GREENACRES TURF GROUP	140M2 Wintergreen Couch	- 1,316.00		Payment
EFT35391	23/03/2023	HENDERSON HARDWARE	Invoices As Below	- 936.65		Payment
000110124	24/01/2023		Australia Day - Rope For Pool Inflatable - Grant Funded		160.00	INV
00010724	01/02/2023		T-Rex Crystal Clear		22.00	INV
000110669A	01/02/2023		Nozzle Adj Q/C 12Mm And Sprinkler Fountain		19.70	INV
00011045	06/02/2023		D Shackle 6Mm Zenith		11.70	INV
00011040	06/02/2023		Hex Plug 6Mm		1.80	INV
00011123	07/02/2023		Socket 1 Bsp"		6.80	INV
000111197	08/02/2023		Nozzle, Hose Connector, Tap Adaptor Etc		40.40	INV
00011464	10/02/2023		Handle Aluminium Blue, Mop Head Contractor 600		40.00	INV
00011717	14/02/2023		Joiner Metric		34.90	INV
00011838	16/02/2023		Concrete Packs 20Kg		42.00	INV
0001195701	17/02/2023		Cap Threaded 1/2",4.40"		4.40	INV
00012215	21/02/2023		Cap Threaded 3/4",2.65"		2.65	INV
000112508P1	24/02/2023		Clear Tube Vinyl Various Size		21.40	INV
00012695	27/02/2023		Trowel Gauging 175Mm		16.30	INV

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
00012386B1	27/02/2023		Pvc Storm Junction, Elbow, Easydrain End Cap, Pipe Etc		487.70	INV
00012768	28/02/2023		Bit Holder Magnetic 1/4		24.90	INV
EFT35392	23/03/2023	HEATLEY SALES PTY LTD	Vc105 Faceshield C/W Visor High Impact Unisafe	- 209.88		Payment
EFT35393	23/03/2023	INTERFIRE AGENCIES	Invoices As Below	- 2,058.80		Payment
INV-13597	02/03/2023		Ppe Items For New Members		1,856.66	INV
INV-13651	08/03/2023		Ppe Items For New Members		202.14	INV
EFT35394	23/03/2023	INTERPHONE	Nbn Optic Fibre Internet 01/03/2023 - 31/03/2023	- 130.90		Payment
EFT35395	23/03/2023	JVA & CO	Install Of 2 Doors At The Stage At Roche Park	- 407.00		Payment
EFT35396	23/03/2023	LIVING SPRINGS	15 Ltr Bottles Springwater - Admin - 03 & 17 Feb 23	- 112.50		Payment
EFT35397	23/03/2023	MCLEODS BARRISTERS & SOLICITORS	Sat Review Smargiassi Pty Ltd - Scenic Drive	- 1,000.07		Payment
EFT35398	23/03/2023	M & B SALES PTY LTD	Supply 2 Duracote External Doors For Roche Park	- 295.53		Payment
EFT35399	23/03/2023	MARKETFORCE	Invoices As Below	- 331.86		Payment
40928	01/02/2023		Early Settlement Discount For Invoice 46200 Dec 22 ,		- 46.76	INV
46810	23/02/2023		Job Advert - Technical Services Administration Officer		378.62	INV
EFT35400	23/03/2023	OZARB TREE SERVICE	Removal Of Dead Branches Next To Caravan Park	- 1,650.00		Payment
EFT35401	23/03/2023	PRESTON RD BUSHFIRE BRIGADE	Maf Treatment #5817 Day Hay St Prescribed Burn.	- 50.00		Payment
EFT35402	23/03/2023	PILATTI BROS TRANSPORT	Invoices As Below	- 2,972.86		Payment
INV-4726	03/03/2023		Concrete For Footpath Repair		2,173.38	INV
INV-4741	08/03/2023		Additional Concrete For Ash Mews Pour		117.48	INV
INV-4744	09/03/2023		Yellow Screened Sand - 10T		341.00	INV
INV-4754	13/03/2023		10T Yellow Screened Sand		341.00	INV
EFT35403	23/03/2023	THE PRINT SHOP BUNBURY	Business Cards - Director Technical Services	- 103.40		Payment
EFT35404	23/03/2023	P & S GRIGGS PLUMBING	Invoices As Below	- 3,717.44		Payment
INV-15170	30/01/2023		Repair Of Damaged Tap Standpipe At Wallsend Ground		1,105.55	INV
INV-15171	30/01/2023		Testing Of Rpz Valves At Allanson Bfb & Toilets		540.00	INV
INV-15213	20/02/2023		Unblock Dump Point At The Truckbay		176.00	INV
INV-15210	20/02/2023		Supply & Install A Plastic Cistern To The Visitors Centre.		445.89	INV
INV-15334	09/03/2023		Annual Backflow Device Test At Forrest St Footbridge		180.00	INV
INV-15335	09/03/2023		Annual Backflow Device Inspection 156 Throssell St		180.00	INV
INV-15336	09/03/2023		Tests To Rpz & Dcv At The Shire Depot		360.00	INV
INV-15337	09/03/2023		Annual Backflow Device Inspection, Bingham Standpipe		180.00	INV
INV-15333	09/03/2023		Disconnect Water And Sewer Service For Lions Park Toilet		550.00	INV
EFT35405	23/03/2023	VEOLIA RECYCLING & RECOVERY (PERTH) PTY LTD	Recycling Contract Feb 2023	- 1,615.85		Payment
EFT35406	23/03/2023	RIVER VALLEY VETS	Vet Services	- 275.20		Payment
EFT35408	23/03/2023	COLLIE MOWERS AND MORE	Invoices As Below	- 782.10		Payment
771#0	20/02/2023		Hedger Sharpen		94.50	INV
769#0	20/02/2023		Service And Repair Equipment		220.60	INV

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## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
770#0	20/02/2023		Hedge Trimmer Sharpen		94.50	INV
772#0	20/02/2023		Labour For Mower Repairs		45.00	INV
785#0	28/02/2023		Replacement Guards For Stihl Line Trimmers		252.00	INV
789#0	03/03/2023		Mower Repairs		75.50	INV
EFT35409	23/03/2023	SOUTH WEST LOCKSMITHS	2 X Keys - System A1.D11 (Main Administration Building)	- 47.92		Payment
EFT35410	23/03/2023	SCOPE BUSINESS IMAGING	Invoices As Below	- 420.00		Payment
602019	28/02/2023		Library Colour Photocopier Feb 2023		268.68	INV
602018	28/02/2023		Depot Colour Photocopier Feb 2023 ,		151.32	INV
EFT35411	23/03/2023	SIGMA CHEMICALS	Soda Ash, Buffer Sodium Bicarbonate - Pool	- 1,439.90		Payment
EFT35412	23/03/2023	SUPER COOL AUTO AIR	Repair A/C System On Loader @Transfer Station	- 470.00		Payment
EFT35413	23/03/2023	WINC AUSTRALIA PTY LTD	Invoices As Below	- 994.62		Payment
9901408353	03/03/2023		Ppe And First Aid Kit Supplies		302.76	INV
9901409158	08/03/2023		10 Boxes A4 Paper		429.00	INV
9901409759	11/03/2023		Labelwriter, Bulk Plastic Envelopes/Folders/ Labels Etc		262.86	INV
EFT35414	23/03/2023	THOMSON'S AUTO PARTS	Invoices As Below	- 475.80		Payment
564091	07/03/2023		Globe H1 12V 55W		9.00	INV
564089	07/03/2023		Torx Key Set & Ratchet Driver And Bits, Jockey Wheel, Coolant		286.95	INV
564108	08/03/2023		Replacement Jockey Wheel For Graffiti Trailer		89.95	INV
564098	08/03/2023		Narva Globes		4.00	INV
564119	09/03/2023		2.5Ltr 2 Stroke Mix Oil		45.90	INV
564123	10/03/2023		4.5Db Mast		40.00	INV
EFT35415	23/03/2023	STATE LIBRARY OF WESTERN AUSTRALIA	2022/2023 Inter-Library Loans Delivery Charges (Jan-Jun 23)	- 856.12		Payment
EFT35416	23/03/2023	TYREPOWER	Invoices As Below	- 1,480.00		Payment
3362375	28/02/2023		Kumho Truck Tyre (Co11200), Disposal - Truck Tyre		420.00	INV
3363241	09/03/2023		Yokohama Tyre X 4 (53Co), Tyre Disposal, Wheel Alignment		1,060.00	INV
EFT35417	23/03/2023	TIMBER INSIGHT	Maintenance To Br3525A, Br3518. Pile Bands To Bridge 3520	- 21,615.00		Payment
EFT35418	23/03/2023	TOSCAS BOUTIQUE	Australia Day Coffee Vouchers X 35	- 175.00		Payment
EFT35419	23/03/2023	T&R CONTRACTING PTY LTD	Sand For Waste Transfer Station	- 9,834.00		Payment
EFT35420	23/03/2023	BUNBURY TT P/L T/A TOTAL TOOLS BUNBURY	Detvac260S2 - Vac Wet/Dry 60L 2X1200W S/S Detroit	- 449.00		Payment
EFT35421	23/03/2023	TOLL TRANSPORT PTY LTD	Freight For Delivery From Westrac - Invoice Pi7996440	- 16.31		Payment
EFT35422	23/03/2023	D & A ENTERPRISES T/A T & V FENCING	Invoices As Below	- 5,054.70		Payment
INV-0238	03/03/2023		Replacement Gates And Fencing From Break In		4,704.70	INV
INV-0248	08/03/2023		Roll Of Fencing Mesh For Depot Fencing Repairs		350.00	INV
EFT35423	23/03/2023	COLLIE RIVER VALLEY MEDICAL CENTRE	Invoices As Below	- 296.10		Payment
643516GM5	21/02/2023		Invoice 643516Gm5 - Workplace Injury 21/02/2023		81.60	INV
647062	07/03/2023		Pre-Employment Medical - Administration Assistant		214.50	INV

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
EFT35424	23/03/2023	VON BIBRA MOTORS PARTS AND CRAFTS SUPPLIES	No Camping/No Fires Signage	- 248.00		Payment
EFT35425	23/03/2023	PRINT SYNC BUSINESS SOLUTIONS	Ses Photocopier Charges 22/02/2023 - 21/03/2023	- 441.02		Payment
EFT35426	23/03/2023	WHITE BUILDING CO PTY LTD	Invoices As Below	- 2,000.00		Payment
KERB BOND REFUND 23022023	23/02/2023		Kerb Bond Refund For Bp 2020130		1,000.00	INV
KERB BOND REFUND 27022023	27/02/2023		Kerb Bond Refund For Bp 2020205		1,000.00	INV
EFT35427	23/03/2023	WESTRAC EQUIPMENT PTY LTD	Carbon Impregnated Cab Air Filter	- 366.87		Payment
EFT35428	23/03/2023	COLLIE BIN HIRE	Invoices As Below	- 6,204.00		Payment
9787	31/01/2023		Supply And Empty Skip Bins For 6 Months From January 2023		1,056.00	INV
9837	24/02/2023		Pumping Out From Toilet Dump Point At Truck Bay Feb 23		264.00	INV
9848	28/02/2023		Servicing Of X2 Toilets At Black Diamond For Feb 23		1,320.00	INV
9847	28/02/2023		Servicing Of X 4 Toilets At Black Diamond For Jan 23		2,640.00	INV
9846	28/02/2023		Supply/Empty Bins - Minninup Pool, Black Diamond & Depot		924.00	INV
EFT35429	23/03/2023	WESTERN AG	Kut 1850-21410 Plug-Hydraulic Oil Filler	- 64.56		Payment
EFT35430	23/03/2023	WAGON 537	Australia Day Coffee Vouchers - Grant Funded	- 450.00		Payment
EFT35432	23/03/2023	WA DISTRIBUTORS	Invoices As Below	- 1,217.40		Payment
815453	23/02/2023		Roche Park Kiosk Expenses - Drinks, Confectionery Etc		485.50	INV
814895	23/02/2023		Pool Kiosk Expenses - Drinks, Confectionery Etc		131.00	INV
817464	02/03/2023		Roche Park Kiosk - Confectionary Order		385.05	INV
820245	09/03/2023		Pool Kiosk Expenses - Drinks, Confectionery Etc		215.85	INV
EFT35433	23/03/2023	WA TREASURY CORPORATION	Loan 120 Repayment	- 5,684.77		Payment
EFT35434	23/03/2023	WEED PEST & VERMIN CONTROL - NEIL FRASER	Invoices As Below	- 495.00		Payment
ADG1162350	14/02/2023		White Ant Treatment - Ash Mews		330.00	INV
ADG3378611	08/03/2023		White Ant Treatment Harvey St		165.00	INV
EFT35435	24/03/2023	SYNERGY	Invoices As Below	- 44,642.97		Payment
3000195447	28/02/2023		Various		26,119.54	INV
2005779680	07/03/2023		Account 102659550 Street Lighting		18,523.43	INV
41907	03/03/2023	BRETT WILLIAM HANSEN	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment
41908	03/03/2023	JOE ITALIANO	Elected Member Annual Attendance Fee 2022/23	- 8,480.00		Payment

# SHIRE OF COLLIE

## List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
41909	03/03/2023	STATE EMERGENCY SERVICE	Woolworths - Replacement Cartridges For Hp Printer	- 113.00		Payment
41911	13/03/2023	DARYL SHEPPARD	Rates Refund	- 498.00		Payment
41912	13/03/2023	DWAYNE ROBERT TIMMS & JULIE LYNNE TIMMS	Rates Refund	- 1,150.55		Payment
41913	13/03/2023	SHIRE OF COLLIE - PETTY CASH	Soft Drinks For Chambers, Extension Cord For Copy Room, Mixed Screws, Sunscreen For Pool, Milk For Office And Chambers, Bread For Employee Farewell, Sharpie Pack, Cable Ties	- 186.10		Payment
41914	13/03/2023	STATE EMERGENCY SERVICE	Petty Cash - Milk, Mop, Training And Cleaning Supplies	- 49.39		Payment
41915	13/03/2023	STEVEN GERALD GREAVES	Rates Refund For Assessment A1790	- 568.57		Payment
41916	13/03/2023	WENDY AND MICHAEL HOSKINS	Rates Refund For Assessment A3464	- 481.00		Payment
41918	23/03/2023	SHIRE OF COLLIE LIBRARY - PETTY CASH	Milk, Postage, Stationary, Quiz Prizes, Telstra Wifi Recharge	- 189.66		Payment
41919	23/03/2023	ROCHE PARK RECREATION CENTRE	Petty Cash, Prizes, Laundry Of Mop Heads, Milk, Paint Boxes, Scoreboard Timers, Office Expenses, Kiosk Expenses	- 194.25		Payment
DD29831.1	08/03/2023	WRIGHT EXPRESS AUSTRALIA PTY LTD	Wex Motorpass February 2023 Fuel/Card For Fire Vehicles	- 1,448.16		Payment
DD29833.1	21/03/2023	AMPOL	Diesel Delivery For Depot - 22.02.2023	- 18,147.29		Payment
9428128512	02/02/2023		Diesel Delivery To Depot - 02.02.2023		6,298.89	INV
9428169812	15/02/2023		Diesel Delivery To Depot -15.02.2023		6,186.92	INV
9428187668	22/02/2023		Diesel Delivery For Depot - 22.02.2023		5,661.48	INV
DD29870.1	14/03/2023	COLES SUPERMARKET (RETAIL DECISIONS PTY LTD)	Invoices As Below	- 1,320.76		Payment
58400	02/02/2023		Pool Kiosk Expenses		291.10	INV
264000	09/02/2023		Roche Park Kiosk Expenses - 2 X Loaves Bread		6.00	INV
661600	15/02/2023		Pool Kiosk Expenses - Ice Creams, Tomato Sauce Etc		35.20	INV
303700	16/02/2023		Roche Park Cleaning Expense & Kiosk Expenses		139.50	INV
352400	22/02/2023		Roche Park Kiosk Expenses - Corn Chips, Pies Etc		67.05	INV
881800	16/02/2023		Supplies For Employee Farewell - Plates, Cutlery, Trays, Etc		62.26	INV
799500	03/02/2023		Batteries - Cr2032 For Dts Vehicle Remote Control		16.50	INV
450100	16/02/2023		Drinks For Employee Leaving The Shire Bbq Lunch		66.20	INV
705100	21/02/2023		Pool Kiosk Expenses - Soft Drinks, Water, Sports Drinks		194.75	INV
772200	02/02/2023		Pool Expenses - 4 X 24Pk Water		39.00	INV
204800	02/02/2023		Roche Park Cleaning Expenses & Kiosk Expenses		259.10	INV
114400	09/02/2023		Pool Kiosk Expenses & Sunscreen		74.30	INV
114500	09/02/2023		Roche Park Cleaning Expenses & Kiosk Expenses		69.80	INV
DD29881.1	14/03/2023	REGIONAL AUSTRALIA INSTITUTE	Regions Rising Conference - Ceo & Dds	- 440.00		Payment
DD29883.1	21/03/2023	AMPOLCARD	Ampol Card Fuel Feb 2023 104Co, 107Co, 102Co, 100Co, Co31241	- 2,057.04		Payment
DD29886.1	14/03/2023	SEEK LIMITED	Advertisement Of Infrastructure Manager	- 346.50		Payment



## SHIRE OF COLLIE

### List of Accounts Submitted to Council - March 2023

Chq/EFT	Date	Name	Description	Payment	Invoice Details	Type
DD29886.2	14/03/2023	ZOOM VIDEO COMMUNICATIONS INC	Zoom License 08/02/2023 - 02/03/2023	- 41.98		Payment
DD29886.3	14/03/2023	SAI GLOBAL LIMITED	Provision Of As 2601-2001 'Demolition Of Structures'. - Lions Park Toilets	- 169.47		Payment
DD29886.4	14/03/2023	KINGS PARK MOTEL	1 X Night Accommodation Staff Training Per 646	- 220.00		Payment
DD29886.5	14/03/2023	TOTAL DEFENSE INC	Provide Renewal Of 3-Year Virus Security Defense Subscription For 10X Bfb Desktop And Laptop Computers	- 300.52		Payment
DD29886.6	14/03/2023	BENDIGO BANK CREDIT CARD	Credit Card Fees 01.02.2023 - 28.02.2023	- 4.00		Payment
DD29955.1	16/03/2023	3E ADVANTAGE PTY LTD	Admin Photocopier (Mar 2023)	- 566.50		Payment
DD29957.1	26/03/2023	3E ADVANTAGE PTY LTD	Library Photocopier (Mar 2023)	- 121.00		Payment
DD29959.1	08/03/2023	3E ADVANTAGE PTY LTD	Depot Photocopier - Mar 2023	- 181.50		Payment
DD29961.1	15/03/2023	DE LAGE LANDEN PTY LTD	Roche Park Photocopier ( Mar 2023 )	- 115.50		Payment
DD29963.1	05/03/2023	FINRENT PTY LTD	Lease Liability - Admin Plotter Lease Mar 23	- 402.59		Payment
DD29965.1	21/03/2023	IINET CONNECT BETTER	Nbn25 Satellite Monthly Charge, Collie Preston Bfb, Harris River Bfb, Allanson Bfb, Cardiff Bfb, Worsley Bfb	- 224.95		Payment
DD29967.1	01/03/2023	LES MILLS ASIA PACIFIC	Contract Fee Bodypump/Rpm/B Balance Mar 23	- 652.92		Payment
DD29969.1	20/03/2023	NAVMAN WIRELESS AUSTRALIA PTY LTD	Gsp Tracking 15/03/2023 - 14/04/2023	- 1,210.00		Payment
DD29971.1	15/03/2023	SG FLEET AUSTRALIA PTY LTD	Cesm Vehicle (Co31241) And Vehicle Pod Lease	- 1,644.42		Payment
DD29997.1	24/03/2023	AUSTRALIA POST	Postage 01.02.2023 - 28/02/2023	- 2,929.24		Payment
Payroll		SHIRE PAYROLL	Net Pay 12.03.2023	- 150,463.05		Payment
Payroll		SHIRE PAYROLL	Net Pay 26.02.2023 One Off	- 395.60		Payment
Payroll		SHIRE PAYROLL	Net Pay 26.03.2023	- 144,580.73		Payment

Bank Code

BENMUNI - 1,356,120.94

BENTRUST -

**- 1,356,120.94**

#### Certificate of Chief Executive Officer

This schedule of accounts to be passed for payment, covering vouchers as above was submitted to each member of Council has been checked and is fully supported by vouchers and invoices which are submitted herewith and which have been fully certified as to the receipt of goods and the rendition of services and as to prices, computations and costings and the amounts shown are due for payment



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 12.2.A**



**SHIRE OF COLLIE**  
**RATE SETTING STATEMENT**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

NOTE	2022/23 Budget \$	(a) YTD Budget \$	(b) Actual \$	(b) - (a) Variance \$	
<b>OPERATING ACTIVITIES</b>					
<b>Net current assets at start of financial year - surplus/(deficit)</b>	1,876,442	1,876,442	2,372,112	495,670	▲
	1,876,442	1,876,442	2,372,112		
<b>Revenue from operating activities (excluding rates)</b>					
Specified area and ex gratia rates	858	0	0	0	
Operating grants, subsidies and contributions	1,615,235	929,024	1,035,872	106,848	▲
Fees and charges	2,383,664	2,119,491	2,177,076	57,585	▲
Interest earnings	98,484	63,004	115,746	52,742	▲
Other revenue	5,000	2,500	52,063	49,563	▲
Profit on asset disposals	0	0	0	0	
	4,103,241	3,114,019	3,380,757		
<b>Expenditure from operating activities</b>					
Employee costs	(5,828,582)	(4,142,802)	(4,105,760)	37,042	▼
Materials and contracts	(3,864,092)	(2,766,669)	(2,463,976)	302,693	▼
Utility charges	(519,526)	(347,652)	(329,392)	18,260	▼
Depreciation on non-current assets	(3,064,988)	(2,087,389)	(1,774,602)	312,787	▼
Interest expenses	(40,215)	(25,385)	(25,292)	93	▼
Insurance expenses	(322,243)	(322,243)	(338,191)	(15,948)	▲
Other expenditure	(119,280)	(105,790)	(105,790)	(0)	▲
Loss on asset disposals	0	0	0	0	
	(13,758,926)	(9,797,930)	(9,143,004)		
<b>Non-cash amounts excluded from operating activities</b>					
Depreciation on non-current assets	3,064,988	2,087,389	1,774,602	(312,787)	
Profit on asset disposals	0	0	0	0	
Loss on asset disposals	0	0	0	0	
<b>Amount attributable to operating activities</b>	(4,714,255)	(2,720,080)	(1,615,534)		
<b>INVESTING ACTIVITIES</b>					
Non-operating grants, subsidies and contributions	4,755,636	1,240,490	1,272,025	31,535	▲
Payments for property, plant and equipment	(2,173,074)	(233,294)	(221,076)	12,218	▼
Payments for construction of infrastructure	(3,698,144)	(1,151,345)	(1,089,665)	61,680	▼
Proceeds from financial assets at amortised cost - self supporting loans	8,920	8,920	8,920	0	
Proceeds from financial assets at amortised cost - advance	5,000	2,500	2,500	0	
<b>Amount attributable to investing activities</b>	(1,101,662)	(132,729)	(27,295)		
<b>Amount attributable to investing activities</b>	(1,101,662)	(132,729)	(27,295)		
<b>FINANCING ACTIVITIES</b>					
Repayment of borrowings	(222,559)	(112,404)	(112,338)	66	▼
Principal elements of finance lease payments	(60,000)	(33,000)	(32,558)	442	▼
Transfers to cash backed reserves (restricted assets)	(928,000)	(928,000)	(928,000)	0	
Transfers from cash backed reserves (restricted assets)	247,560	0	0	0	
<b>Amount attributable to financing activities</b>	(962,999)	(1,073,404)	(1,072,896)		
<b>Budgeted deficiency before general rates</b>	(6,778,916)	(3,926,213)	(2,715,725)	1,210,487	
<b>Estimated amount to be raised from general rates</b>	6,792,616	6,787,213	6,783,357	(3,856)	▼
<b>Net current assets at end of financial year - surplus/(deficit)</b>	13,700	2,861,000	4,067,632	1,206,632	▲

**SHIRE OF COLLIE**  
**NOTE 1: MATERIAL VARIANCES**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

Material variance of 10% or \$10,000, whichever is greater are shown below (as per Council resolution 9031)

	Variance \$	Variance %	Timing/ Permanent	Explanation of variances
<b>Revenue from operating activities (excluding rates)</b>				
Operating grants, subsidies and contributions	106,848	11.50% ▲	Permanent Timing	The actual financial assistance grant revenue is higher than anticipated. Budget amendment is required to recognise unbudgeted grant revenue (i.e. additional revenue for Kaya Collie)
Fees and charges	57,585	2.72% ▲	Timing	Development application fees are greater than expected mainly due to a significant application received
Interest earnings	52,742	83.71% ▲	Timing	Timing of fees such transfer station
Other revenue	49,563	1982.53% ▲		Higher than expected interest rate on term deposits Workers compensation reimbursement
<b>Expenditure from operating activities</b>				
Employee costs	37,042	0.89% ▼	Timing	Vacant positions
Materials and contracts	302,693	10.94% ▼	Timing	The budget is spread evenly across 12 months and the spend trend is expected to increase closer to 30 June.
Utility charges	18,260	5.25% ▼	Timing	The budget is spread evenly across 12 months and water charges are higher over summer months
Depreciation on non-current assets	312,787	14.98% ▼	Permanent	Due to revaluation of assets at 30 June 2022, the year end depreciation is anticipated to be less than the adopted budget.
Insurance expenses	(15,948)	(4.95%) ▲	Permanent	2021-22 premium adjustment - Motor Vehicle (+\$11,289) & Property of (-\$1,292) 2022-23 budget was \$3,000 less than the 2022-23 renewal due to replacement SES boat and trailer
<b>INVESTING ACTIVITIES</b>				
Non-operating grants, subsidies and contributions	31,535	2.54% ▲	Permanent	The main roads direct grant revenue is higher than anticipated
Payments for construction of infrastructure	61,680	5.36% ▼	Permanent	The over expenditure in gravel resheeting and road shoulders are from internal labour cost

**SHIRE OF COLLIE**  
**NOTE 2: NET CURRENT FUNDING POSITION**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

	2022/23		2021/22
NOTE	Budget	Actual	Actual
	\$	\$	\$
<b>Current Assets</b>			
Cash and cash equivalents - unrestricted	615,850	3,609,176	4,195,635
Cash and cash equivalents - restricted	4,889,461	2,817,487	1,889,624
Financial assets - unrestricted	92,586	100,246	111,175
Receivables	985,828	3,395,027	1,809,758
Contract assets	591,634	525,371	606,579
Other assets	0	29,465	55,624
Inventories	6,400	35,718	19,634
	<b>7,181,759</b>	<b>10,512,489</b>	<b>8,688,029</b>
<b>Current Liabilities</b>			
Trade and other payables	(1,328,781)	(1,050,185)	(1,594,115)
Contract liabilities	(1,497,360)	(1,578,555)	(970,581)
Unspent non-operating grants associated with restricted cash	(766,159)	(987,210)	(1,781,023)
Lease liabilities	(25,835)	(19,961)	(52,519)
Long term borrowings	(210,000)	(202,996)	(202,996)
Employee provisions	(949,817)	(896,898)	(896,898)
	<b>(4,777,952)</b>	<b>(4,735,805)</b>	<b>(5,498,132)</b>
<b>Reserves</b>			
Cash-in-lieu of public open space reserve	0	0	0
Leave reserve	(386,642)	(386,213)	(296,687)
Unspent grants reserve	0	0	0
Plant reserve	(621,087)	(621,201)	(341,201)
Airport reserve	(12,250)	(12,251)	(2,251)
Building reserve	(435,976)	(589,933)	(539,933)
Waste reserve	(539,612)	(508,702)	(338,702)
Revaluation reserve	(101,604)	(101,635)	(76,635)
Election reserve	(22,205)	(25,554)	(7,554)
River rehabilitation reserve	(16,962)	(81,997)	(71,997)
Roche Park reserve	(42,040)	(42,040)	(2,040)
Collie Mineworkers Swimming Pool reserve	(60,003)	(60,008)	(20,008)
New Initiative reserve	(180,000)	(180,014)	(90,014)
Legal reserve	(20,000)	(20,000)	0
Parks and ovals reserve	(187,561)	(187,939)	(102,602)
Unspent loan reserve	0	0	0
	<b>(2,625,942)</b>	<b>(2,817,487)</b>	<b>(1,889,624)</b>
<b>Other adjustments</b>			
Current portion of borrowings	210,000	202,996	202,996
Current portion of lease liabilities	25,835	19,961	52,519
Financial asset - self supporting loan	0	(8,920)	(8,920)
Financial asset - advance	0	(2,500)	(5,000)
Employee benefits	0	896,898	830,244
	<b>235,835</b>	<b>1,108,435</b>	<b>1,071,839</b>
<b>Net Current Funding Position</b>	<b>13,700</b>	<b>4,067,632</b>	<b>2,372,112</b>
<b>Net current assets at end of financial year - surplus/(deficit) from RSS</b>	<b>13,700</b>	<b>4,067,632</b>	<b>1,876,442</b>
	<b>0</b>	<b>(0)</b>	<b>495,670</b>

**SHIRE OF COLLIE**  
**NOTE 3: CASH AND INVESTMENTS**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

	<b>Cash Deposit</b>	<b>Term Deposit</b>	<b>Interest Rate</b>	<b>Maturity Date</b>
	\$	\$	%	
<b>Municipal</b>				
Bendigo Bank - Municipal Account	311,461	0		N/A
Bendigo Bank - High Interest Account	611,580	0	0.65%	N/A
Commonwealth Bank - Municipal Term Deposit	0	1,004,646	3.85%	7/03/2023
Commonwealth Bank - Municipal Term Deposit	0	1,827,079	3.73%	17/04/2023
<b>Reserve</b>				
Bendigo Bank - Reserve Account	467,883	0		N/A
Commonwealth Bank - Reserve Term Deposit	0	2,350,000	3.76%	15/05/2023
<b>Trust</b>				
Bendigo Bank - Trust Account	42,205	0		N/A
	<b>1,433,129</b>	<b>5,181,725</b>		

## SHIRE OF COLLIE

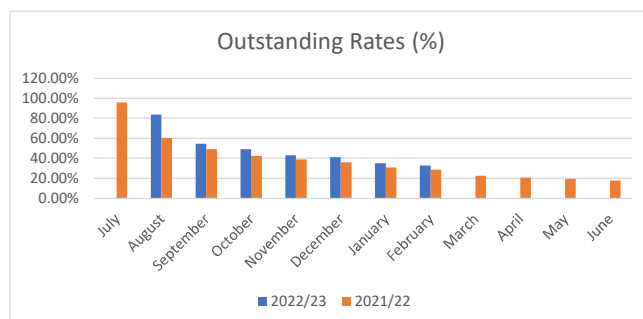
### NOTE 4 : RECEIVABLES & PAYABLES

FOR THE PERIOD ENDED 28 FEBRUARY 2023

	Actual	30 June 2022
	\$	\$
<b>Rates Receivables</b>		
Opening Arrears from previous financial years	1,688,474	1,611,893
Rates Levied this financial year (inc. waste & ESL)	8,676,326	8,319,757
less: Payment to date	(6,980,082)	(8,243,177)
<b>Current Outstanding</b>	<b>3,384,717</b>	<b>1,688,474</b>

#### Trend Analysis (by Percentage)

	2022/23	2021/22
July	N/A	95.89%
August	83.80%	60.40%
September	54.42%	49.21%
October	49.08%	42.45%
November	43.05%	38.94%
December	41.14%	35.97%
January	35.14%	30.96%
February	32.66%	28.54%
March		22.59%
April		20.69%
May		19.23%
June		17.60%



#### Other Receivables Outstanding

Current	30 Days	60 Days	90 Days +	Total
\$	\$	\$	\$	\$
325,866	17,539	635	195,312	539,352
60%	3%	0%	36%	

#### Payables Outstanding

Current	30 Days	60 Days	90 Days +	Total
\$	\$	\$	\$	\$
1,013	1,131	18,125	567,513	587,782
0%	0%	3%	97%	



**SHIRE OF COLLIE**  
**NOTE 4: CAPITAL PROJECTS**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

		<b>2022/23 Budget</b>	<b>(a) YTD Budget</b>	<b>(b) Actual</b>	<b>(b) - (a) Variance</b>	
		\$	\$	\$	\$	
<b>Roads</b>						
Gastaldo Road SLK 8.50 - 12.50 (Widen and seal shoulders, full width reeals and install edgelines)	Upgrade	(751,910)	(10,000)	(8,101)	1,899	▼
McAlinden Road SLK 0.00 - 3.00 (widen and seal shoulders)	Upgrade	(750,000)	(250,000)	(226,414)	23,586	▼
Audible edge line SLK 0.00 - 7.97						
Powerhouse Road SLK 6.75 - 12.00 (Pavement repair/upgrade and reseal, upgrade drainage)	Renewal & Upgrade	(750,000)	(250,000)	(202,891)	47,109	▼
Lefroy Street & Johnston Street (300m Reconstruction)	Renewal	(152,000)	(1,000)	(49)	951	▼
Hoddell Road (200m Reconstruction and realign)	Renewal & Upgrade	(125,600)	(20,000)	(15,554)	4,446	▼
Gravel Resheeting	Renewal	(133,837)	(133,837)	(153,518)	(19,681)	▲
Cemetery Capital Upgrades	Renewal	(21,369)	(5,000)	(1,862)	3,138	▼
Road Shoulders	Renewal	(40,000)	(40,000)	(57,273)	(17,273)	▲
		<b>(2,724,716)</b>	<b>(709,837)</b>	<b>(665,663)</b>		
<b>Drainage</b>						
Drainage	Renewal	(53,920)	(5,000)	(1,636)	3,364	▼
		<b>(53,920)</b>	<b>(5,000)</b>	<b>(1,636)</b>		
<b>Pathways</b>						
Art Galley Carpark - KFC access	New	(18,000)	0	0	0	
Pathways Renewals	Renewal	(40,000)	0	0	0	
Jack Mears Spring Boardwalk	Renewal	(275,000)	0	0	0	
Collie Community Radio Contribution		(30,000)	0	0	0	
Crossover to Recreation Ground (Medic Street)		(4,000)	(4,000)	(3,945)	55	▼
		<b>(367,000)</b>	<b>(4,000)</b>	<b>(3,945)</b>		
<b>Parks &amp; Ovals</b>						
Recreation Ground Lighting	Renewal	(392,000)	(392,000)	(418,280)	(26,280)	▲
Recreation Grounds (Tennis) Embankment	Renewal	(40,508)	(40,508)	(140)	40,368	▼
Wallsend Ground Power Network refurbishment	Renewal	(100,000)	0	0	0	
		<b>(532,508)</b>	<b>(432,508)</b>	<b>(418,420)</b>		

**SHIRE OF COLLIE**  
**NOTE 4: CAPITAL PROJECTS**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

**Buildings**

		<b>2022/23 Budget</b>	<b>(a) YTD Budget</b>	<b>(b) Actual</b>	<b>(b) - (a) Variance</b>	
Williams Road Bush Fire Brigade Building (Shire Contribution for ground works)	New	(30,000)	0	0	0	
Indoor Swimming Pool	New	(950,291)	0	0	0	
Collie Visitor Centre Expansion	Upgrade	(537,000)	(750)	(750)	0	
Lions Park Toilet	Renewal	(120,000)	(3,499)	(3,499)	0	
Swimming Club Clubrooms	Upgrade	(28,185)	0	0	0	
Roche Park Soccer Improvements	Upgrade	(10,553)	0	0	0	
Heritage Skills Association - Goods Shed	Renewal	(65,000)	(65,000)	(69,374)	(4,374)	▲
Repainting of external fascia, doors and columns - Margaretta Wilson Centre	Renewal	(21,000)	0	0	0	
Lighting Replacement (Stage 1) - Caravan Park	Renewal	(21,000)	(21,000)	(19,941)	1,059	▼
Lighting Replacement (Stage 2) - Caravan Park	Renewal	(21,000)	0	0	0	
Ladies toilet repairs - Football Ground	Renewal	(15,000)	(15,000)	(13,200)	1,800	▼
External Repaint - Ewington School	Renewal	(6,045)	(6,045)	(5,450)	595	▼
Mechanical ventilation design - Collie Replica Mine Tunnel	New	(20,000)	(15,000)	(13,719)	1,281	▼
		<b>(1,845,074)</b>	<b>(126,294)</b>	<b>(125,933)</b>		

**Plant & Equipment**

CCTV Upgrades	New	(85,000)	(85,000)	(64,211)	20,789	▼
Soldiers Park Playground Equipment	Renewal	(50,000)	0	0	0	
Purchase of Ranger Vehicle*	Renewal	(72,000)	(72,000)	0	72,000	
Purchase of Parks & Gardens Vehicle*	Renewal	(44,000)	(44,000)	0	44,000	
		<b>(251,000)</b>	<b>(85,000)</b>	<b>(64,211)</b>		

\* budget amendment

**Furniture & Internal Fittings**

Electronic scoreboards for Roche Park	Renewal	(30,000)	(10,000)	(20,192)	(10,192)	▲
New chairs & trolleys for Roche Park	Renewal	(12,000)	(12,000)	(10,740)	1,260	▼
Upgrade to Audio & Communication System	Renewal	(55,000)	0	0	0	
		<b>(97,000)</b>	<b>(22,000)</b>	<b>(30,932)</b>		

**SHIRE OF COLLIE**  
**NOTE 5: OPERATING PROJECTS**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

	<b>2022/23 Budget</b>	<b>(a) YTD Budget</b>	<b>(b) Actual</b>	<b>(b) - (a) Variance</b>	
	\$	\$	\$	\$	
AWARE project	(12,810)	0	0	0	
Better Bins Go FOGO	(48,715)	(20,000)	(6,168)	13,832	▼
CBD Heritage & Activation	(86,734)	(30,000)	(20,705)	9,295	▼
River Rehabilitation - FY 2022/23	(30,000)	(15,000)	(1,269)	13,731	▼
Minningup Pool Feasibility*	(56,000)	(20,000)	(11,330)	8,670	▼
Celebrating Collie's History*	(155,000)	(155,000)	(256,364)	(101,364)	▲
Bushfire Mitigation Grant	(56,673)	(56,673)	(55,069)	1,604	▼
Aerodrome Master Plan	(80,000)	(15,000)	(7,195)	7,805	▼
South 32 Tourism Partnership	(207,500)	(30,000)	(20,460)	9,540	▼
Collie River Revitalisation Strategy	(65,000)	(10,000)	0	10,000	▼
Timber Park - Concrete Pad and Footings for new timber Sculpture	(10,000)	0	0	0	
	<b>(808,432)</b>	<b>(351,673)</b>	<b>(378,559)</b>		

\*Budget amendment request to be presented in April 2023 OCM to reconcile income and expenditure

**SHIRE OF COLLIE**  
**NOTE 6: GRANTS LIABILITY**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

	1-Jul-22	(a)	(b)	28-Feb-23
	Liability	Increase	Decrease	Liability
	\$	\$		\$
Minningup Pool River Area- Feasibility	113,450	0	(11,330)	102,120
Collaborative Blackberry Control	93	0	0	93
Indoor Swimming Pool (feasibility & construction)	950,291	0	0	950,291
Better Bins Plus Go FOGO	48,716	0	(6,168)	42,548
Bushfire Mitigation (2020/21)	56,674	0	(55,069)	1,605
Local Government Grant Scheme -State Emergency Services (2020/21)	1,653	0	(1,547)	106
Local Drug Action Teams (2017/18)	833	0	0	833
Youth Innovation	883	0	0	883
CCTV Grants (Round 2)	73,555	0	(64,211)	9,344
AWARE Grant	12,810	0	0	12,810
Collie Visitor Centre Expansion Grant	35,000	0	(750)	34,250
Local Government Grant Scheme -Capital (2020/21)	0	20,000	(20,000)	0
River Revitalisation Round 2	30,000		(1,269)	28,731
Local Government Grant Scheme -State Emergency Services (2021/22)	803	0	0	803
Local Government Grant Scheme -Bushfire Brigade (2021/22)	15,365	0	0	15,365
Recreation Ground Lighting Upgrade	391,742	0	(391,742)	(0)
McAlinden Road (SLK 5.8 - SLK 8.10) 2022	598	0	0	598
Gastaldo Road (Morningson Road - Worsley Alumina) Main Roads	151,273	152,717	(140,524)	163,466
Gastaldo Road (Morningson Road - Worsley Alumina) South 32	125,637	0	0	125,637
Morningson Road Upgrade	200	0	0	200
Adventurous Minds	5,341	0	0	5,341
Lions Park Disc Golf	0	30,000	(30,000)	0
Synergy Collie Small Grant Library STEM collection	0	400	(400)	0
Mental Health Week 2021	636	0	0	636
Celebrating Collie's History	95,333	152,717	(256,364)	(8,314)
Collie Aerodrome Masterplan	30,000	0	(7,195)	22,805
Tourism Partnership	415,000	0	(20,460)	394,540
Goods Shed Upgrade (Heritage Skills Project)	52,727	0	(52,727)	0
Traineeship - Building Department	37,000	0	(21,767)	15,233
Local Road & Community Infrastructure (Phase 3)	0	442,025	(126,876)	315,149
Children's Week Grant 22/23	0	681	0	681
Mental Health Week 2022	0	400	(387)	13
Australia Day 2023	0	16,000	(20,401)	(4,401) pending grant payment of \$4,000
Collie Summer Movie Series 2022/2023	0	4,470	(4,342)	128
Powerhouse Road (Job No: 30001653)	0	200,000	(195,859)	4,141
McAlinden Road (Job No: 30001651)	0	200,000	(225,566)	(25,566) pending grant payment
Local Government Grant Scheme -State Emergency Services (2022/23)	0	19,780	(6,456)	13,324
Local Government Grant Scheme -Bushfire Brigade (2022/23)	0	150,284	(59,726)	90,558
Seniors Week 22/23	0	750	(706)	44
	<b>2,645,612</b>	<b>1,390,225</b>	<b>(1,721,842)</b>	<b>2,313,995</b>

**SHIRE OF COLLIE**  
**NOTE 7: BUDGET AMENDMENTS**  
**FOR THE PERIOD ENDED 28 FEBRUARY 2023**

	Resolution	Non Cash Adjustment	Increase/(decrease) in available cash	Amended Budget Closing Surplus/ (Deficit)	
		\$	\$	\$	
<b>Original Budget Closing Surplus</b>				13,700	
Acc# 0091 - Grants Commision Revenue	9107 - 13 December 2022	0	45,000	58,700	▲
Acc# 3365 - Aerodrome Development Expenditure	9107 - 13 December 2022	0	(45,000)	13,700	▲
Job#3093 - Gastaldo Road	9116 - 13 December 2022	0	(45,000)	(31,300)	▼
Job#3094 - McAlinden	9116 - 13 December 2022	0	45,000	13,700	▲
Acc# 0884 - Purchase of Ranger Vehicle	9129 - 14 February 2023	0	(72,000)	(58,300)	▼
Acc# 1184 - Purchase of Parks & Gardens Vehicle	9129 - 14 February 2023	0	(44,000)	(102,300)	▼
Acc# 2643 -Insurance Claim Revenue	9129 - 14 February 2023	0	47,485	(54,815)	▼
Plant Reserve Transfer	9129 - 14 February 2023	0	68,515	13,700	▲
Job# 2067 -Swinging Bridge Refurbishment	9129 - 14 February 2023	0	195,000	208,700	▲
Job# 2068 -Jack Mears Springs Boardwalk	9129 - 14 February 2023	0	(75,000)	133,700	▲
Acc# 1814 -Wallsend Ground	9129 - 14 February 2023	0	(100,000)	33,700	▲
TBC - LRCI Phase 3	9129 - 14 February 2023	0	(20,000)	13,700	▲



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 12.3.A**



# **SHIRE OF COLLIE**

## **BUDGET REVIEW REPORT**

### **FOR THE PERIOD ENDED 31 MARCH 2023**

*LOCAL GOVERNMENT ACT 1995*

*LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996*

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**SHIRE OF COLLIE**  
**BUDGET REVIEW REPORT**  
**FOR THE PERIOD ENDED 31 MARCH 2023**

**Statement of Financial Activity (by Nature & Type)**

	Budget v Actual				Note	Predicted			Difference (g - c)		Proposed Budget Amendment h	Proposed Revised Budget i	Difference (i - c)	
	Adopted Budget a	Amendment throughout the year b	Amended Budget c	YTD Actual (as at 31.03.2023) d		Variance Permanent e	Variance Temporary f	Year End (as at 30.06.2023) g						
	\$	\$	\$	\$		\$	\$	\$			\$	\$	\$	
Opening Surplus/ (Deficit)	1,876,442	0	1,876,442	2,372,112	2.1.0	495,670	0	2,372,112	495,670	▲	495,670	2,372,112	495,670	▲
<b>OPERATING ACTIVITIES</b>														
Specified area and ex gratia rates	858	0	858	0		0	0	858	0		0	858	0	
Operating grants	1,316,030	45,000	1,361,030	914,624	2.2.1	520,563	(177,500)	1,704,093	343,063	▲	520,563	1,881,593	520,563	▲
Contributions and reimbursements	206,720	47,485	254,205	151,781		0	0	254,205	0		0	254,205	0	
Fees and charges	2,383,664	0	2,383,664	2,258,796	2.2.2	20,000		2,403,664	20,000	▲	0	2,383,664	0	
Interest earnings	98,484	0	98,484	123,568	2.2.3	60,000	0	158,484	60,000	▲	0	98,484	0	
Other revenue	5,000	0	5,000	52,063	2.2.4	70,000	0	75,000	70,000	▲	0	5,000	0	
Profit on asset disposals	0	0	0	0		0	0	0	0		0	0	0	
	<b>4,010,756</b>	<b>92,485</b>	<b>4,103,241</b>	<b>3,500,832</b>		<b>670,563</b>	<b>(177,500)</b>	<b>4,596,304</b>			<b>520,563</b>	<b>4,623,804</b>		
Employee costs	(6,105,158)	0	(6,105,158)	(4,529,611)	2.3.1	(239,767)	90,000	(6,254,925)	(149,767)	▲	0	(6,105,158)	0	
Workers Compensation Premium	(241,000)	0	(241,000)	(241,202)		0	0	(241,000)	0		0	(241,000)	0	
Labour Overheads	517,576	0	517,576	144,354		0	0	517,576	0		0	517,576	0	
Materials and contracts	(4,232,092)	(45,000)	(4,277,092)	(3,290,359)	2.3.2	(852,896)	87,500	(5,042,488)	(765,396)	▲	(495,656)	(4,772,748)	(495,656)	▲
Plant Direct Cost	413,000	0	413,000	51,675		0	0	413,000	0		0	413,000	0	
Utility charges	(519,526)	0	(519,526)	(381,250)		0	0	(519,526)	0		0	(519,526)	0	
Depreciation on non-current assets	(3,064,988)	0	(3,064,988)	(2,001,008)		0	0	(3,064,988)	0		0	(3,064,988)	0	
Interest expenses	(40,215)	0	(40,215)	(27,007)		0	0	(40,215)	0		0	(40,215)	0	
Insurance expenses	(322,243)	0	(322,243)	(330,451)	2.3.3	(15,948)	0	(338,191)	(15,948)	▲	(15,948)	(338,191)	(15,948)	▲
Other expenditure	(119,280)	0	(119,280)	(106,745)		0	0	(119,280)	0		0	(119,280)	0	
Loss on asset disposals	0	0	0	0		0	0	0	0		0	0	0	
	<b>(13,713,926)</b>	<b>(45,000)</b>	<b>(13,758,926)</b>	<b>(10,711,606)</b>		<b>(1,108,611)</b>	<b>177,500</b>	<b>(14,690,037)</b>			<b>(511,604)</b>	<b>(14,270,530)</b>		
<b>Net Operating Activities</b>	<b>(9,703,170)</b>	<b>47,485</b>	<b>(9,655,685)</b>	<b>(7,210,774)</b>		<b>(438,048)</b>	<b>0</b>	<b>(10,093,733)</b>			<b>8,959</b>	<b>(9,646,726)</b>		
<b>ADJUSTMENT OF NON CASH ITEMS</b>														
Profit on asset disposals	0	0	0	0		0	0	0	0		0	0	0	
Loss on asset disposals	0	0	0	0		0	0	0	0		0	0	0	
Depreciation on non-current assets	3,064,988	0	3,064,988	2,001,008		0	0	3,064,988	0		0	3,064,988	0	
<b>Adjusted Net Operating Activities</b>	<b>(6,638,182)</b>	<b>47,485</b>	<b>(6,590,697)</b>	<b>(5,209,765)</b>		<b>(438,048)</b>	<b>0</b>	<b>(7,028,745)</b>			<b>8,959</b>	<b>(6,581,738)</b>		

**SHIRE OF COLLIE**  
**BUDGET REVIEW REPORT**  
**FOR THE PERIOD ENDED 31 MARCH 2023**

**Statement of Financial Activity (by Nature & Type)**

	Budget v Actual				Note	Predicted			Difference (g - c)		Proposed Budget		Difference (i - c)	
	Adopted Budget a	Amendment throughout the year b	Amended Budget c	YTD Actual (as at 31.03.2023) d		Variance Permanent e	Variance Temporary f	Year End (as at 30.06.2023) g			Amendment h	Revised Budget i		
	\$	\$	\$	\$		\$	\$	\$			\$	\$		
<b>INVESTING ACTIVITIES</b>														
Non operating grants	4,755,636	0	4,755,636	1,260,696	2.4.1	(387,614)	(1,480,291)	2,887,731	(1,867,905)	▼	40,392	4,796,028	40,392	▲
Proceed from disposal of assets	0	0	0		2.4.2	15,000	0	15,000	15,000	▲	15,000	15,000	15,000	▲
	<b>4,755,636</b>	<b>0</b>	<b>4,755,636</b>	<b>1,260,696</b>		<b>(372,614)</b>	<b>(1,480,291)</b>	<b>2,902,731</b>			<b>55,392</b>	<b>4,811,028</b>		
Land & Buildings	(1,845,074)	0	(1,845,074)	(265,758)	2.5.1	(22,338)	1,549,029	(318,383)	1,526,691	▼	(22,338)	(1,867,412)	(22,338)	▲
Infrastructure	(3,698,144)	20,000	(3,678,144)	(1,973,116)	2.5.2	570,262	0	(3,107,882)	570,262	▼	(256,745)	(3,934,889)	(256,745)	▲
Property, plant & equipment	(212,000)	(136,000)	(348,000)	(317,672)	2.5.3	(99,000)	0	(447,000)	(99,000)	▲	(99,000)	(447,000)	(99,000)	▲
	<b>(5,755,218)</b>	<b>(116,000)</b>	<b>(5,871,218)</b>	<b>(2,556,546)</b>		<b>448,924</b>	<b>1,549,029</b>	<b>(3,873,265)</b>			<b>(378,083)</b>	<b>(6,249,301)</b>		
<b>Net Capital Activities</b>	<b>(999,582)</b>	<b>(116,000)</b>	<b>(1,115,582)</b>	<b>(1,295,850)</b>		<b>76,310</b>	<b>68,738</b>	<b>(970,534)</b>			<b>(322,691)</b>	<b>(1,438,273)</b>		
<b>FINANCING ACTIVITIES</b>														
Proceeds from new borrowing(s)	0	0	0	0		0	0	0	0		0	0	0	
Proceeds from self supporting loans principal payment	8,920	0	8,920	8,920		0	0	8,920	0		0	8,920	0	
Proceeds from advance	5,000	0	5,000	2,500		0	0	5,000	0		0	5,000	0	
Transfers from reserve	179,045	68,515	247,560	0	2.6.1	84,000	0	331,560	84,000	▲	84,000	331,560	84,000	▲
	<b>192,965</b>	<b>68,515</b>	<b>261,480</b>	<b>11,420</b>		<b>84,000</b>	<b>0</b>	<b>345,480</b>			<b>84,000</b>	<b>345,480</b>		
Repayment of loan principals	(222,559)	0	(222,559)	(128,616)		0	0	(222,559)	0		0	(222,559)	0	
Principal element of finance lease payments	(60,000)	0	(60,000)	(33,841)		0	0	(60,000)	0		0	(60,000)	0	
Transfers to reserve	(928,000)	0	(928,000)	(928,000)		0	0	(928,000)	0		0	(928,000)	0	
	<b>(1,210,559)</b>	<b>0</b>	<b>(1,210,559)</b>	<b>(1,090,456)</b>		<b>0</b>	<b>0</b>	<b>(1,210,559)</b>			<b>0</b>	<b>(1,210,559)</b>		
<b>Net Financing Activities</b>	<b>(1,017,594)</b>	<b>68,515</b>	<b>(949,079)</b>	<b>(1,079,036)</b>		<b>84,000</b>	<b>0</b>	<b>(865,079)</b>			<b>84,000</b>	<b>(865,079)</b>		
<b>Budget Deficiency</b>	<b>(6,778,916)</b>	<b>0</b>	<b>(6,778,916)</b>	<b>(5,212,540)</b>		<b>217,932</b>	<b>68,738</b>	<b>(6,492,246)</b>			<b>265,938</b>	<b>(6,512,978)</b>		
<b>Amount to raised from rates</b>	<b>6,792,616</b>	<b>0</b>	<b>6,792,616</b>	<b>6,783,313</b>		<b>0</b>	<b>0</b>	<b>6,792,616</b>	<b>0</b>		<b>0</b>	<b>6,792,616</b>	<b>0</b>	
<b>Closing Surplus/ (Deficit)</b>	<b>13,700</b>	<b>0</b>	<b>13,700</b>	<b>1,570,774</b>		<b>217,932</b>	<b>68,738</b>	<b>300,370</b>	<b>286,670</b>	▲	<b>265,938</b>	<b>279,638</b>	<b>265,938</b>	▲

## 1. BASIS OF PREPARATION

The budget review has been prepared in accordance with Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and interpretations of the Australian Accounting Standards Board, and the Local Government Act 1995 and accompanying regulations.

The Local Government Act 1995 and accompanying Regulations take precedence over Australian Accounting Standards where they are inconsistent.

The Local Government (Financial Management) Regulations 1996 specify that vested land is a right-of-use asset to be measured at cost. All right-of-use assets (other than vested improvements) under zero cost concessionary leases are measured at zero cost rather than at fair value. The exception is vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the City/Town/Shire of Somewhere to measure any vested improvements at zero cost.

Accounting policies which have been adopted in the preparation of this budget review have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the budget review has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

**Financial reporting disclosures in relation to assets and liabilities required by the Australian Accounting Standards** have not been made unless considered important for the understanding of the budget review or required by legislation.

The local government reporting entity  
All funds through which the City/Town/Shire of Somewhere controls resources to carry on its functions have been included in the financial statements forming part of this budget review.

In the process of reporting on the local government as a single unit, all transactions and balances between those Funds (for example, loans and transfers between Funds) have been eliminated.

All monies held in the Trust Fund are excluded from the financial statements.

### Rounding off figures

All figures shown in this budget review are rounded to the nearest dollar.

### 2022/23 actual balances

Balances shown in this budget review report as YTD Actual are as forecast at the time of budget review preparation and are subject to final adjustments.

### Budget comparative figures

Unless otherwise stated, the budget comparative figures shown in the budget review relate to the original budget estimate for the relevant item of disclosure.

### Judgements, estimates and assumptions

The preparation of the budget review in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- estimation of fair values of land and buildings and investment property
- impairment of financial assets
- estimation uncertainties and judgements made in relation to lease accounting
- estimated useful life of assets

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE BUDGET REVIEW REPORT**  
**FOR THE PERIOD ENDED 31 MARCH 2023**

**2. PREDICTED VARIANCES**

	Predicted	
	Variance Permanent	Variance Temporary
	\$	\$
<b>Opening Surplus/ (Deficit)</b>		
2.1.0 Difference between budgeted and actual opening balance at 1 July 2022	495,670	0
<b>OPERATING ACTIVITIES</b>		
<b>2.2.1 Operating grants</b>		
Remaining payment to be received for Financial Assistance Grant - General for 2023-23	123,357	
Remaining payment to be received for Financial Assistance Grant - Roads for 2023-23	27,509	
Main Roads Direct Grant from non operating to operating plus an increased allocation of \$11,351	139,841	
Traineeship funding received	30,000	
Grant received for Australia Day 2023	20,000	
Increased in grant & sponsorship received for Kaya Collie	97,000	
Adjusting grant allocation for Minningup Pool Feasibility	57,450	
Increase in LGGs for Bush Fire Brigade	22,379	
Increase in LGGs for State Emergency Services	3,027	
Expected carryover of South 32 Tourism Grant to FY 23-24		(177,500)
<b>2.2.2 Fees and charges</b>		
Expected increase in fees received from development application	20,000	
<b>2.2.3 Interest earnings</b>		
Increase in interest revenue received from term deposits	60,000	
<b>2.2.4 Other revenue</b>		
Expected workers compensation reimbursement	70,000	
<b>2.3.1 Employee costs</b>		
Expected difference in salary & wages	230,000	
Internal allocation adjustment for capital road projects	(469,767)	
Expected carryover for Tourism & Marketing position (South 32 Partnership) to FY 23-24		90,000
<b>2.3.2 Materials and contracts</b>		
Carryover from 2021-22: Asset Revaluation & Asset Management Plan	(73,500)	
River Revitalisation Strategy	(65,000)	
Asset Revaluation for bridges and other infrastructure assets	(10,400)	
Financial Management Systems Review	(9,900)	
Royal Life Saving - Pool contract labour	(62,000)	
Bunbury Geopraphe Tourism Partnership	(15,000)	
Increased allocation for plant maintenance cost	(60,000)	
To recognise Australia Day grant expenditure	(20,000)	
To increase Kaya Collie grant expenditure	(97,000)	
To increase Minningup Pool Feasibility Grant Expenditure	(57,450)	
To increase LGGs Bush Fire Brigade expenditure	(22,379)	
To increase LGGs State Emergency Services expenditure	(3,027)	
Decrease expenditure for Heritage Upgrade Scheme	10,000	

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE BUDGET REVIEW REPORT**  
**FOR THE PERIOD ENDED 31 MARCH 2023**

**2. PREDICTED VARIANCES**

	<b>Predicted</b>	
	<b>Variance Permanent</b>	<b>Variance Temporary</b>
	\$	\$
Swinging Bridge - Heritage Conservation Plan Consultancy	(10,000)	
Internal allocation adjustment for capital road projects	(357,240)	
Expected carryover for South 32 Tourism Partnership to FY 23-24		87,500
<b>2.3.3 Insurance expense</b>		
Adjustment to 21-22 premium for motor vehicle and property	(15,948)	
<b>INVESTING ACTIVITIES</b>		
<b>2.4.1 Non operating grants</b>		
Reallocation of Main Roads direct grant to operating revenue	(128,490)	
Expected decrease in grant funding for capital road projects	(428,006)	
To recognise LGGS capital grant received	14,838	
RSSP Grant received for 21-22 Mungalup Road upgrade	154,044	
Carryover of Indoor Swimming Pool Grants to FY 23-24		(950,291)
Carryover of Visitors Centre Expansion Grant to FY 23-24		(530,000)
<b>2.4.2 Proceed from disposal of assets</b>		
Expected trade in value from 100CO & 104CO	15,000	
<b>2.5.1 Land &amp; Buildings</b>		
Increase cost to audio & communication upgrade to Council chambers	(7,500)	
LGGS capital grant for kitchen & flooring upgrade - Collie Preston BFB	(14,838)	
Carry over to FY 23-24: Roche Park Soccer Improvements		10,553
Carry over to FY 23-24: Indoor Swimming Pool		950,291
Carry over to FY 23-24: Collie Swimming Club - Clubrooms		28,185
Carry over to FY 23-24: BFB Building		30,000
Carry over to FY 23-24: Visitors Centre Expansion		530,000
<b>2.5.2 Infrastructure</b>		
Increase expenditure in recreation ground lighting upgrade	(27,000)	
Expected increase in external cost for road capital projects	(75,701)	
Expected decrease in internal allocation for road capital projects	827,007	
Expenditure for 21-22 Mungalup Road upgrade	(154,044)	
<b>2.5.3 Property, plant &amp; equipment</b>		
Expected purchase price for 100 CO & 104 CO	(99,000)	
<b>FINANCING ACTIVITIES</b>		
<b>2.6.1 Transfer from plant reserve for light vehicle purchase (100 CO &amp; 104 CO)</b>	84,000	
	<b>217,932</b>	<b>68,738</b>

# NOTES TO AND FORMING PART OF THE BUDGET REVIEW REPORT FOR THE PERIOD ENDED 31 MARCH 2023

## 3a. Amendments to original budget since budget adoption. Surplus/(Deficit)

	Permanent/ Temp	Description	Council Resolution	Classification	Nature/Type	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance	Comments
1		Budget Adoption		Opening Surplus(Deficit)		13,700		13,700	
2		Acc# 0091 - Grants Commision Revenue	9107 - 13 December 2022	Operating Revenue	Operating grants	45,000		58,700	Budget Amendments previously authorised by Council
3		Acc# 3365 - Aerodrome Development Expenditure	9107 - 13 December 2022	Operating Expenses	Materials and contracts		(45,000)	13,700	
4		Job# 3093 - Gastaldo Road	9116 - 13 December 2022	Capital Expenses	Infrastructure		(45,000)	(31,300)	
5		Job# 3094 - McAlinden	9116 - 13 December 2022	Capital Expenses	Infrastructure	45,000		13,700	
6		Acc# 0884 - Purchase of Ranger Vehicle	9129 - 14 February 2023	Capital Expenses	Property, plant & equipment		(72,000)	(58,300)	
7		Acc# 1184 - Purchase of Parks & Gardens Vehicle	9129 - 14 February 2023	Capital Expenses	Property, plant & equipment		(44,000)	(102,300)	
8		Acc# 2643 -Insurance Claim Revenue	9129 - 14 February 2023	Operating Revenue	Contributions and reimbursements	47,485		(54,815)	
9		Plant Reserve Transfer	9129 - 14 February 2023	Reserve Transfer	Transfers from reserve	68,515		13,700	
10		Job# 2067 -Swinging Bridge Refurbishment	9129 - 14 February 2023	Capital Expenses	Infrastructure	195,000		208,700	
11		Job# 2068 -Jack Mears Springs Boardwalk	9129 - 14 February 2023	Capital Expenses	Infrastructure		(75,000)	133,700	
12		Acc# 1814 -Wallsend Ground	9129 - 14 February 2023	Capital Expenses	Infrastructure		(100,000)	33,700	
13		TBC - LRCI Phase 3	9129 - 14 February 2023	Capital Expenses	Property, plant & equipment		(20,000)	13,700	

# NOTES TO AND FORMING PART OF THE BUDGET REVIEW REPORT FOR THE PERIOD ENDED 31 MARCH 2023

Budget amendment previously adopted by Council	Proposed budget amendments	Proposed budget amendments whereby the Income & Expenditure offset each other
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## 3a. Amendments to original budget since budget adoption. Surplus/(Deficit)

	Permanent/ Temp Description	Council Resolution	Classification	Nature/Type	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance	Comments
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## 3b. Proposed additional amendments to original budget. Surplus/(Deficit)

14		Opening Position Adjustment	Opening Surplus(Deficit)	Opening Surplus(Deficit)	495,670		509,370	Audited closing position for 2021/22 is \$2,372,112
15	Permanent	Acc# 8123 -Asset Revaluation & Management Plan	Operating Expenses	Materials and contracts		(73,500)	435,870	Carry forward from 21-22 financial year (PO 53170)
16	Permanent	Acc# 0091 - Grants Commission Revenue	Operating Revenue	Operating grants	123,357		559,227	Remaining payment to be received in 22-23: \$478,419
17	Permanent	Acc# 0221 - Statutory Road Revenue	Operating Revenue	Operating grants	27,509		586,736	Remaining payment to be received in 22-23: \$150,245
18	Permanent	Accr#3271 - Main Roads Direct Grant	Operating Revenue	Operating grants	139,841		726,577	Main Roads Direct Grant from non operating to operating plus an increased allocation of \$11,351
19	Permanent	Accr#3271 - Main Roads Direct Grant	Capital Revenue	Non operating grants		(128,490)	598,087	Main Roads Direct Grant from non operating to operating plus
20	Permanent	Acc# 8212 - River Revitalisation Strategy	Operating Expenses	Materials and contracts		(65,000)	533,087	Omitted from final statutory budget
21	Permanent	Job# BAP002 - Upgrade to audio & communication system	Capital Expenses	Land & Buildings		(7,500)	525,587	Increase in cost
22	Permanent	Acc# 2754 - Recreation ground lighting	Capital Expenses	Infrastructure		(27,000)	498,587	Increase in cost
23	Permanent	Acc# 8123 -Asset Revaluation for bridges and other infrastructure assets	Operating Expenses	Materials and contracts		(10,400)	488,187	Asset revaluation required to complete 21-22 audit
24	Permanent	Acc# 0462 -Financial Management Systems Review	Operating Expenses	Materials and contracts		(9,900)	478,287	Regulation requirement
25	Permanent	Road projects - increase in materials cost	Capital Expenses	Infrastructure		(75,701)	402,586	
26	Permanent	Royal Life Saving - Pool contract labour	Operating Expenses	Materials and contracts		(62,000)	340,586	Use of contract labour for the pool. This will be partially offset by reduced employee costs.
27	Permanent	Acc# 9883 -Bunbury Geopraphe Tourism Partnership	Operating Expenses	Materials and contracts		(15,000)	325,586	Omitted from budget. Formal agreement to contribute.
28	Permanent	Acc# TBC - Building Trainee	Operating Revenue	Operating grants	30,000		355,586	Traineeship funding received and not included in budget
29	Permanent	Acc# 6802 -Plant Maintenance Cost	Operating Expenses	Materials and contracts		(60,000)	295,586	Increase cost due to age of equipment
30	Permanent	Insurance expense	Operating Expenses	Insurance expenses		(15,948)	279,638	Adjustment to 2021-22 insurance premium

# NOTES TO AND FORMING PART OF THE BUDGET REVIEW REPORT FOR THE PERIOD ENDED 31 MARCH 2023

## 3a. Amendments to original budget since budget adoption. Surplus/(Deficit)

	Permanent/ Temp	Description	Council Resolution	Classification	Nature/Type	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance	Comments
31	Permanent	Acc#2160 - Australia Day Grant		Operating Revenue	Operating grants	20,000		299,638	
32	Permanent	Acc#2160 - Australia Day Grant		Operating Expenses	Materials and contracts		(20,000)	279,638	
33	Permanent	Acc# 2160 - Celebrating Collie's History		Operating Revenue	Operating grants	97,000		376,638	increase in grant/sponsorship
34	Permanent	Acc# 2160 - Celebrating Collie's History Expenditure		Operating Expenses	Materials and contracts		(97,000)	279,638	increase in grant/sponsorship
35	Permanent	Acc #0157 Minningup Pool Grant		Operating Revenue	Operating grants	57,450		337,088	Adjusting budget allocation for 22-23
36	Permanent	Acc #0158 Minningup Pool Grant Expenditure		Operating Expenses	Materials and contracts		(57,450)	279,638	Adjusting budget allocation for 22-23
37	Permanent	Acc# 1F003 - LGGs BFB Operating Grant		Operating Revenue	Operating grants	22,379		302,017	Increase in DFES grant
38	Permanent	Acc# 1F022 - Maintenance of Vehicle (BFB)		Operating Expenses	Materials and contracts		(22,379)	279,638	Increase in DFES grant
39	Permanent	Acc# 1S003 - LGGs SES Operating Grant		Operating Revenue	Operating grants	3,027		282,665	Increase in DFES grant
40	Permanent	Acc# 1S022 - Maintenance of Vehicle (SES)		Operating Expenses	Materials and contracts		(3,027)	279,638	Increase in DFES grant
41	Permanent	Acc# 1F004 -LGGs Capital Grant		Capital Revenue	Non operating grants	14,838		294,476	Approved capital grant by DFES
42	Permanent	Acc# 3338 -Collie Preston BFB Kitchen & Flooring Upgrade		Capital Expenses	Land & Buildings		(14,838)	279,638	Approved capital grant by DFES
43	Permanent	Acc# 5304 -RSSP Grant (Mungilup Road)		Capital Revenue	Non operating grants	154,044		433,682	Balance of 21-22 Road Project
44	Permanent	Acc# 5304 -RSSP Grant (Mungilup Road)		Capital Expenses	Infrastructure		(154,044)	279,638	Balance of 21-22 Road Project
45	Permanent	Acc# 3272 -Heritage Upgrade Scheme		Operating Expenses	Materials and contracts	10,000		289,638	Change in purpose of expenditure
46	Permanent	Acc# 3272 -Swinging Bridge - Heritage Conservation Plan Consultancy		Operating Expenses	Materials and contracts		(10,000)	279,638	Change in purpose of expenditure
47	Permanent	Replacement light vehicle for 100CO & 104CO		Capital Expenses	Property, plant & equipment		(99,000)	180,638	Purchase of Light Vehicle
48	Permanent	Trade in value for 100CO & 104CO		Capital Revenue	Proceed from disposal of assets	15,000		195,638	Estimated proceed for trade in of light vehicle
49	Permanent	Transfer from plant reserve		Reserve Transfer	Transfers from reserve	84,000		279,638	Reserve transfer
						<u>1,695,115</u>	<u>(1,429,177)</u>		
							265,938		







Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 12.4.A**





# Kaya Collie

*Celebrating our past,  
Sharing our future*



## Annual Report 2021/22



Shire of  
**Collie**

Explore. Discover. Connect.

Street Address: 87 Throssell Street, Collie  
WA 6225

Postal Address: Locked Bag 6225, Collie WA  
6225

Phone: 08 9734 9000

Fax: 08 9734 4072

Email: [colshire@collie.wa.gov.au](mailto:colshire@collie.wa.gov.au)

Website: [www.collie.wa.gov.au](http://www.collie.wa.gov.au)

# OVERVIEW

The Shire of Collie is located South West Region of Western Australia. The Shire's is located 213 kilometres south of Perth and 59 kilometres east from the South West's regional centre of Bunbury.

## VISION & VALUES

### VISION

A connected community that is as rich and diverse as its heritage and landscape

### VALUES

The core values at the heart of the Council's commitment to the community are:

- Acting with integrity, transparency and accountability
- Leading the delivery of the community's vision
- Enabling community-led endeavours to make the Shire of Collie a better place
- Respectful progress

## OUR COMMUNITY



Total Population: 8,812 (Census 2021)



Total Land Area : 1711 square kilometres



# ORGANISATIONAL STRUCTURE

## Elected Members

Cr Sarah Stanley- Shire President  
Cr Ian Miffing- Deputy Shire President

Cr Gary Faries  
Cr Brett Hansen  
Cr Elysia Harverson  
Cr Joe Italiano  
Cr John Kearney  
Cr Leonie Scoffern  
Cr Michelle Smith  
Cr Brent White  
Cr Rebecca Woods



Shire of Collie: Elected Members

## Management

Stuart Devenish - Chief Executive Officer

- Human Resources
- Workplace Health and Safety

Nicole Wasmann- Director of Corporate Services

- Finance & Administration
- Library Services
- Community Development
- Information Management & Technology
- Recreation Facilities

Rick Miller- Director of Technical Services

- Parks & Gardens
- Waste Management
- Asset Management
- Roads, pathways & drainage

Matthew Young- Director of Development Services

- Planning & Building Services
- Ranger Services
- Environmental Services



# SHIRE PRESIDENT AND CEO REPORT

To be provided.

**Sarah Stanley (Shire President)**  
**Stuart Devenish (Chief Executive Officer)**



# STRATEGIC PLAN

## 1.0 OUR COMMUNITY

### GOAL: A VIBRANT, SUPPORTIVE AND SAFE COMMUNITY

- Health, education and family support services that are accessible and meet the needs of the community
- Participation in sport, recreation and leisure opportunities
- An active and supportive community
- A growing community
- A safe community

#### Library Activities

- Sing-along story time
- LEGO Club
- STEM Club
- Storytime at the Museum
- LEGO Challenges
- Mario Kart Tournaments
- Children's Books Week Author Tour
- Teddy Bears' Picnic
- Orchid presentation
- Book Club Breakfast with Festiv Arty

#### Library Activities

- Pizza Party
- SciTech Visit
- Christmas Craft Workshops
- Board Game Club
- Better Beginnings Program Delivery
- Family Week Pyjama Story Time
- School Holiday Crafts
- ServiceWA Community Help
- Tech Tuesdays with NBN Co

8.4% increase in library visits & 151 new patrons registered





# STRATEGIC PLAN

## 1.0 OUR COMMUNITY(continued)

The recreation centre is the major community venue of sport and recreation activities for the Collie community. It is the largest community venue in the Shire and accommodates a cross section of the community and their recreational needs. The recreation centre plays an integral role in ensuring that the community are physically and mentally healthy.

Roche Park Recreation Centre has a wide range of facilities to offer the public, clubs, organisations, and school within the Shire of Collie. The Centre has 3 courts (which caters to Basketball/Netball/volleyball/roller skating can cater to other indoor sports), playroom/function room, group fitness room, spin cycle room, commercial Kitchen, small meeting room and kiosk.

Roche Park aim at providing the community an environment where everyone is respected, and supported while participating in sport and recreation opportunities.



### **Roche Park: Senior Fitness**

- Strength for Life
- Functional Fitness
- Beginner Zumba
- #No Limits

### **Roche Park: Group fitness**

- RPM
- Bodypump
- Body Balance
- Zumba
- Boxfit

### **Roche Park: Junior Programs**

- KIDDO Sportytots
- KIDDO Kindy Kids Sports
- Junior Basketball
- Homeschool Sport
- Junior Netball

### **Other services Roche Park offer**

- Court Hire
- Function Room hire
- Kids Birthday Party packages
- School Holiday programs
- Kitchen hire



# STRATEGIC PLAN

## 1.0 OUR COMMUNITY(continued)

### Around town

- Australia Day Ceremony and Breakfast
- Collie Community Expo
- Youth Week Festival
- Festiv Arty
- Collie Show
- Lions Christmas Pageant
- Repair Cafe
- Collie Sunset Movie Series
- Carols in the Park
- Collie River Trail parkrun
- Children's Day
- Sports Awards
- Collie Trails Fest
- Adventurous Minds Program
- Get Set
- Disc Golf Launch
- Collie to Donnybrook Cycle Race
- Kaya Collie Launch



Collie Community Expo

### COMMUNITY REPAIR CAFE

**WHEN AND WHERE**

**THURSDAY 19 AUGUST**  
**9.30AM-11.30 AM**  
**COLLIE SENIOR CITIZENS**  
**MARGARETTA WILSON CENTRE**

**MORNING TEA PROVIDED**

**WHAT GOES ON?**

**DO YOU HAVE:**

- A SHIRT WITH A RIP?
- A CHAIR WITH A WOBBLY LEG?
- A LAMP WITH NO LIGHT?

*Bring it to the Repair Cafe where a team of volunteer fixers are ready to greet you, meet you and repair it together.*

**EXPECTATIONS**

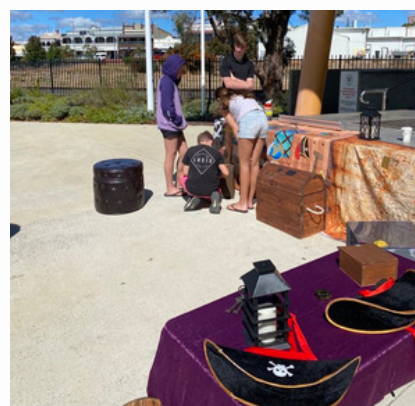
- You stay with your item and if possible, join in the repairing.
- Services are discretionary due to available skills and materials.

**ALL WELCOME**

**THIS EVENT IS MADE POSSIBLE BY**



Disc Golf Launch



Collie Youth Festival 2022



# STRATEGIC PLAN

## 2.0 OUR ECONOMY

### **GOAL: A STRONG AND DIVERSIFIED ECONOMIC BASE DRIVEN BY A RANGE OF BUSINESS AND EMPLOYMENT OPPORTUNITIES**

- Local industrial development and diversification
- A strong business and service sector
- A growing tourism industry

The Shire recognises the importance of diversifying the town's economic base to reduce its reliance on coal mining and power generation, while continuing its support for traditional industries.

\$10 million State Government investment into the implementation of the Collie Adventure Trails, in collaboration with the Department of Biodiversity, Conservation and Attractions saw continued development of walk trails, mountain bike trails, camp grounds, signage, bike racks and other improvements to the trails network, focused on Arklow, Collie and Wellington Dam.

## 3.0 OUR NATURAL ENVIRONMENT

### **GOAL: A PROTECTED SUSTAINABLE NATURAL ENVIRONMENT THAT SUPPORTS THE NEEDS AND ASPIRATIONS OF THE COMMUNITY**

- A protected natural environment
- Water resources sustainability
- Effective waste diversion and recovery
- Adaptation to climate change

The Shire of Collie led a project to control the spread of blackberry across three local government areas – the Shires of Collie, Dardanup and Donnybrook-Balingup. The project minimised the negative impacts of the weed on both private and public lands contributing to broader biosecurity objectives.

Further development of the Collie River Revitalisation Strategy is being developed to improve the health of the Collie river in 2023.



# STRATEGIC PLAN

## 4.0 OUR BUILT ENVIRONMENT

### **GOAL: INFRASTRUCTURE, AMENITIES AND DEVELOPMENT THAT SUPPORTS THE NEEDS AND ASPIRATIONS OF THE COMMUNITY**

- Appropriate land use, development and heritage conservation
- Attractive townscape and streetscapes
- A safe and reliable transport system
- An effective and reliable drainage system
- Council buildings and service-related assets that support community needs
- A sustainable asset and infrastructure base

The completion of the CBD heritage trail project and the Throssell Street Facade upgrades provided a positive impact to the tourism sector of Collie.

There has been a significant development in the economic diversification of the Collie region from coal mining with industries such:

- Cannaponics - medicinal cannabis leveraging renewable energy resources
- Renergi- a carbon negative waste processing facility that produces bio-oil and bio-char
- Leolabs - vertically integrated space operations stack
- Westrac - Autonomous technology training centre
- International Graphite - WA micronising plant

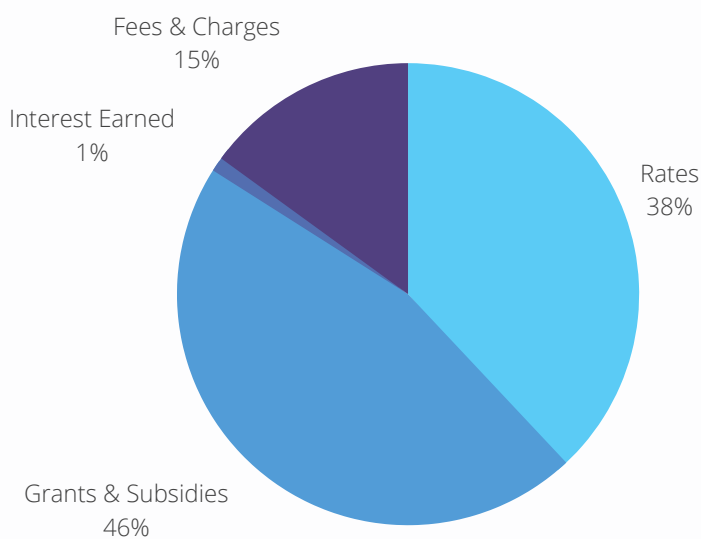


# STRATEGIC PLAN

## 5.0 OUR BUSINESS

### GOAL: GOOD GOVERNANCE AND LEADERSHIP

- Good governance and leadership
- Effective and efficient people and corporate services
- Financial sustainability and accountability



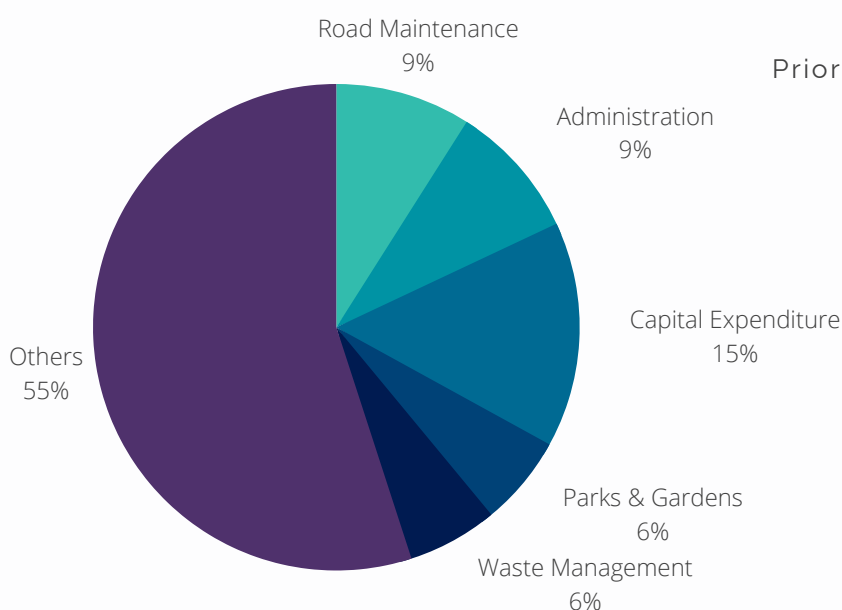
: Shire of Collie 2021/22 Revenue Source

### Financial Performances

Several financial capacity measures has been developed by Department of Local Government, Sport and Cultural Industries to measure organisational health of Local Governments. The Shire of Collie scores 48 (as of 2020/21 financial year)

### Financial Strategy

Budget to surplus/neutral  
 Progressive reserve provisioning  
 Avoid borrowings  
 Limit discretionary spend  
 Optimise asset disposal  
 Minimise new liabilities  
 Prioritise 'renewal' works on capital spend



Shire of Collie 2021/22 Expenditure:





# STRATEGIC PLAN

## 5.0 OUR BUSINESS (continued)

### Human Resources

The Council's Human Resources Officer continued to develop induction programs for new employees during 2021/22, which ensures that legal requirements in relation to which ensures that legal requirements in relation to Occupational Health and Safety are met, as well as ensuring new employees, volunteers or contractors are aware of their rights and responsibilities. It is also an important aspect ensuring the Shire's cultural expectations are outlined.

### Executive Remuneration

As per the Local Government (Administration) Regulations 1996, requires the disclosure of the number of employees of the local government entitled to an annual salary of \$130,000 and within each \$10,000 band over \$130,000. For the CEO, the requirement of disclosure relates to the total remuneration package.

- \$130,000 - \$140,000 :1
- \$140,000 - \$149,000 :2
- \$190,000 - \$200,000 :1

### Elected Members Attendance

As per the Local Government (Administration) Regulations 1996, requires the disclosure of the number of council and committee meetings attended by each council member during the financial year.

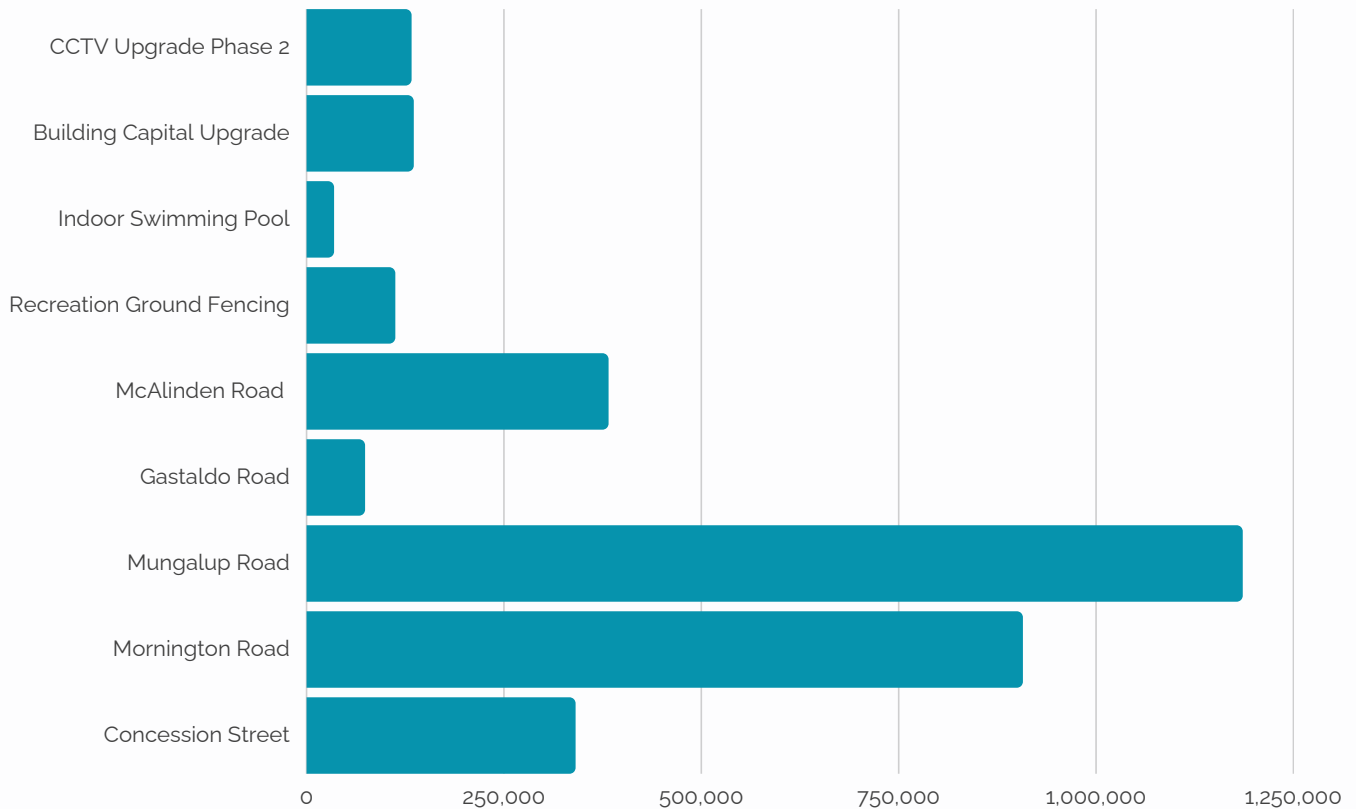
Councillor	Number of Council Meetings Attended	Number of Committee Meetings Attended
Cr Stanley	13	5
Cr Miffing	14	4
Cr Faries	11	1
Cr Hansen	12	3
Cr Harveson	11	1
Cr Italiano	14	6
Cr Kearney	13	0
Cr Scoffern	11	2
Cr Smith	14	6
Cr Woods	13	1
Cr White	12	1



# STRATEGIC PLAN

## 5.0 OUR BUSINESS (continued)

### Major projects in 2021/22



### Major Projects Going Forward in 2022/23

- Completion of Gastaldo Road (SLK 8.5 -12.5) - widen and seal shoulders
- McAlinden Road (SLK 0.00 - 3.00) - widen and seal shoulders
- Powerhouse Road (SLK 6.75 - 12.00) - pavement repair, reseal and drainage upgrade
- Hoddell Road - 200 metres reconstruction and realign
- Hebb Road gravel resheeting
- Jack Mears Springs Boardwalk Upgrade
- Recreation Ground Lighting Upgrade
- Wallsend Ground Lighting Upgrade
- Soldiers Park Playground Equipment replacement

The Shire is working collaboratively with Renergi, a carbon-negative waste processing facility that produces bio-oil and bio-char in Collie, bringing substantial social, economic and environmental benefits to the region. The development will drastically reduce land fill in Collie.



# COMPLIANCE

Compliance is a growing issue for Local Governments throughout Western Australia. Increasingly, Councils are required to comply with an ever-increasing variety of Acts and Regulations of Parliament which provide a challenge, given that additional resources are rarely forthcoming to cope with the additional requirement.

Important compliance issues Council faces relate to the Local Government Act 1995 and associated regulations, the Australian Accounting Standards and International Financial Reporting Standards.

## Local Government Act

The Department of Local Government, Sports and Cultural Industries (DLGSCI) requires all local governments to complete an Annual Statutory Compliance Return. On completion of the 2020 return, there was no instances where the Shire did not comply with the identified provisions of the Local Government Act and associated regulations. A copy of the return is available from the Chief Executive Officer.

## Accounting Standards

In relation to the Australian Accounting Standards and International Financial Reporting, the Shire has performed strongly. As per the auditor's report, as at the 30 June 2022 there were no instances of non-compliance or material matters that would indicate any adverse financial trends.

The interim and final audits were conducted by the Office of Auditor's General and Moore Australia.





# COMPLIANCE

## (Continued)

### National Competition Policy

In accordance with the National Competition Policy (NCP) the Shire is required to ensure that it espouses service delivery operations which meet specific criteria to competition and that Local Laws and Council policies do not unduly restrict competition. These obligations arise from the Competition Principles Agreement signed by the Commonwealth, Territory and State Governments.

The Shire of Collie is required to report its progress in achieving National Competition Policy reform in its Annual Report.

### Freedom of Information

The WA Freedom of Information Act 1992 gives the public the right to access documents about their personal affairs and the activities of governments, agencies and ministers. It also gives the public the right to request that incorrect or misleading information held by an agency be amended or removed.

During the 2021/22 financial year, the Shire of Collie received and executed to completion one Freedom of Information (FOI) application, with no appeals. The Act provides 45 days to complete FOI applications from the time of payment. Shire of Collie has met the obligations and spirit of the Freedom of Information Act 1992 and is fully compliant.

### Public Interest Disclosures

The Public Interest Disclosures Act 2003 facilitates the disclosure of public interest information and provides protection for those making such disclosure and those who are the subject of disclosures. The Act provides a system for the matters disclosed to be investigated and for appropriate action to be taken. The Chief Executive Officer has complied with all obligations under the Act.

Appointing the Director of Corporate Services as the PID officer for the organisation and publishing an internal procedure relating to the Shire's obligation. Providing protection from detrimental action or the threat of detrimental action for an employee of the Shire who makes an appropriate disclosure of public interest information.



# COMPLIANCE

## (Continued)

### Complaints Register

Section 5.121 of the Local Government Act 1995 requires Annual Report to contain details of the entries made in the Complaints Register regarding complaints made about elected members.

No complaints were lodged against elected member during the 2021/22 period.

### Disability Access and Inclusion

The Disability Services Amendment Act (1999) requires the Shire to report the Access and Inclusion Plan achievements within its Annual Report. The Access and Inclusion Plan (AIP) is based on criteria set by the Disability Services Commission. The Access and Inclusion Plan 2017 to 2021 is current and required reporting was submitted. The following initiatives were undertaken during 2021/22.

- The ongoing upgrade of identified footpath to dual-use-pathways allowing access to all major facilities in the center of town and recreational areas
- The Shire of Collie is a diverse and inclusive workplace.
- On going delivery of the successful inclusive #NoLimits program at Roche Park developed for people with a disability enabling them to participate in sporting activities
- The commitment to make the town and recreational facilities as accessible as possible.
- The continued commitment to ensure that all improvements and upgrades are accessible and inclusive.
- The Shire recognises the importance of dignified access to services and facilities



# COMPLIANCE

## (Continued)

### State Record Keeping Act

The State Records Act 2000 requires the Shire maintains and disposes of all records in the prescribed manner.

Principle 6 – Compliance: Government Organisations ensure their employees comply with the record keeping plan.

Rationale: An organisation and its employees must comply with the organisation's record keeping plan. Organisations should develop and implement strategies for ensuring that each employee is aware of the compliance responsibilities. Minimum Compliance Requirements: The record keeping plan is to provide evidence to adduce that:

1. The efficiency and effectiveness of the organisation's record keeping system is evaluated not less than once every 5 years.
2. The organisation conducts a record keeping training program.
3. The efficiency and effectiveness of the record keeping training program is reviewed from time to time.
4. The organisation's induction program addresses employee roles and responsibilities in regard to their compliance with the organisation's record keeping plan.

The Shire has complied with Items 1 to 4

The Record Keeping Plan was reviewed in 2022.



# CELEBRATIONS

## 2022 Collie Australia Day Awards

Shire of Collie Citizen of the Year -  
**Mark Paget**

Shire of Collie Young Citizen of the Year-  
**Liam Shepherd**

Shire of Collie Group of the Year Award-  
**Collie Volunteer Fire & Rescue Service**

Shire of Collie Environmental Award-  
**Carol Gale**



Australia day 2022 - Photo by Nola Green



Citizen of the Year - Mark Paget  
Photo by Nola Green

## 2022 Collie Sports Person of the Year Awards

Sports Person of the Year- JL Mumme Medal-  
**Gemma Buckle**

Young Sports Person of the Year-  
**An-ne Pelser**

Robinson-Hannan Volunteer of the Year Award-  
**Emma Whiteaker**



# APPENDIX

Shire of Collie Annual Financial Report - Financial Year 2021/22



**SHIRE OF COLLIE**  
**FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

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The SHIRE OF COLLIE conducts the operations of a local government with the following community vision:

*A connected community that is as rich and diverse as its heritage and landscape*

Principal place of business:  
87 Throssell Street  
COLLIE WA 6225

**SHIRE OF COLLIE  
FINANCIAL REPORT  
FOR THE YEAR ENDED 30 JUNE 2022**

The attached financial report of the SHIRE OF COLLIE for the financial year ended 30 June 2022 is based on proper accounts and records to present fairly the financial position of the SHIRE OF COLLIE at 30 June 2022 and the results of the operations for the financial year then ended in accordance with the Local Government Act 1995 and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards.

Signed on the 20th day of March 2023



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Chief Executive Officer

Stuart Devenish

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Name of Chief Executive Officer



**SHIRE OF COLLIE**  
**STATEMENT OF COMPREHENSIVE INCOME**  
**BY NATURE OR TYPE**  
**FOR THE YEAR ENDED 30 JUNE 2022**

	NOTE	2022 Actual \$	2022 Budget \$	2021 Actual \$
<b>Revenue</b>				
Rates	25(a),2(a)	6,486,173	6,470,000	6,173,714
Operating grants, subsidies and contributions	2(a)	3,910,114	3,642,467	3,307,558
Fees and charges	24(c),2(a)	2,499,788	2,299,436	2,102,176
Interest earnings	2(a)	108,961	116,743	122,918
Other revenue	2(a)	56,016	65,000	353,567
		13,061,052	12,593,646	12,059,933
<b>Expenses</b>				
Employee costs		(5,532,444)	(5,494,219)	(5,627,203)
Materials and contracts		(4,364,408)	(4,547,670)	(3,942,863)
Utility charges		(482,189)	(536,049)	(468,275)
Depreciation	10(a)	(2,720,189)	(2,993,152)	(2,920,706)
Finance costs	2(b)	(56,038)	(54,388)	(58,511)
Insurance		(290,818)	(528,799)	(513,138)
Other expenditure	2(b)	(93,996)	(117,168)	(169,019)
		(13,540,082)	(14,271,445)	(13,699,715)
		(479,030)	(1,677,799)	(1,639,782)
Non operating grants, subsidies and contributions	2(a)	3,907,161	8,182,981	2,027,462
Profit on asset disposals	10(b)	64,927	36,400	262,276
Loss on asset disposals	10(b)	(6,003,927)	0	(81,833)
		(2,031,839)	8,219,381	2,207,905
<b>Net result for the period</b>	24(b)	<b>(2,510,869)</b>	<b>6,541,582</b>	<b>568,123</b>
<b>Other comprehensive income for the period</b>				
<i>Items that will not be reclassified subsequently to profit or loss</i>				
Changes in asset revaluation surplus	16	15,950,150	0	0
<b>Total other comprehensive income for the period</b>	16	<b>15,950,150</b>	<b>0</b>	<b>0</b>
<b>Total comprehensive income for the period</b>		<b>13,439,281</b>	<b>6,541,582</b>	<b>568,123</b>

This statement is to be read in conjunction with the accompanying notes.





**SHIRE OF COLLIE**  
**STATEMENT OF FINANCIAL POSITION**  
**AS AT 30 JUNE 2022**

	NOTE	2022 \$	2021 \$
<b>CURRENT ASSETS</b>			
Cash and cash equivalents	3	6,085,259	4,952,278
Trade and other receivables	5	1,809,758	1,624,328
Other financial assets	4(a)	111,175	109,928
Inventories	6	19,634	8,950
Other assets	7	662,203	451,113
<b>TOTAL CURRENT ASSETS</b>		<b>8,688,029</b>	<b>7,146,597</b>
<b>NON-CURRENT ASSETS</b>			
Trade and other receivables	5	566,023	506,382
Other financial assets	4(b)	27,500	41,420
Property, plant and equipment	8	28,795,829	28,554,348
Infrastructure	9	156,906,954	146,199,463
Right-of-use assets	11(a)	129,293	57,516
<b>TOTAL NON-CURRENT ASSETS</b>		<b>186,425,599</b>	<b>175,359,129</b>
<b>TOTAL ASSETS</b>		<b>195,113,628</b>	<b>182,505,726</b>
<b>CURRENT LIABILITIES</b>			
Trade and other payables	12	1,594,115	1,795,349
Other liabilities	13	2,751,604	3,100,675
Lease liabilities	11(b)	52,519	21,192
Borrowings	14	202,996	207,048
Employee related provisions	15	896,898	958,711
<b>TOTAL CURRENT LIABILITIES</b>		<b>5,498,132</b>	<b>6,082,975</b>
<b>NON-CURRENT LIABILITIES</b>			
Lease liabilities	11(b)	76,290	36,471
Borrowings	14	1,332,746	1,535,742
Employee related provisions	15	62,400	145,758
<b>TOTAL NON-CURRENT LIABILITIES</b>		<b>1,471,436</b>	<b>1,717,971</b>
<b>TOTAL LIABILITIES</b>		<b>6,969,568</b>	<b>7,800,946</b>
<b>NET ASSETS</b>		<b>188,144,060</b>	<b>174,704,780</b>
<b>EQUITY</b>			
Retained surplus		38,032,283	41,119,117
Reserve accounts	28	1,889,624	1,313,659
Revaluation surplus	16	148,222,153	132,272,004
<b>TOTAL EQUITY</b>		<b>188,144,060</b>	<b>174,704,780</b>

This statement is to be read in conjunction with the accompanying notes.



**SHIRE OF COLLIE**  
**STATEMENT OF CHANGES IN EQUITY**  
**FOR THE YEAR ENDED 30 JUNE 2022**

	<b>NOTE</b>	<b>RETAINED SURPLUS</b>	<b>RESERVE ACCOUNTS</b>	<b>REVALUATION SURPLUS</b>	<b>TOTAL EQUITY</b>
		\$	\$	\$	\$
<b>Balance as at 1 July 2020</b>		<b>40,933,671</b>	<b>930,982</b>	<b>132,272,004</b>	<b>174,136,657</b>
Comprehensive income for the period					
Net result for the period		568,123	0	0	568,123
Total comprehensive income for the period		568,123	0	0	568,123
Transfers from reserves	28	570,576	(570,576)	0	0
Transfers to reserves	28	(953,253)	953,253	0	0
<b>Balance as at 30 June 2021</b>		<b>41,119,117</b>	<b>1,313,659</b>	<b>132,272,004</b>	<b>174,704,780</b>
Comprehensive income for the period					
Net result for the period		(2,510,869)	0	0	(2,510,869)
Other comprehensive income for the period	16	0	0	15,950,150	15,950,149
Total comprehensive income for the period		(2,510,869)	0	15,950,150	13,439,280
Transfers from reserves	28	96,851	(96,851)	0	0
Transfers to reserves	28	(672,816)	672,816	0	0
<b>Balance as at 30 June 2022</b>		<b>38,032,283</b>	<b>1,889,624</b>	<b>148,222,153</b>	<b>188,144,060</b>

This statement is to be read in conjunction with the accompanying notes.

**SHIRE OF COLLIE**  
**STATEMENT OF CASH FLOWS**  
**FOR THE YEAR ENDED 30 JUNE 2022**

	NOTE	2022 Actual \$	2022 Budget \$	2021 Actual \$
<b>CASH FLOWS FROM OPERATING ACTIVITIES</b>				
<b>Receipts</b>				
Rates		6,366,457	6,470,000	6,045,952
Operating grants, subsidies and contributions		3,528,139	4,437,270	3,112,529
Fees and charges		2,500,083	2,299,436	1,807,419
Interest received		108,961	116,743	122,918
Other revenue		56,016	65,000	353,566
		12,559,656	13,388,449	11,442,384
<b>Payments</b>				
Employee costs		(5,690,843)	(5,434,219)	(5,616,866)
Materials and contracts		(4,836,354)	(4,547,670)	(3,996,630)
Utility charges		(482,189)	(536,049)	(468,275)
Finance costs		(56,038)	(54,388)	(58,511)
Insurance paid		(290,818)	(528,799)	(513,138)
Goods and services tax paid		41,712	0	(20,214)
Other expenditure		(93,996)	(117,168)	(169,019)
		(11,408,526)	(11,218,293)	(10,842,653)
<b>Net cash provided by (used in) operating activities</b>	17(b)	1,151,130	2,170,156	599,731
<b>CASH FLOWS FROM INVESTING ACTIVITIES</b>				
Payments for purchase of property, plant & equipment	8(a)	(728,290)	(2,038,117)	(455,108)
Payments for construction of infrastructure	9(a)	(3,079,400)	(6,324,021)	(2,673,867)
Non-operating grants, subsidies and contributions		3,834,869	8,192,487	3,657,344
Proceeds from financial assets at amortised cost -advance		5,000	5,000	6,410
Proceeds from financial assets at amortised cost - self supporting loans		17,342	17,342	23,104
Proceeds from financial assets at fair values through other comprehensive income		(9,669)	0	0
Proceeds from sale of property, plant & equipment	10(b)	196,652	72,000	563,396
<b>Net cash provided by (used in) investing activities</b>		236,504	(75,309)	1,121,279
<b>CASH FLOWS FROM FINANCING ACTIVITIES</b>				
Repayment of borrowings	27(a)	(207,048)	(207,936)	(171,396)
Payments for principal portion of lease liabilities	27(c)	(47,605)	(46,115)	(45,369)
Proceeds from new borrowings	27(a)	0	0	465,285
<b>Net cash provided by (used in) financing activities</b>		(254,653)	(254,051)	248,520
<b>Net increase (decrease) in cash held</b>		1,132,981	1,840,796	1,969,530
Cash at beginning of year		4,952,278	2,993,738	2,982,749
<b>Cash and cash equivalents at the end of the year</b>	17(a)	6,085,259	4,834,534	4,952,278

This statement is to be read in conjunction with the accompanying notes.

**SHIRE OF COLLIE**  
**RATE SETTING STATEMENT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

	NOTE	2022 Actual \$	2022 Budget \$	2021 Actual \$
<b>NET CURRENT ASSETS - At start of financial year - surplus/(deficit)</b>	26(b)	781,105	(486,491)	91,489
<b>OPERATING ACTIVITIES</b>				
<b>Revenue from operating activities (excluding general rate)</b>				
Rates (excluding general rate)	25(b)	854	817	817
Operating grants, subsidies and contributions		3,910,114	3,642,467	3,307,558
Fees and charges		2,499,788	2,299,436	2,102,176
Interest earnings		108,961	116,743	122,918
Other revenue		56,016	65,000	353,567
Profit on asset disposals	10(b)	64,927	36,400	262,276
		6,640,660	6,160,863	6,149,312
<b>Expenditure from operating activities</b>				
Employee costs		(5,532,444)	(5,494,219)	(5,627,203)
Materials and contracts		(4,364,408)	(4,547,670)	(3,942,863)
Utility charges		(482,189)	(536,049)	(468,275)
Depreciation		(2,720,189)	(2,993,152)	(2,920,706)
Finance costs		(56,038)	(54,388)	(58,511)
Insurance		(290,818)	(528,799)	(513,138)
Other expenditure		(93,996)	(117,168)	(169,019)
Loss on asset disposals	10(b)	(6,003,927)	0	(81,833)
		(19,544,009)	(14,271,445)	(13,781,548)
Non-cash amounts excluded from operating activities	26(a)	8,521,190	3,016,752	2,793,125
<b>Amount attributable to operating activities</b>		(4,382,159)	(5,093,830)	(4,839,111)
<b>INVESTING ACTIVITIES</b>				
Non-operating grants, subsidies and contributions		3,907,161	8,182,981	2,027,462
Proceeds from disposal of assets	10(b)	196,652	72,000	563,396
Proceeds from financial assets at amortised cost - self supporting loans	27(a)	17,342	17,342	23,104
Proceeds from financial assets at amortised cost - advance to community groups		5,000	5,000	5,000
Purchase of property, plant and equipment	8(a)	(728,290)	(2,038,117)	(455,108)
Purchase and construction of infrastructure	9(a)	(3,079,400)	(6,324,021)	(2,673,867)
		318,465	(84,815)	(510,013)
<b>Amount attributable to investing activities</b>		318,465	(84,815)	(510,013)
<b>FINANCING ACTIVITIES</b>				
Repayment of borrowings	27(a)	(207,048)	(207,936)	(171,396)
Proceeds from borrowings	27(a)	0	0	465,285
Payments for principal portion of lease liabilities	27(c)	(47,605)	(46,115)	(45,369)
Transfers to reserves (restricted assets)	28	(672,816)	(1,153,936)	(953,253)
Transfers from reserves (restricted assets)	28	96,851	607,907	570,576
<b>Amount attributable to financing activities</b>		(830,618)	(800,080)	(134,157)
<b>Surplus/(deficit) before imposition of general rates</b>		(4,113,207)	(6,465,216)	(5,391,792)
<b>Total amount raised from general rates</b>	25(a)	6,485,319	6,469,183	6,172,897
<b>Surplus/(deficit) after imposition of general rates</b>	26(b)	<b>2,372,112</b>	<b>3,967</b>	<b>781,105</b>

This statement is to be read in conjunction with the accompanying notes.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**1. BASIS OF PREPARATION**

The financial report comprises general purpose financial statements which have been prepared in accordance with the *Local Government Act 1995* and accompanying regulations.

**Local Government Act 1995 requirements**

Section 6.4(2) of the *Local Government Act 1995* read with the *Local Government (Financial Management) Regulations 1996* prescribe that the financial report be prepared in accordance with the *Local Government Act 1995* and, to the extent that they are not inconsistent with the Act, the Australian Accounting Standards. The Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board were applied where no inconsistencies exist.

The *Local Government (Financial Management) Regulations 1996* specify that vested land is a right-of-use asset to be measured at cost, and is considered a zero cost concessionary lease. All right-of-use assets under zero cost concessionary leases are measured at zero cost rather than at fair value, except for vested improvements on concessionary land leases such as roads, buildings or other infrastructure which continue to be reported at fair value, as opposed to the vested land which is measured at zero cost. The measurement of vested improvements at fair value is a departure from AASB 16 which would have required the City to measure any vested improvements at zero cost.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the financial report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

**The local government reporting entity**

All funds through which the City controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies appears at Note 4 of the financial report.

**Judgements and estimates**

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses.

The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

The balances, transactions and disclosures impacted by accounting estimates are as follows:

- estimated fair value of certain financial assets
- impairment of financial assets
- estimation uncertainties made in relation to lease accounting
- estimation of useful lives of non-current assets

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**2. REVENUE AND EXPENSES**

**(a) Revenue**

**Contracts with customers**

Recognition of revenue is dependant on the source of revenue and the associated terms and conditions associated with each source of revenue and recognised as follows:

Revenue Category	Nature of goods and services	When obligations typically satisfied	Payment terms	Returns/Refunds/Warranties	Timing of revenue recognition
Rates	General Rates	Over time	Payment dates adopted by Council during the year	None	When rates notice is issued
Specified area rates	Rates charge for specific defined purpose	Over time	Payment dates adopted by Council during the year	Refund in event monies are unspent	When rates notice is issued
Service charges	Charge for specific service	Over time	Payment dates adopted by Council during the year	Refund in event monies are unspent	When rates notice is issued
Grant contracts with customers	Community events, minor facilities, research, design, planning evaluation and services	Over time	Fixed terms transfer of funds based on agreed milestones and reporting	Contract obligation if project not complete	Output method based on project milestones and/or completion date matched to performance obligations as inputs are shared
Grants, subsidies or contributions for the construction of non-financial assets	Construction or acquisition of recognisable non-financial assets to be controlled by the local government	Over time	Fixed terms transfer of funds based on agreed milestones and reporting	Contract obligation if project not complete	Output method based on project milestones and/or completion date matched to performance obligations as inputs are shared
Grants with no contractual commitments	General appropriations and contributions with no specific contractual commitments	No obligations	Not applicable	Not applicable	When assets are controlled
Licences/ Registrations/ Approvals	Building, planning, development and animal management, having the same nature as a licence regardless of naming.	Single point in time	Full payment prior to issue	None	On payment and issue of the licence, registration or approval
Waste management collections	Kerbside collection service	Over time	Payment on an annual basis in advance	None	Output method based on regular weekly and fortnightly period as proportionate to collection service
Waste management entry fees	Waste treatment, recycling and disposal service at disposal sites	Single point in time	Payment in advance at gate or on normal trading terms if credit provided	None	On entry to facility
Airport landing charges	Permission to use facilities and runway	Single point in time	Monthly in arrears	None	On landing/departure event
Fees and charges for other goods and services	Cemetery services, library fees, reinstatements and private works	Single point in time	Payment in full in advance	None	Output method based on provision of service or completion of works
Sale of stock	Aviation fuel, kiosk and visitor centre stock	Single point in time	In full in advance, on 15 day credit	Refund for faulty goods	Output method based on goods

Consideration from contracts with customers is included in the transaction price.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**2. REVENUE AND EXPENSES (Continued)**

**Revenue Recognition**

Revenue recognised during the year under each basis of recognition by nature or types of goods or services is provided in the table below:

**For the year ended 30 June 2022**

Nature or type	Contracts with customers	Capital grant/contributions	Statutory Requirements	Other	Total
	\$	\$	\$	\$	\$
Rates	0	0	6,486,173	0	6,486,173
Operating grants, subsidies and contributions	3,910,114	0	0	0	3,910,114
Fees and charges	0	0	0	2,499,788	2,499,788
Interest earnings	0	0	104,755	4,206	108,961
Other revenue	0	0	0	56,016	56,016
Non-operating grants, subsidies and contributions	0	3,907,161	0	0	3,907,161
<b>Total</b>	<b>3,910,114</b>	<b>3,907,161</b>	<b>6,590,928</b>	<b>2,560,010</b>	<b>16,968,213</b>

**For the year ended 30 June 2021**

Nature or type	Contracts with customers	Capital grant/contributions	Statutory Requirements	Other	Total
	\$	\$	\$	\$	\$
Rates	0	0	6,173,714	0	6,173,714
Operating grants, subsidies and contributions	3,307,558	0	0	0	3,307,558
Fees and charges	0	0	0	2,102,176	2,102,176
Interest earnings	0	0	117,327	5,591	122,918
Other revenue	0	0	0	353,567	353,567
Non-operating grants, subsidies and contributions	0	2,027,462	0	0	2,027,462
<b>Total</b>	<b>3,307,558</b>	<b>2,027,462</b>	<b>6,291,041</b>	<b>2,461,334</b>	<b>14,087,395</b>

Note	2022 Actual	2022 Budget	2021 Actual
<b>Interest earnings</b>			
Financial assets at amortised cost - self supporting loans	1,039	1,814	2,107
Interest on reserve funds	736	1,500	883
Rates instalment and penalty interest (refer Note 25(d))	104,755	110,000	117,327
Other interest earnings	2,431	3,429	2,601
	108,961	116,743	122,918
<b>(b) Expenses</b>			
<b>Auditors remuneration</b>			
- Audit of the Annual Financial Report	39,000	28,000	9,000
- Other services	3,360	2,000	1,990
	42,360	30,000	10,990
<b>Finance costs</b>			
Borrowings 27(a)	54,698	53,059	57,302
Lease liabilities 27(c)	1,340	1,329	1,210
	56,038	54,388	58,512
<b>Other expenditure</b>			
Sundry expenses	93,996	117,168	169,019
	93,996	117,168	169,019

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**3. CASH AND CASH EQUIVALENTS**

Cash at bank and on hand  
**Total cash and cash equivalents**

Held as  
- Unrestricted cash and cash equivalents  
- Restricted cash and cash equivalents

Note	2022	2021
	\$	\$
	6,085,259	4,952,278
17(a)	6,085,259	4,952,278
	4,195,635	3,638,619
17(a)	1,889,624	1,313,659
	6,085,259	4,952,278

**SIGNIFICANT ACCOUNTING POLICIES**

**Cash and cash equivalents**

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value.

Bank overdrafts are reported as short term borrowings in current liabilities in the statement of financial position.

**Restricted financial assets**

Restricted financial asset balances are not available for general use by the local government due to externally imposed restrictions. Restrictions are specified in an agreement, contract or legislation. This applies to reserves, unspent grants, subsidies and contributions and unspent loans that have not been fully expended in the manner specified by the contributor, legislation or loan agreement and for which no liability has been recognised.

Details of restrictions on financial assets can be found at Note 17.

**4. OTHER FINANCIAL ASSETS**

**(a) Current assets**

Financial assets at amortised cost  
Financial assets at fair values through other comprehensive income

**Other financial assets at amortised cost**

Self supporting loans receivable  
Advance to community group

**Financial assets at fair values through other comprehensive income**

Units held in Local Government House Trust

Held as  
- Unrestricted other financial assets at amortised cost

**(b) Non-current assets**

Financial assets at amortised cost

**Financial assets at amortised cost**

Self supporting loans receivable  
Advance to community group

	2022	2021
	\$	\$
	13,920	22,342
	97,255	87,586
	111,175	109,928
26(b)	8,920	17,342
	5,000	5,000
	13,920	22,342
	97,255	87,586
	97,255	87,586
	111,175	109,928
	111,175	109,928
	27,500	41,420
	27,500	41,420
	0	8,920
	27,500	32,500
	27,500	41,420

**SIGNIFICANT ACCOUNTING POLICIES**

**Other financial assets at amortised cost**

The Shire classifies financial assets at amortised cost if both of the following criteria are met:

- the asset is held within a business model whose objective is to collect the contractual cashflows, and
- the contractual terms give rise to cash flows that are solely payments of principal and interest.

Fair values of financial assets at amortised cost are not materially different to their carrying amounts, since the interest receivable on those assets is either close to current market rates or the assets are of a short term nature. Non-current financial assets at amortised cost fair values are based on discounted cash flows using a current market rates. They are classified as level 2 fair values in the fair value hierarchy (see Note 23 (i)) due to the observable market rates.

Interest received is presented under cashflows from operating activities in the Statement of Cash Flows where it is earned from financial assets that are held for cash management purposes.

**Financial assets at fair value through profit and loss**

The Shire classifies the following financial assets at fair value through profit and loss:

- debt investments which do not qualify for measurement at either amortised cost or fair value through other comprehensive income.
- equity investments which the Shire has not elected to recognise fair value gains and losses through other comprehensive income.

**Impairment and risk**

Information regarding impairment and exposure to risk can be found at Note 21.



**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**5. TRADE AND OTHER RECEIVABLES**

**Current**

Rates receivable  
 Trade and other receivables  
 GST receivable  
 Allowance for credit losses of trade and other receivables

Note	2022	2021
	\$	\$
	1,585,030	1,462,789
	267,630	162,434
	0	41,712
21(b)	(42,902)	(42,607)
	1,809,758	1,624,328
	566,023	506,382
	566,023	506,382

**Non-current**

Pensioner's rates and ESL deferred

**SIGNIFICANT ACCOUNTING POLICIES**

**Trade and other receivables**

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for grants, contributions, reimbursements, and goods sold and services performed in the ordinary course of business.

Trade and other receivables are recognised initially at the amount of consideration that is unconditional, unless they contain significant financing components, when they are recognised at fair value.

**Impairment and risk exposure**

Information about the impairment of trade receivables and their exposure to credit risk and interest rate risk can be found in Note 21.

**Classification and subsequent measurement**

Receivables which are generally due for settlement within 30 days except rates receivables which are expected to be collected within 12 months are classified as current assets. All other receivables such as, deferred pensioner rates receivable after the end of the reporting period are classified as non-current assets.

Trade and other receivables are held with the objective to collect the contractual cashflows and therefore the Shire measures them subsequently at amortised cost using the effective interest rate method.

Due to the short term nature of current receivables, their carrying amount is considered to be the same as their fair value. Non-current receivables are indexed to value is considered immaterial.

**6. INVENTORIES**

**Current**

Fuel and materials  
 Kiosk Supplies - Roche Park

Note	2022	2021
	\$	\$
	18,201	7,324
	1,433	1,626
	19,634	8,950

The following movements in inventories occurred during the year:

**Balance at beginning of year**

Inventories expensed during the year  
 Additions to inventory

**Balance at end of year**

	8,950	8,421
	0	(96,325)
	10,684	96,854
	19,634	8,950

**SIGNIFICANT ACCOUNTING POLICIES**

**General**

Inventories are measured at the lower of cost and net realisable value.

Net realisable value is the estimated selling price in the ordinary course of business less the estimated costs of completion and the estimated costs necessary to make the sale.

**SHIRE OF COLLIE**  
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**7. OTHER ASSETS**

**Other assets - current**

Prepayments  
 Accrued income  
 Contract assets

2022	2021
\$	\$
29,246	28,991
26,378	30,488
606,579	391,634
662,203	451,113

**SIGNIFICANT ACCOUNTING POLICIES**

**Other current assets**

Other non-financial assets include prepayments which represent payments in advance of receipt of goods or services or that part of expenditure made in one accounting period covering a term extending beyond that period.

**Contract assets**

Contract assets primarily relate to the Shire's right to . consideration for work completed but not billed at the end of the period.

Impairment of assets associated with contracts with customers are detailed at note 2 (b).

**SHIRE OF COLLIE**  
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**8. PROPERTY, PLANT AND EQUIPMENT**

**(a) Movements in Balances**

Movement in the balances of each class of property, plant and equipment between the beginning and the end of the current financial year.

	Note	Land	Buildings - non- specialised	Buildings - specialised	Total land and buildings	Furniture and equipment	Plant and equipment	Total property, plant and equipment
		\$	\$	\$	\$	\$	\$	\$
<b>Balance at 1 July 2020</b>		3,315,000	134,006	21,782,056	25,231,062	221,071	3,628,765	29,080,898
Additions		0	0	252,941	252,941	147,943	54,224	455,108
Disposals		(290,000)	0	(81,833)	(371,833)	0	(11,120)	(382,953)
Depreciation	10(a)	0	(1,507)	(352,762)	(354,269)	(20,970)	(360,704)	(735,943)
Transfers		0	1,572	(1,573)	(1)	124,516	12,723	137,238
<b>Balance at 30 June 2021</b>		3,025,000	134,071	21,598,829	24,757,900	472,560	3,323,888	28,554,348
<b>Comprises:</b>								
Gross balance amount at 30 June 2021		3,025,000	138,608	22,985,765	26,149,373	493,530	3,681,767	30,324,670
Accumulated depreciation at 30 June 2021		0	(4,537)	(1,386,936)	(1,391,473)	(20,970)	(357,879)	(1,770,322)
<b>Balance at 30 June 2021</b>		3,025,000	134,071	21,598,829	24,757,900	472,560	3,323,888	28,554,348
Additions		0	0	277,702	277,702	132,134	318,454	728,290
Disposals		(575,000)	(131,725)	0	(706,725)	0	(26,687)	(733,412)
Revaluation increments / (decrements) transferred to revaluation surplus		(930,000)	0	1,898,036	968,036	0	0	968,036
Depreciation	10(a)	0	(2,346)	(308,397)	(310,743)	(37,954)	(372,736)	(721,433)
<b>Balance at 30 June 2022</b>		1,520,000	0	23,466,170	24,986,170	566,740	3,242,919	28,795,829
<b>Comprises:</b>								
Gross balance amount at 30 June 2022		1,520,000	0	23,466,170	24,986,170	625,664	3,973,534	29,585,368
Accumulated depreciation at 30 June 2022		0	0	0	0	(58,924)	(730,615)	(789,539)
<b>Balance at 30 June 2022</b>		1,520,000	0	23,466,170	24,986,170	566,740	3,242,919	28,795,829

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**8. PROPERTY, PLANT AND EQUIPMENT (Continued)**

**(b) Carrying Value Measurements**

Asset Class	Fair Value Hierarchy	Valuation Technique	Basis of Valuation	Date of Last Valuation	Inputs Used
<b>(i) Fair Value</b>					
<b>Land and buildings</b>					
Land	2	Market approach using recent observable market data for similar properties/income approach using discounted cashflow methodology	External Valuation	June 2022	Price per hectare/market borrowing rate
Buildings - non-specialised	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
Buildings - specialised	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
Level 3 inputs are based on assumptions with regards to future values and patterns of consumption utilising current information. If the basis of these assumptions were varied, they have the potential to result in a significantly higher or lower fair value measurement.					
During the period there were no changes in the valuation techniques used by the local government to determine the fair value of property, plant and equipment using either level 2 or level 3 inputs.					
<b>(ii) Cost</b>					
<b>Furniture and equipment</b>	3	Cost	Internal Valuation	June 2020	Purchase Cost
<b>Plant and equipment</b>	3	Cost	Internal Valuation	June 2020	Purchase Cost

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**9. INFRASTRUCTURE**

**(a) Movements in Balances**

Movement in the balances of each class of infrastructure between the beginning and the end of the current financial year.

	Note	Infrastructure - roads	Infrastructure - pathways	Infrastructure - drainage	Infrastructure - parks and ovals	Infrastructure - bridges	Infrastructure - other	Total Infrastructure
		\$	\$	\$	\$	\$	\$	\$
<b>Balance at 1 July 2020</b>		110,651,125	4,171,485	7,040,551	8,259,389	6,237,043	9,443,896	145,803,489
Additions		951,349	107,691	110,992	69,612	384,814	1,049,409	2,673,867
Depreciation	10(a)	(1,306,303)	(87,939)	(79,361)	(325,673)	(69,601)	(270,531)	(2,139,408)
Transfers		(16,388)	0	0	0	0	(122,097)	(138,485)
<b>Balance at 30 June 2021</b>		110,279,783	4,191,237	7,072,182	8,003,328	6,552,256	10,100,677	146,199,463
<b>Comprises:</b>								
Gross balance at 30 June 2021		115,395,122	4,496,393	7,392,698	9,387,850	6,814,035	10,790,898	154,276,996
Accumulated depreciation at 30 June 2021		(5,115,339)	(305,156)	(320,516)	(1,384,522)	(261,779)	(690,221)	(8,077,533)
<b>Balance at 30 June 2021</b>		110,279,783	4,191,237	7,072,182	8,003,328	6,552,256	10,100,677	146,199,463
Additions		3,029,785	4,213	11,577	0	0	33,825	3,079,400
(Disposals)		0	0	0	(257,751)	0	(5,144,489)	(5,402,240)
Revaluation increments / (decrements) transferred to revaluation surplus		1,954,775	3,917,719	6,477,983	(526,917)	3,127,883	30,670	14,982,113
Depreciation	10(a)	(1,277,413)	(89,962)	(73,970)	(175,533)	(68,139)	(266,765)	(1,951,782)
<b>Balance at 30 June 2022</b>		113,986,930	8,023,207	13,487,772	7,043,127	9,612,000	4,753,918	156,906,954
<b>Comprises:</b>								
Gross balance at 30 June 2022		113,986,930	8,023,207	13,487,772	7,043,127	9,612,000	4,753,918	156,906,954
Accumulated depreciation at 30 June 2022		0	0	0	0	0	0	0
<b>Balance at 30 June 2022</b>		113,986,930	8,023,207	13,487,772	7,043,127	9,612,000	4,753,918	156,906,954

**SHIRE OF COLLIE**  
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**9. INFRASTRUCTURE (Continued)**

**(b) Carrying Value Measurements**

Asset Class	Fair Value Hierarchy	Valuation Technique	Basis of Valuation	Date of Last Valuation	Inputs Used
<b>(i) Fair Value</b>					
<b>Infrastructure - roads</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
<b>Infrastructure - pathways</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
<b>Infrastructure - drainage</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
<b>Infrastructure - parks and ovals</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
<b>Infrastructure - bridges</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)
<b>Infrastructure - other</b>	3	Cost approach using depreciated replacement cost	External Valuation	June 2022	Construction costs (Level 2) Current condition (Level 3) Residual values and remaining useful life assessment (Level 3)

Level 3 inputs are based on assumptions with regards to future values and patterns of consumption utilising current information. If the basis of these assumptions were varied, they have the potential to result in a significantly higher or lower fair value measurement.

During the period there were no changes in the valuation techniques used to determine the fair value of infrastructure using level 3 inputs.

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**10. FIXED ASSETS**

**(a) Depreciation**

	<b>Note</b>	<b>2022 Actual \$</b>	<b>2022 Budget \$</b>	<b>2021 Actual \$</b>
Buildings - non-specialised	8(a)	2,346	0	1,507
Buildings - specialised	8(a)	308,397	367,575	352,762
Furniture and equipment	8(a)	37,954	20,675	20,970
Plant and equipment	8(a)	372,736	572,299	360,704
Infrastructure - roads	9(a)	1,277,413	1,560,802	1,306,303
Infrastructure - pathways	9(a)	89,962	95,720	87,939
Infrastructure - drainage	9(a)	73,970	100,589	79,361
Infrastructure - parks and ovals	9(a)	175,533	161,774	325,673
Infrastructure - bridges	9(a)	68,139	75,930	69,601
Infrastructure - other	9(a)	266,765		270,531
Right-of-use assets - plant and equipment	11(a)	46,974	37,788	45,355
		<b>2,720,189</b>	<b>2,993,152</b>	<b>2,920,706</b>

**Depreciation rates**

Typical estimated useful lives for the different asset classes for the current and prior years are included in the table below:

<b>Asset Class</b>	<b>Useful life</b>
Buildings	30 to 70 years
Furniture and Equipment	4 to 15 years
Plant and Equipment	5 to 15 years
Sealed roads and streets:	
Formation	not depreciated
Pavement	65 years
Seal	
- Bituminous seal	20 years
- Asphalt surfaces	25 years
Gravel roads	
Formation	not depreciated
Pavement	65 years
Gravel sheet	12 years
Formed roads	
Formation	not depreciated
Pavement	50 years
Footpaths- Slab	50 years
Sewerage piping	100 years
Water Supply piping and drainage systems	90-100 years
Bridges	90-100 years
Others	10- 50 years
Park and Ovals	7- 44 years

**SHIRE OF COLLIE**  
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**10. FIXED ASSETS (Continued)**

**(b) Disposals of assets**

	2022 Actual Net Book Value	2022 Actual Sale Proceeds	2022 Actual Profit	2022 Actual Loss	2022 Budget Net Book Value	2022 Budget Sale Proceeds	2022 Budget Profit	2022 Budget Loss	2021 Actual Net Book Value	2021 Actual Sale Proceeds	2021 Actual Profit	2021 Actual Loss
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Land - freehold land	575,000	0	0	(575,000)	0	0	0	0	290,000	550,000	260,000	0
Buildings - non-specialised	131,725	196,652	64,927	0	0	0	0	0	0	0	0	0
Buildings - specialised	0	0	0	0	0	0	0	0	81,833	0	0	(81,833)
Plant and equipment	26,687	0	0	(26,687)	35,600	72,000	36,400	0	11,120	13,396	2,276	0
Infrastructure - parks and ovals	257,751	0	0	(257,751)	0	0	0	0	0	0	0	0
Infrastructure - other	5,144,489	0	0	(5,144,489)	0	0	0	0	0	0	0	0
	6,135,652	196,652	64,927	(6,003,927)	35,600	72,000	36,400	0	382,953	563,396	262,276	(81,833)

The following assets were disposed of during the year.

	2022 Actual Net Book Value	2022 Actual Sale Proceeds	2022 Actual Profit	2022 Actual Loss
	\$	\$	\$	\$
<b>Governance</b>				
43 Elouera Road Building	131,725	196,652	64,927	0
43 Elouera Road land	75,000	0	0	(75,000)
Old Basketball courts on Throssell Street	500,000	0	0	(500,000)
<b>Community amenities</b>				
Coastmac 8x5 dual axle trailer aluminium canopy	5,004	0	0	(5,004)
River Restoration	526,296	0	0	(526,296)
River restoration minor assets (GL 121230)	7,690	0	0	(7,690)
<b>Recreation and culture</b>				
Mural 36 Steere Street	3,182		0	(3,182)
Mural 101 Throssell Street	5,455	0	0	(5,455)
Mural 154 Throssell Street	6,545	0	0	(6,545)
Mural 143 Throssell Street	2,155	0	0	(2,155)
Mural 127 Throssell Street	2,155	0	0	(2,155)
Mural 64 Throssell Street	3,920	0	0	(3,920)
Mural 72 Throssell Street	4,325	0	0	(4,325)
Mural 87 Throssell Street	11,640	0	0	(11,640)
Swimming Pool steps	2,728	0	0	(2,728)
<b>Transport</b>				
MSW Motorplex Upgrade	4,248,690	0	0	(4,248,690)
Collie River Trail (partial disposal)	327,399	0	0	(327,399)
Minor asset 19/20 - parks (GL 132060)	1,572	0	0	(1,572)
Minor asset 19/20 - works (GL 149920)	2,069	0	0	(2,069)
Minor asset 20/21 - parks (GL 132060)	4,696	0	0	(4,696)
Minor asset 20/21 - works (GL 149920)	5,656	0	0	(5,656)
<b>Economic services</b>				
Minningup Pool (partial disposal)	257,750	0	0	(257,750)
	6,135,652	196,652	64,927	(6,003,927)



## **10. FIXED ASSETS (Continued)**

### **SIGNIFICANT ACCOUNTING POLICIES**

#### **Fixed assets**

Each class of fixed assets within either property, plant and equipment or infrastructure, is carried at cost or fair value as indicated less, where applicable, any accumulated depreciation and impairment losses.

#### **Initial recognition and measurement for assets held at cost**

Plant and equipment including furniture and equipment is recognised at cost on acquisition in accordance with *Financial Management Regulation 17A*. Where acquired at no cost the asset is initially recognised at fair value. Assets held at cost are depreciated and assessed for indicators of impairment annually.

#### **Initial recognition and measurement between mandatory revaluation dates for assets held at fair value**

Assets for which the fair value as at the date of acquisition is under \$5,000 are not recognised as an asset in accordance with *Financial Management Regulation 17A (5)*. These assets are expensed immediately.

Where multiple individual low value assets are purchased together as part of a larger asset or collectively forming a larger asset exceeding the threshold, the individual assets are recognised as one asset and capitalised.

In relation to this initial measurement, cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at zero cost or otherwise significantly less than fair value, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the Shire includes the cost of all materials used in construction, direct labour on the project and an appropriate proportion of variable and fixed overheads.

Individual assets that are land, buildings, infrastructure and investment properties acquired between scheduled revaluation dates of the asset class in accordance with the mandatory measurement framework, are recognised at cost and disclosed as being at fair value as management believes cost approximates fair value. They are subject to subsequent revaluation at the next revaluation date in accordance with the mandatory measurement framework.

#### **Revaluation**

The fair value of land, buildings, infrastructure and investment properties is determined at least every five years in accordance with the regulatory framework. This includes buildings and infrastructure items which were pre-existing improvements (i.e. vested improvements) on vested land acquired by the Shire.

At the end of each period the carrying amount for each asset class is reviewed and where appropriate the fair value is updated to reflect current market conditions. This process is considered to be in accordance with *Local Government (Financial Management) Regulation 17A (2)* which requires land, buildings, infrastructure, investment properties and vested improvements to be shown at fair value.

#### **Revaluation (continued)**

For property, plant and equipment and infrastructure, increases in the carrying amount arising on revaluation of assets are credited to a revaluation surplus in equity. Decreases that offset previous increases of the same class of asset are recognised against revaluation surplus directly in equity. All other decreases are recognised in profit or loss. Subsequent increases are then recognised in profit or loss to the extent they reverse a net revaluation decrease previously recognised in profit or loss for the same class of asset.

#### **Depreciation**

The depreciable amount of all property, plant and equipment and infrastructure, are depreciated on a straight-line basis over the individual asset's useful life from the time the asset is held ready for use. Leasehold improvements are depreciated over the shorter of either the unexpired period of the lease or the estimated useful life of the improvements.

The assets residual values and useful lives are reviewed, and adjusted if appropriate, at the end of each reporting period.

An asset's carrying amount is written down immediately to its recoverable amount if the asset's carrying amount is greater than its estimated recoverable amount.

Gains and losses on disposals are determined by comparing proceeds with the carrying amount. These gains and losses are included in the statement of comprehensive income in the period in which they arise.

#### **Depreciation on revaluation**

When an item of property, plant and equipment and infrastructure is revalued, any accumulated depreciation at the date of the revaluation is treated in one of the following ways:

- (i) The gross carrying amount is adjusted in a manner that is consistent with the revaluation of the carrying amount of the asset. For example, the gross carrying amount may be restated by reference to observable market data or it may be restated proportionately to the change in the carrying amount. The accumulated depreciation at the date of the revaluation is adjusted to equal the difference between the gross carrying amount and the carrying amount of the asset after taking into account accumulated impairment losses; or
- (ii) Eliminated against the gross carrying amount of the asset and the net amount restated to the revalued amount of the asset.

#### **Amortisation**

All intangible assets with a finite useful life, are amortised on a straight-line basis over the individual asset's useful life from the time the asset is held ready for use.

The residual value of intangible assets is considered to be zero and the useful life and amortisation method are reviewed at the end of each financial year.

Amortisation is included within depreciation in the Statement of Comprehensive Income and in Note 10(a).

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**11. LEASES**

**(a) Right-of-Use Assets**

Movement in the balance of each class of right-of-use asset between the beginning and the end of the current financial year.

	Note	Right-of-use assets - plant and equipment \$	Right-of-use assets Total \$
Balance at 1 July 2020		69,910	69,910
Gains/(losses) from sale and leaseback transactions		32,961	32,961
Depreciation		(45,355)	(45,355)
Balance at 30 June 2021		57,516	57,516
Additions		118,751	118,751
Depreciation	10(a)	(46,974)	(46,974)
Balance at 30 June 2022		129,293	129,293

The following amounts were recognised in the statement of comprehensive income during the period in respect of leases where the entity is the lessee:

		2022 Actual \$	2021 Actual \$
Depreciation on right-of-use assets	10(a)	(46,974)	(45,355)
Interest expense on lease liabilities	27(c)	(1,340)	(1,209)
Low-value asset lease payments recognised as expense		0	(952)
<b>Total amount recognised in the statement of comprehensive income</b>		<b>(48,314)</b>	<b>(47,516)</b>
Total cash outflow from leases		(47,868)	(46,579)

**(b) Lease Liabilities**

Current		52,519	21,192
Non-current		76,290	36,471
	27(c)	128,809	57,663

**Secured liabilities and assets pledged as security**

Lease liabilities are effectively secured, as the rights to the leased assets recognised in the financial statements revert to the lessor in the event of default.

**SIGNIFICANT ACCOUNTING POLICIES**

**Leases**

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is, or contains, a lease if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration.

At the commencement date, a right-of-use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts that are classified as short-term leases (i.e. a lease with a term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

Details of individual lease liabilities required by regulations are provided at Note 27(c).

**Right-of-use assets - valuation measurement**

Right-of-use assets are measured at cost. This means that all right-of-use assets (other than vested improvements) under zero cost concessionary leases are measured at zero cost (i.e. not included in the Statement of Financial Position). The exception is vested improvements on concessionary land leases such as roads, buildings or other infrastructure which are reported at fair value.

Refer to Note 10 under revaluation for details on the significant accounting policies applying to vested improvements.

**Right-of-use assets - depreciation**

Right-of-use assets are depreciated over the lease term or useful life of the underlying asset, whichever is the shorter. Where a lease transfers ownership of the underlying asset, or the cost of the right-of-use asset reflects that the Shire anticipates to exercise a purchase option, the specific asset is amortised over the useful life of the underlying asset.

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**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**12. TRADE AND OTHER PAYABLES**

**Current**

Sundry creditors	
Prepaid rates	
Accrued payroll liabilities	
ATO liabilities	
Bonds and deposits held	
Accrued expenses	
Staff salary sacrifice	
Accrued interest on long term borrowings	

2022	2021
\$	\$
281,755	743,889
480,427	418,261
100,693	113,949
28	0
353,638	276,835
369,565	234,136
6,568	6,568
1,441	1,711
1,594,115	1,795,349

**SIGNIFICANT ACCOUNTING POLICIES**

**Financial liabilities**

Financial liabilities are initially recognised at fair value when the Shire becomes a party to the contractual provisions of the instrument.

Non-derivative financial liabilities (excluding financial guarantees) are subsequently measured at amortised cost.

Financial liabilities are derecognised where the related obligations are discharged, cancelled or expired. The difference between the carrying amount of the financial liability extinguished or transferred to another party and the fair value of the consideration paid, including the transfer of non-cash assets or liabilities assumed, is recognised in profit or loss.

**Trade and other payables**

Trade and other payables represent liabilities for goods and services provided to the Shire prior to the end of the financial year that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services.

The amounts are unsecured, are recognised as a current liability and are usually paid within 30 days of recognition. The carrying amounts of trade and other payables are considered to be the same as their fair values, due to their short-term nature.

**Prepaid rates**

Prepaid rates are, until the taxable event has occurred (start of the next financial year), refundable at the request of the ratepayer. Rates received in advance are initially recognised as a financial liability. When the taxable event occurs, the financial liability is extinguished and the Shire recognises revenue for the prepaid rates that have not been refunded.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**13. OTHER LIABILITIES**

**Current**

Contract liabilities  
Capital grant/contributions liabilities

**Reconciliation of changes in contract liabilities**

Opening balance  
Additions  
Revenue from contracts with customers included as a contract liability at the start of the period

The Shire expects to satisfy the performance obligations from contracts with customers unsatisfied at the end of the reporting period to be satisfied within the next 12 months.

**Reconciliation of changes in capital grant/contribution liabilities**

Opening balance  
Additions  
Revenue from capital grant/contributions held as a liability at the start of the period

	2022	2021
	\$	\$
Contract liabilities	970,581	1,247,360
Capital grant/contributions liabilities	1,781,023	1,853,315
	2,751,604	3,100,675
Opening balance	1,247,360	1,223,801
Additions	970,581	23,559
Revenue from contracts with customers included as a contract liability at the start of the period	(1,247,360)	0
	970,581	1,247,360
Opening balance	1,853,315	223,433
Additions	1,781,023	1,629,882
Revenue from capital grant/contributions held as a liability at the start of the period	(1,853,315)	0
	1,781,023	1,853,315

Performance obligations in relation to capital grant/contribution liabilities are satisfied as project milestones are met or completion of construction or acquisition of the asset.

**SIGNIFICANT ACCOUNTING POLICIES**

**Contract liabilities**

Contract liabilities represent the Shire's obligation to transfer goods or services to a customer for which the Shire has received consideration from the customer.

Contract liabilities represent obligations which are not yet satisfied. Contract liabilities are recognised as revenue when the performance obligations in the contract are satisfied.

**Capital grant/contribution liabilities**

Capital grant/contribution liabilities represent the Shire's obligations to construct recognisable non-financial assets to identified specifications to be controlled the Shire which are yet to be satisfied. Capital grant/contribution liabilities are recognised as revenue when the obligations in the contract are satisfied.

Non-current capital grant/contribution liabilities fair values are based on discounted cash flows of expected cashflows to satisfy the obligations using a current borrowing rate. They are classified as level 3 fair values in the fair value hierarchy (see Note 23(i)) due to the unobservable inputs, including own credit risk.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**14. BORROWINGS**

	Note	2022			2021		
		Current	Non-current	Total	Current	Non-current	Total
<b>Secured</b>		\$	\$	\$	\$	\$	\$
Debentures		202,996	1,332,746	1,535,742	207,048	1,535,742	1,742,790
<b>Total secured borrowings</b>	27(a)	202,996	1,332,746	1,535,742	207,048	1,535,742	1,742,790

**Secured liabilities and assets pledged as security**

Debentures, bank overdrafts and bank loans are secured by a floating charge over the assets of the SHIRE OF COLLIE. Other loans relate to transferred receivables. Refer to Note 5.

The SHIRE OF COLLIE has complied with the financial covenants of its borrowing facilities during the 2022 and 2021 years.

**SIGNIFICANT ACCOUNTING POLICIES**

**Borrowing costs**

Borrowing costs are recognised as an expense when incurred except where they are directly attributable to the acquisition, construction or production of a qualifying asset. Where this is the case, they are capitalised as part of the cost of the particular asset until such time as the asset is substantially ready for its intended use or sale.

Fair values of borrowings are not materially different to their carrying amounts, since the interest payable on those borrowings is either close to current market rates or the borrowings are of a short term nature.

Borrowings fair values are based on discounted cash flows using a current borrowing rate. They are classified as level 3 fair values in the fair value hierarchy (see Note 23(i)) due to the unobservable inputs, including own credit risk.

**Risk**

Information regarding exposure to risk can be found at Note 21.

Details of individual borrowings required by regulations are provided at Note 27(a).

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**15. EMPLOYEE RELATED PROVISIONS**

**Employee Related Provisions**

**Current provisions**

**Employee benefit provisions**

Annual Leave

Long Service Leave

**Non-current provisions**

Long Service Leave

	2022	2021
	\$	\$
Annual Leave	499,324	542,858
Long Service Leave	397,574	415,853
	896,898	958,711
Long Service Leave	62,400	145,758
	62,400	145,758
	959,298	1,104,469

Provision is made for benefits accruing to employees in respect of wages and salaries, annual leave and long service leave and associated on costs for services rendered up to the reporting date and recorded as an expense during the period the services are delivered.

Annual leave liabilities are classified as current, as there is no unconditional right to defer settlement for at least 12 months after the end of the reporting period. Assessments indicate that actual settlement of the liabilities is expected to occur as follows:

**Amounts are expected to be settled on the following basis:**

Less than 12 months after the reporting date

More than 12 months from reporting date

Note	2022	2021
	\$	\$
Less than 12 months after the reporting date	499,324	542,858
More than 12 months from reporting date	459,974	561,611
	959,298	1,104,469

Expected reimbursements of employee related provisions from other WA local governments included within other receivables

5

0

0

**SIGNIFICANT ACCOUNTING POLICIES**

**Employee benefits**

The Shire's obligations for employees' annual leave, long service leave and other employee leave entitlements are recognised as employee related provisions in the Statement of Financial Position.

**Short-term employee benefits**

Provision is made for the Shire's obligations for short-term employee benefits. Short-term employee benefits are benefits (other than termination benefits) that are expected to be settled wholly before 12 months after the end of the annual reporting period in which the employees render the related service, including wages, salaries and sick leave. Short-term employee benefits are measured at the (undiscounted) amounts expected to be paid when the obligation is settled.

The Shire's obligations for short-term employee benefits such as wages, salaries and sick leave are recognised as a part of current trade and other payables in the statement of financial position.

**Other long-term employee benefits**

Long-term employee benefits provisions are measured at the present value of the expected future payments to be made to employees. Expected future payments incorporate anticipated future wage and salary levels, durations of service and employee departures and are discounted at rates determined by reference to market yields at the end of the reporting period on government bonds that have maturity dates that approximate the terms of the obligations. Any remeasurements for changes in assumptions of obligations for other long-term employee benefits are recognised in profit or loss in the periods in which the changes occur.

The Shire's obligations for long-term employee benefits are presented as non-current provisions in its statement of financial position, except where the Shire does not have an unconditional right to defer settlement for at least 12 months after the end of the reporting period, in which case the obligations are presented as current provisions.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**16 REVALUATION SURPLUS**

	2022 Opening Balance	2022 Revaluation Increment	2022 Revaluation (Decrement)	Total Movement on Revaluation	2022 Closing Balance	2021 Opening Balance	2021 Revaluation Increment	2021 Revaluation (Decrement)	Total Movement on Revaluation	2021 Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Revaluation surplus - Land and buildings	17,331,528	0	(930,000)	(930,000)	16,401,528	17,331,528	0	0	0	17,331,528
Revaluation surplus - Buildings - specialised	0	1,898,036	0	1,898,036	1,898,036	0	0	0	0	0
Revaluation surplus - Furniture and equipment	85,189	0	0	0	85,189	85,189	0	0	0	85,189
Revaluation surplus - Plant and equipment	1,069,680	0	0	0	1,069,680	1,069,680	0	0	0	1,069,680
Revaluation surplus - Infrastructure - roads	92,426,069	1,954,775	0	1,954,775	94,380,844	92,426,069	0	0	0	92,426,069
Revaluation surplus - Infrastructure - pathways	444,588	3,917,719	0	3,917,719	4,362,307	444,588	0	0	0	444,588
Revaluation surplus - Infrastructure - drainage	7,672,439	6,477,983	0	6,477,983	14,150,422	7,672,439	0	0	0	7,672,439
Revaluation surplus - Infrastructure - parks and ovals	3,944,925	0	(526,917)	(526,917)	3,418,008	3,944,925	0	0	0	3,944,925
Revaluation surplus - Infrastructure - bridges	9,055,080	3,127,883	0	3,127,883	12,182,963	9,055,080	0	0	0	9,055,080
Revaluation surplus - Infrastructure - other	242,506	30,670	0	30,670	273,176	242,506	0	0	0	242,506
	132,272,004	17,407,066	(1,456,917)	15,950,149	148,222,153	132,272,004	0	0	0	132,272,004

Movements on revaluation of property, plant and equipment (including infrastructure) are not able to be reliably attributed to a program as the assets were revalued by class as provided for by AASB 116 Aus 40.1.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**17. NOTES TO THE STATEMENT OF CASH FLOWS**

**(a) Reconciliation of Cash**

For the purposes of the Statement of Cash Flows, cash includes cash and cash equivalents, net of outstanding bank overdrafts. Cash at the end of the reporting period is reconciled to the related items in the Statement of Financial Position as follows:

	Note	2022 Actual \$	2022 Budget \$	2021 Actual \$
Cash and cash equivalents	3	6,085,259	4,834,534	4,952,278

**Restrictions**

The following classes of financial assets have restrictions imposed by regulations or other externally imposed requirements which limit or direct the purpose for which the resources may be used:

- Cash and cash equivalents	3	1,889,624	1,853,628	1,313,659
		1,889,624	1,853,628	1,313,659

The restricted financial assets are a result of the following specific purposes to which the assets may be used:

Restricted reserve accounts	28	1,889,624	1,853,628	1,313,659
<b>Total restricted financial assets</b>		1,889,624	1,853,628	1,313,659

**(b) Reconciliation of Net Result to Net Cash Provided  
By Operating Activities**

Net result		(2,510,869)	6,541,582	568,123
Non-cash items:				
Depreciation/amortisation		2,720,189	2,993,152	2,920,706
(Profit)/loss on sale of asset		5,939,000	(36,400)	(180,443)
Changes in assets and liabilities:				
(Increase)/decrease in trade and other receivables		(245,071)	0	(6,924)
(Increase)/decrease in other assets		(211,090)	0	(30,176)
(Increase)/decrease in inventories		(10,684)	0	(529)
Increase/(decrease) in trade and other payables		(201,234)	0	(322,893)
Increase/(decrease) in employee related provisions		(145,171)	60,000	(6,865)
Increase/(decrease) in other liabilities		(349,071)	794,803	23,559
(Increase)/decrease in contract assets		0	0	(337,364)
Non-operating grants, subsidies and contributions		(3,834,869)	(8,182,981)	(2,027,462)
Net cash provided by/(used in) operating activities		1,151,130	2,170,156	599,730

**(c) Undrawn Borrowing Facilities**

**Credit Standby Arrangements**

Bank overdraft limit	0	0
Bank overdraft at balance date	0	0
Credit card limit	5,000	5,000
Credit card balance at balance date	(4,410)	(2,986)
<b>Total amount of credit unused</b>	590	2,014

**Loan facilities**

Loan facilities - current	202,996	207,048
Loan facilities - non-current	1,332,746	1,535,742
<b>Total facilities in use at balance date</b>	1,535,742	1,742,790

<b>Unused loan facilities at balance date</b>	0	0
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**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**18. CONTINGENT LIABILITIES**

The Shire does not have any contingent liabilities.

**19. CAPITAL COMMITMENTS**

Contracted for:  
- capital expenditure projects

2022	2021
\$	\$
53,903	208,148
53,903	208,148

**SHIRE OF COLLIE**  
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**20. RELATED PARTY TRANSACTIONS**

**(a) Elected Member Remuneration**

**Elected member- Cr Sarah Stanley**

President's annual allowance  
Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses  
Travel and accommodation expenses

**Elected member- Cr Ian Miffing**

Deputy President's annual allowance  
Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses  
Travel and accommodation expenses

**Elected member- Cr Gary Faries**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Brett Hansen**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Elysia Harverson**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Joe Italiano**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr John Kearney**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Leonie Scoffern**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Michelle Smith**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Brent White**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses

**Elected member- Cr Rebecca Woods**

Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses  
Travel and accommodation expenses

Note	2022 Actual \$	2022 Budget \$	2021 Actual \$
	4,000	4,000	4,000
	7,688	7,688	7,764
	2,211	1,545	183
	600	600	600
	491	3,500	1,702
	14,990	17,333	14,249
	1,000	1,000	1,000
	7,688	7,688	7,764
	1,827	1,545	719
	600	600	600
	491	500	380
	11,606	11,333	10,463
	7,688	7,688	7,764
	118	1,545	504
	600	600	600
	8,406	9,833	8,868
	7,688	7,688	7,764
	118	1,545	355
	600	600	600
	8,406	9,833	8,719
	7,688	7,688	7,764
	118	1,545	177
	600	600	600
	8,406	9,833	8,541
	7,688	7,688	7,764
	118	1,545	177
	600	600	600
	8,406	9,833	8,541
	7,688	7,688	7,764
	118	1,545	355
	600	600	600
	8,406	9,833	8,719
	7,688	7,688	7,764
	118	1,545	132
	600	600	600
	8,406	9,833	8,496
	7,688	7,688	7,764
	118	1,545	0
	600	600	600
	8,406	9,833	8,364
	7,688	7,688	7,764
	118	1,545	355
	600	600	600
	8,406	9,833	8,719
	7,688	7,688	7,764
	1,297	1,545	177
	600	600	600
	491		
	10,076	9,833	8,541
	103,920	117,163	102,220

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**20. RELATED PARTY TRANSACTIONS**

Fees, expenses and allowances to be paid or reimbursed to elected council members.

President's annual allowance  
Deputy President's annual allowance  
Meeting attendance fees  
Other expenses  
Annual allowance for ICT expenses  
Travel and accommodation expenses

	2022 Actual	2022 Budget	2021 Actual
	\$	\$	\$
	4,000	4,000	4,000
	1,000	1,000	1,000
	84,568	84,568	85,404
	6,279	16,995	3,134
	6,600	6,600	6,600
	1,473	4,000	2,082
20(b)	103,920	117,163	102,220

**(b) Key Management Personnel (KMP) Compensation**

The total of compensation paid to KMP of the Shire during the year are as follows:

Short-term employee benefits  
Post-employment benefits  
Employee - other long-term benefits  
Council member costs

	2022 Actual	2021 Actual
	\$	\$
	558,891	521,675
	56,123	67,194
	85,056	53,665
20(a)	103,920	102,220
	803,990	744,754

*Short-term employee benefits*

These amounts include all salary and fringe benefits awarded to KMP except for details in respect to fees and benefits paid to council members which may be separately found in the table above.

*Post-employment benefits*

These amounts are the current-year's cost of the Shire's superannuation contributions made during the year.

*Other long-term benefits*

These amounts represent annual leave and long service leave entitlements accruing during the year.

*Council member costs*

These amounts represent payments of member fees, expenses, allowances and reimbursements during the year.

**(c) Transactions with related parties**

Transactions between related parties and the Shire are on normal commercial terms and conditions, no more favourable than those available to other parties, unless otherwise stated.

No outstanding balances or provisions for doubtful debts or guarantees exist in relation to related parties at year end.

In addition to KMP compensation above the following transactions occurred with related parties:

Purchase of goods and services  
Payment of Council member costs

	2022 Actual	2021 Actual
	\$	\$
	35,684	37,680
	103,920	102,220

**(d) Related Parties**

**The Shire's main related parties are as follows:**

*i. Key management personnel*

Any person(s) having authority and responsibility for planning, directing and controlling the activities of the entity, directly or indirectly, including any council member, are considered key management personnel.

*ii. Other Related Parties*

An associate person of KMP was employed by the Shire under normal employment terms and conditions.

Any entity that is controlled by or over which KMP, or close family members of KMP, have authority and responsibility for planning, directing and controlling the activity of the entity, directly or indirectly, are considered related parties in relation to the Shire.

*iii. Entities subject to significant influence by the Shire*

An entity that has the power to participate in the financial and operating policy decisions of an entity, but does not have control over those policies, is an entity which holds significant influence. Significant influence may be gained by share ownership, statute or agreement.

**SHIRE OF COLLIE**  
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**21. FINANCIAL RISK MANAGEMENT**

This note explains the Shire's exposure to financial risks and how these risks could affect the Shire's future financial performance.

<b>Risk</b>	<b>Exposure arising from</b>	<b>Measurement</b>	<b>Management</b>
<b>Market risk - interest rates</b>	Long term borrowings at variable rates	Sensitivity analysis	Utilise fixed interest rate borrowings
<b>Credit risk</b>	Cash and cash equivalents, trade receivables, financial assets and debt investments	Aging analysis Credit analysis	Diversification of bank deposits, credit limits. Investment policy
<b>Liquidity risk</b>	Borrowings and other liabilities	Rolling cash flow forecasts	Availability of committed credit lines and borrowing facilities

The Shire does not engage in transactions expressed in foreign currencies and is therefore not subject to foreign currency risk.

Financial risk management is carried out by the finance area under policies approved by the Council. The finance area identifies, evaluates and manages financial risks in close co-operation with the operating divisions. Council have approved the overall risk management policy and provide policies on specific areas such as investment policy.

**(a) Interest rate risk**

**Cash and cash equivalents**

The Shire's main interest rate risk arises from cash and cash equivalents with variable interest rates, which exposes the Shire to cash flow interest rate risk. Short term overdraft facilities also have variable interest rates however these are repaid within 12 months, reducing the risk level to minimal.

Excess cash and cash equivalents are invested in fixed interest rate term deposits which do not expose the Shire to cash flow interest rate risk. Cash and cash equivalents required for working capital are held in variable interest rate accounts and non-interest bearing accounts. Carrying amounts of cash and cash equivalents at the 30 June and the weighted average interest rate across all cash and cash equivalents, term deposits, and Treasury bonds held disclosed as financial assets at amortised cost are reflected in the table below.

	<b>Weighted Average Interest Rate</b>	<b>Carrying Amounts</b>	<b>Fixed Interest Rate</b>	<b>Variable Interest Rate</b>	<b>Non Interest Bearing</b>
	<b>%</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>
<b>2022</b>					
Cash and cash equivalents	0.00%	6,085,259	0	6,085,259	0
<b>2021</b>					
Cash and cash equivalents	0.01%	4,952,278	0	4,952,278	0

**Sensitivity**

Profit or loss is sensitive to higher/lower interest income from cash and cash equivalents as a result of changes in interest rates.

Impact of a 1% movement in interest rates on profit and loss and equity\*

<b>2022</b>	<b>2021</b>
<b>\$</b>	<b>\$</b>
60,853	49,523

\* Holding all other variables constant

**Borrowings**

Borrowings are subject to interest rate risk - the risk that movements in interest rates could adversely affect funding costs. The Shire manages this risk by borrowing long term and fixing the interest rate to the situation considered the most advantageous at the time of negotiation. The Shire does not consider there to be any interest rate risk in relation to borrowings. Details of interest rates applicable to each borrowing may be found at Note 27(a).

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**21. FINANCIAL RISK MANAGEMENT (Continued)**

**(b) Credit risk**

**Trade and Other Receivables**

The Shire's major receivables comprise rates annual charges and user fees and charges. The major risk associated with these receivables is credit risk – the risk that the debts may not be repaid. The Shire manages this risk by monitoring outstanding debt and employing debt recovery policies. It also encourages ratepayers to pay rates by the due date through incentives.

Credit risk on rates and annual charges is minimised by the ability of the Shire to recover these debts as a secured charge over the land, that is, the land can be sold to recover the debt. The Shire is able to charge interest on overdue rates and annual charges at higher than market rates, which further encourages payment.

The level of outstanding receivables is reported to Council monthly and benchmarks are set and monitored for acceptable collection performance.

The Shire applies the AASB 9 simplified approach to measuring expected credit losses using a lifetime expected loss allowance for all trade receivables. To measure the expected credit losses, rates receivable are separated from other trade receivables due to the difference in payment terms and security for rates receivable.

The expected loss rates are based on the payment profiles of rates and fees and charges over a period of 36 months before 1 July 2021 or 1 July 2022 respectively and the corresponding historical losses experienced within this period. Historical credit loss rates are adjusted to reflect current and forward-looking information on macroeconomic factors such as the ability of ratepayers and residents to settle the receivables. Housing prices and unemployment rates have been identified as the most relevant factor in repayment rates, and accordingly adjustments are made to the expected credit loss rate based on these factors.

The loss allowance as at 30 June 2022 and 30 June 2021 for rates receivable was determined as follows:

	Less than 1 year past due	More than 1 year past due	More than 2 years past due	More than 3 years past due	Total	Note
<b>30 June 2022</b>						
Rates receivable						
Expected credit loss	0%	0%	0%	0%		
Gross carrying amount	31,218	782,537	324,613	446,661	1,585,030	
Loss allowance	0	0	0	0	0	5
<b>30 June 2021</b>						
Rates receivable						
Expected credit loss	0%	0%	0%	0%		
Gross carrying amount	282,211	333,456	231,419	615,703	1,462,789	
Loss allowance	0	0	0	0	0	5

The loss allowance as at 30 June 2022 and 30 June 2021 was determined as follows for trade receivables.

	Less than 30 days past due	More than 30 days past due	More than 60 days past due	More than 90 days past due	Total	
<b>30 June 2022</b>						
Trade and other receivables						
Expected credit loss	0%	0%	0%	0%	0%	
Gross carrying amount	164,108	3,376	1,184	98,963	267,630	
Loss allowance	82	2	0	40	124	5
<b>30 June 2021</b>						
Trade and other receivables						
Expected credit loss	0%	0%	0%	36%		
Gross carrying amount	37,333	4,169	4,045	116,888	162,435	
Loss allowance	0	0	0	42,607	42,607	5

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**21. FINANCIAL RISK MANAGEMENT (Continued)**

**(b) Credit risk**

The loss allowances for trade receivables and contract assets as at 30 June reconcile to the opening loss allowances as follows:

	Rates receivable		Trade and other receivables		Contract Assets	
	2022 Actual	2021 Actual	2022 Actual	2021 Actual	2022 Actual	2021 Actual
	\$	\$	\$	\$	\$	\$
Opening loss allowance as at 1 July	0	0	42,607	0	0	0
Unused amount reversed	0	0	295	42,607	0	0
Closing loss allowance at 30 June	0	0	42,902	42,607	0	0

Trade receivables and contract assets are written off where there is no reasonable expectation of recovery. Indicators that there is no reasonable expectation of recovery include, amongst others, the failure of a debtor to engage in a repayment plan with the Shire, and a failure to make contractual payments for a period of greater than 120 days past due.

Impairment losses on trade receivables and contract assets are presented as net impairment losses within operating profit. Subsequent recoveries of amounts previously written off are credited against the same line item.

**Contract Assets**

The Shire's contract assets represent work completed, which have not been invoiced at year end. This is due to the Shire not having met all the performance obligations in the contract which give an unconditional right to receive consideration. The Shire applies the simplified approach to measure expected credit losses which uses a lifetime expected loss allowance for all contract assets. To measure the expected credit losses, contract assets have been grouped based on shared credit risk characteristics and the days past due. Contract assets have substantially the same risk characteristics as the trade receivables for the same types of contracts. The Shire has therefore concluded that the expected loss rates for trade receivables are a reasonable approximation of the loss rates for the contract assets.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**21. FINANCIAL RISK MANAGEMENT (Continued)**

**(c) Liquidity risk**

**Payables and borrowings**

Payables and borrowings are both subject to liquidity risk – that is the risk that insufficient funds may be on hand to meet payment obligations as and when they fall due. The Shire manages this risk by monitoring its cash flow requirements and liquidity levels and maintaining an adequate cash buffer. Payment terms can be extended and overdraft facilities drawn upon if required and disclosed in Note 17(c).

The contractual undiscounted cash flows of the Shire's payables and borrowings are set out in the liquidity table below. Balances due within 12 months equal their carrying balances, as the impact of discounting is not significant.

	<b>Due within 1 year</b>	<b>Due between 1 &amp; 5 years</b>	<b>Due after 5 years</b>	<b>Total contractual cash flows</b>	<b>Carrying values</b>
	<b>\$</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>	<b>\$</b>
<b><u>2022</u></b>					
Trade and other payables	1,594,115	0	0	1,594,115	1,594,115
Borrowings	202,995	781,225	551,522	1,535,742	1,535,742
Lease liabilities	52,878	80,976	0	133,854	128,809
	<u>1,849,988</u>	<u>862,201</u>	<u>551,522</u>	<u>3,263,711</u>	<u>3,258,666</u>
<b><u>2021</u></b>					
Trade and other payables	1,795,349	0	0	1,795,349	1,795,349
Borrowings	207,049	604,821	930,921	1,742,791	1,742,790
Lease liabilities	21,192	36,561	0	57,753	57,663
	<u>2,023,590</u>	<u>641,382</u>	<u>930,921</u>	<u>3,595,893</u>	<u>3,595,802</u>

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**22. EVENTS OCCURRING AFTER THE END OF THE REPORTING PERIOD**

There were no events occurring after balance date.



**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**23. OTHER SIGNIFICANT ACCOUNTING POLICIES**

**a) Goods and services tax (GST)**

Revenues, expenses and assets are recognised net of the amount of GST, except where the amount of GST incurred is not recoverable from the Australian Taxation Office (ATO).

Receivables and payables are stated inclusive of GST receivable or payable. The net amount of GST recoverable from, or payable to, the ATO is included with receivables or payables in the statement of financial position.

Cash flows are presented on a gross basis. The GST components of cash flows arising from investing or financing activities which are recoverable from, or payable to, the ATO are presented as operating cash flows.

**b) Current and non-current classification**

The asset or liability is classified as current if it is expected to be settled within the next 12 months, being the Shire's operational cycle. In the case of liabilities where the Shire does not have the unconditional right to defer settlement beyond 12 months, such as vested long service leave, the liability is classified as current even if not expected to be settled within the next 12 months. Inventories held for trading are classified as current or non-current based on the Shire's intentions to release for sale.

**c) Rounding off figures**

All figures shown in this annual financial report, other than a rate in the dollar, are rounded to the nearest dollar. Amounts are presented in Australian Dollars.

**d) Comparative figures**

Where required, comparative figures have been adjusted to conform with changes in presentation for the current financial year.

When the Shire applies an accounting policy retrospectively, makes a retrospective restatement or reclassifies items in its financial statements that has a material effect on the statement of financial position, an additional (third) Statement of Financial Position as at the beginning of the preceding period in addition to the minimum comparative financial statements is presented.

**e) Budget comparative figures**

Unless otherwise stated, the budget comparative figures shown in this annual financial report relate to the original budget estimate for the relevant item of disclosure.

**f) Superannuation**

The Shire contributes to a number of Superannuation Funds on behalf of employees. All funds to which the Shire contributes are defined contribution plans.

**g) Fair value of assets and liabilities**

Fair value is the price that the Shire would receive to sell the asset or would have to pay to transfer a liability, in an orderly (i.e. unforced) transaction between independent, knowledgeable and willing market participants at the measurement date.

As fair value is a market-based measure, the closest equivalent observable market pricing information is used to determine fair value. Adjustments to market values may be made having regard to the characteristics of the specific asset or liability. The fair values of assets that are not traded in an active market are determined using one or more valuation techniques. These valuation techniques maximise, to the extent possible, the use of observable market data.

To the extent possible, market information is extracted from either the principal market for the asset or liability (i.e. the market with the greatest volume and level of activity for the asset or liability) or, in the absence of such a market, the most advantageous market available to the entity at the end of the reporting period (i.e. the market that maximises the receipts from the sale of the asset after taking into account transaction costs and transport costs).

For non-financial assets, the fair value measurement also takes into account a market participant's ability to use the asset in its highest and best use or to sell it to another market participant that would use the asset in its highest and best use.

**h) Interest earnings**

Interest income is calculated by applying the effective interest rate to the gross carrying amount of a financial asset measured at amortised cost except for financial assets that subsequently become credit-impaired. For credit-impaired financial assets the effective interest rate is applied to the net carrying amount of the financial asset (after deduction of the loss allowance).

**i) Fair value hierarchy**

AASB 13 requires the disclosure of fair value information by level of the fair value hierarchy, which categorises fair value measurement into one of three possible levels based on the lowest level that an input that is significant to the measurement can be categorised into as follows:

**Level 1**

Measurements based on quoted prices (unadjusted) in active markets for identical assets or liabilities that the entity can access at the measurement date.

**Level 2**

Measurements based on inputs other than quoted prices included in Level 1 that are observable for the asset or liability, either directly or indirectly.

**Level 3**

Measurements based on unobservable inputs for the asset or liability.

The fair values of assets and liabilities that are not traded in an active market are determined using one or more valuation techniques. These valuation techniques maximise, to the extent possible, the use of observable market data. If all significant inputs required to measure fair value are observable, the asset or liability is included in Level 2. If one or more significant inputs are not based on observable market data, the asset or liability is included in Level 3.

**Valuation techniques**

The Shire selects a valuation technique that is appropriate in the circumstances and for which sufficient data is available to measure fair value. The availability of sufficient and relevant data primarily depends on the specific characteristics of the asset or liability being measured. The valuation techniques selected by the Shire are consistent with one or more of the following valuation approaches:

**Market approach**

Valuation techniques that use prices and other relevant information generated by market transactions for identical or similar assets or liabilities.

**Income approach**

Valuation techniques that convert estimated future cash flows or income and expenses into a single discounted present value.

**Cost approach**

Valuation techniques that reflect the current replacement cost of the service capacity of an asset.

Each valuation technique requires inputs that reflect the assumptions that buyers and sellers would use when pricing the asset or liability, including assumptions about risks. When selecting a valuation technique, the Shire gives priority to those techniques that maximise the use of observable inputs and minimise the use of unobservable inputs. Inputs that are developed using market data (such as publicly available information on actual transactions) and reflect the assumptions that buyers and sellers would generally use when pricing the asset or liability are considered observable, whereas inputs for which market data is not available and therefore are developed using the best information available about such assumptions are considered unobservable.

**j) Impairment of assets**

In accordance with Australian Accounting Standards the Shire's cash generating non-specialised assets, other than inventories, are assessed at each reporting date to determine whether there is any indication they may be impaired.

Where such an indication exists, an impairment test is carried out on the asset by comparing the recoverable amount of the asset, being the higher of the asset's fair value less costs to sell and value in use, to the asset's carrying amount.

Any excess of the asset's carrying amount over its recoverable amount is recognised immediately in profit or loss, unless the asset is carried at a revalued amount in accordance with another Standard (e.g. AASB 116) whereby any impairment loss of a revalued asset is treated as a revaluation decrease in accordance with that other Standard.

For non-cash generating specialised assets that are measured under the revaluation model, such as roads, drains, public buildings and the like, no annual assessment of impairment is required. Rather AASB 116.31 applies and revaluations need only be made with sufficient regularity to ensure the carrying value does not differ materially from that which would be determined using fair value at the end of the reporting period.

**k) Initial application of accounting standards**

During the current year, no new or revised Australian Accounting Standards and Interpretations were compiled, became mandatory and were applicable to its operations.

**New accounting standards for application in future years**

The following new accounting standards will have application to local government in future years

- AASB 2020-1 Amendments to Australian Accounting Standards - Classification of Liabilities as Current or Non-current
- AASB 2020-3 Amendments to Australian Accounting Standards - Annual Improvements 2018-2020 and Other Amendments
- AASB 2021-2 Amendments to Australian Accounting Standards - Disclosure of Accounting Policies or Definition of Accounting Estimates
- AASB 2021-7 Amendments to Australian Accounting Standards – Effective Date of Amendments to AASB 10 and AASB 128 and Editorial Corrections

It is not expected these standards will have an impact on the financial report.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**24. FUNCTION AND ACTIVITY**

**(a) Service objectives and descriptions**

Shire operations as disclosed in this financial report encompass the following service orientated functions and activities.

Objective	Description
<b>GOVERNANCE</b>	Provision of financial, administration and compliance services to the Shire. The costs and revenues associated with this function are those associated with the governing of the Shire. The financial and administration services have been allocated to other functions, recognising that these services are attributable to a range of Shire functions.
<b>GENERAL PURPOSE FUNDING</b>	This function records the revenues raised and expenditures incurred resultant from the levying of land rates and grants received from the State Government through the Local Government Grants Commission. These grants relate to both local roads and untied grant funds.
<b>LAW, ORDER, PUBLIC SAFETY</b>	The Shire is committed to providing excellent service in the provision of animal and bushfire control. The Shire has two full time rangers to service the animal control for Collie, while our community has seven active Bushfire Brigades which the Shire has a proven dedication to assisting.
<b>HEALTH</b>	The Shire places an emphasis on proactive health services within our community. The Shire's Health Officer has implemented many new strategies, such as the State Government food safe program, which encourages local food handling businesses to meet compliance standards set and display this fact on their premises.
<b>EDUCATION AND WELFARE</b>	The Shire assists in the building maintenance of the Collie Margaretta Wilson Centre, which provides services to a range of residents in our community from the aged, youth and disadvantaged.
<b>HOUSING</b>	The provision and maintenance of Shire owned property.
<b>COMMUNITY AMENITIES</b>	Comprised of the Shire's waste management, planning and environmental functions. In recent years, major focuses include the river revitalisation and waste pickup contracts
<b>RECREATION AND CULTURE</b>	This function incorporates activities such as library services, public swimming pool, recreational facilities, parks and gardens.
<b>TRANSPORT</b>	This function covers the area of road constructions and maintenance. The Shire has utilised software package known as ROMAN, which is widely used in the Local Government sector. This package takes the guess work out of deciding which roads should be included on the Annual Construction Program
<b>ECONOMIC SERVICES</b>	This function of the Shire provides for statutory building services as well as tourism services.
<b>OTHER PROPERTY AND SERVICES</b>	This function covers the cost of engineering and plant administration. These costs are fully allocated throughout the various schedules as overheads on Shire works.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**24. FUNCTION AND ACTIVITY (Continued)**

**(b) Income and expenses**

	<b>2022 Actual</b>	<b>2022 Budget</b>	<b>2021 Actual</b>
	<b>\$</b>	<b>\$</b>	<b>\$</b>
<b>Income excluding grants, subsidies and contributions</b>			
Governance	64,967	20,100	518,599
General purpose funding	6,752,636	6,684,000	6,344,356
Law, order, public safety	88,499	119,700	107,170
Health	14,736	20,700	13,872
Housing	1,897	4,500	4,343
Community amenities	1,909,670	1,800,574	1,599,614
Recreation and culture	220,570	221,355	221,310
Economic services	86,614	45,150	73,184
Other property and services	76,276	71,500	132,203
	9,215,865	8,987,579	9,014,651
<b>Grants, subsidies and contributions</b>			
Governance	82,513	50,000	124,700
General purpose funding	2,617,913	3,119,553	2,376,639
Law, order, public safety	713,528	437,795	330,068
Housing	2,421	0	10,228
Community amenities	1,349,969	1,440,106	1,083,409
Recreation and culture	67,794	1,616,545	494,751
Transport	2,849,382	4,421,048	800,482
Economic services	98,685	696,401	72,874
Other property and services	35,070	44,000	41,869
	7,817,275	11,825,448	5,335,020
<b>Total Income</b>	17,033,140	20,813,027	14,349,671
<b>Expenses</b>			
Governance	(1,548,434)	(433,536)	(581,232)
General purpose funding	(211,861)	(152,949)	(124,371)
Law, order, public safety	(785,683)	(1,082,885)	(869,566)
Health	(234,300)	(256,702)	(276,262)
Education and welfare	(79,964)	(99,424)	(106,612)
Housing	(5,504)	(8,518)	(6,377)
Community amenities	(4,073,594)	(4,253,014)	(3,676,250)
Recreation and culture	(3,842,111)	(3,558,192)	(3,360,365)
Transport	(8,278,283)	(3,498,515)	(3,438,653)
Economic services	(1,043,196)	(785,709)	(746,019)
Other property and services	558,921	(142,001)	(595,841)
<b>Total expenses</b>	(19,544,009)	(14,271,445)	(13,781,548)
<b>Net result for the period</b>	(2,510,869)	6,541,582	568,123

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**24. FUNCTION AND ACTIVITY (Continued)**

**(c) Fees and Charges**

	<b>2022 Actual</b>	<b>2022 Budget</b>	<b>2021 Actual</b>
	<b>\$</b>	<b>\$</b>	<b>\$</b>
Governance	40	12,100	27,908
General purpose funding	158,690	100,000	49,906
Law, order, public safety	88,499	107,500	107,171
Health	14,736	11,000	13,872
Housing	1,897	4,500	4,343
Community amenities	1,909,670	1,800,574	1,598,204
Recreation and culture	219,382	218,612	220,535
Economic services	86,614	45,150	73,184
Other property and services	20,260	0	7,053
	<b>2,499,788</b>	<b>2,299,436</b>	<b>2,102,176</b>

**(d) Total Assets**

	<b>2022</b>	<b>2021</b>
	<b>\$</b>	<b>\$</b>
Governance	1,970,913	2,336,588
General purpose funding	8,262,690	6,878,842
Law, order, public safety	2,479,720	1,933,659
Health	7,920	10,560
Education and welfare	3,289,170	3,179,594
Community amenities	12,934,591	5,817,294
Recreation and culture	10,143,520	9,965,673
Transport	153,378,615	149,380,219
Other property and services	2,646,489	3,003,297
	<b>195,113,628</b>	<b>182,505,726</b>

SHIRE OF COLLIE  
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT  
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25. RATING INFORMATION

(a) General Rates

RATE TYPE Rate Description	Basis of valuation	Rate in \$	Number of Properties	2021/22 Actual Rateable Value *	2021/22 Actual Rate Revenue	2021/22 Actual Total Revenue	2021/22 Budget Rate Revenue	2021/22 Budget Total Revenue	2020/21 Actual Total Revenue
GRV - Developed	Gross rental valuation	0.09898	2,233	39,956,092	3,986,218	3,986,218	3,954,854	3,954,854	3,747,168
GRV - Vacant	Gross rental valuation	0.09898	12	351,586	34,801	34,801	34,801	34,801	24,655
Unimproved	Unimproved valuation	0.00591	264	80,386,879	475,408	475,408	475,408	475,408	569,680
Interim & Back Rates					8,009	8,009	27,000	27,000	33,806
<b>Sub-Total</b>			2,509	120,694,557	4,504,436	4,504,436	4,492,063	4,492,063	4,375,309
<b>Minimum payment</b>		<b>Minimum \$</b>							
GRV - Developed	Gross rental valuation	1,014	1,531	14,018,460	1,552,434	1,552,434	1,552,434	1,552,434	1,488,950
GRV - Vacant	Gross rental valuation	854	194	428,954	165,676	165,676	165,676	165,676	162,583
Unimproved	Unimproved valuation	854	315	20,557,022	269,010	269,010	269,010	269,010	177,289
<b>Sub-Total</b>			2,040	35,004,436	1,987,120	1,987,120	1,987,120	1,987,120	1,828,822
			4,549	155,698,993	6,491,556	6,491,556	6,479,183	6,479,183	6,204,131
Rates written off					(6,237)	(6,237)	(10,000)	(10,000)	(31,234)
<b>Total amount raised from general rates</b>						6,485,319		6,469,183	6,172,897

\* Rateable value is based on the value of properties at the time the rate is raised.

(b) Rates (excluding general rates)

Ex-gratia Rates

Dampier Bunbury Pipeline	0	0	854	854	817	817	817
<b>Sub-Total</b>	0	0	854	854	817	817	817

Total amount raised from rates (excluding general rates)

854 817 817

(c) Total Rates

6,486,173 6,470,000 6,173,714

The entire balance of rates revenue has been recognised at a point in time in accordance with AASB 1058 *Income for not-for-profit entities*.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**25. RATING INFORMATION (Continued)**

**(d) Waivers or Concessions**

	Type	Waiver/ Concession	Discount %	Discount \$	2022 Actual \$	2022 Budget \$	2021 Actual \$	Reasons for the Waiver or Concession
A987-Ngalang Boodja Aboriginal Corporation	Rate	Waiver	100.00%	2,934	2,934	2,934	2,806	Charitable Organisation
A4295, A5219, A5833 & A5838 -Alliance Housing	Rate	Waiver	100.00%	4,499	4,499	4,499	4,027	Charitable Organisation
A3977- RSL Collie	Rate	Waiver	100.00%	1,014	1,014	1,014	970	Community Benefit
A3990-Country Women's Association	Rate	Waiver	100.00%	1,014	1,014	1,014	970	Community Benefit
A4337 &A5321- Riverview Residence	Rate	Waiver	100.00%	44,574	44,574	44,574	42,630	Community Benefit
A4779-North Collie Hall	Rate	Waiver	100.00%	1,014	1,014	1,014	970	Community Benefit
A150-Collie Pioneer Lodge	Rate	Waiver	100.00%	1,014	1,014	1,014	970	Community Benefit
A5043-Collie Italian Club	Rate	Waiver	100.00%	9,032	9,032	9,032	8,638	Community Benefit
A995-Energy West Hall	Rate	Waiver	100.00%	2,265	2,265	2,265	2,166	Community Benefit
A4813-Red Cross Shop	Rate	Waiver	100.00%	1,750	1,750	1,750	1,674	Community Benefit
					69,110	69,110	65,821	
Total discounts/concessions (Note 25)					69,110	69,110	65,821	

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**25. RATING INFORMATION (Continued)**

**(d) Interest Charges & Instalments**

<b>Instalment Options</b>	<b>Date Due</b>	<b>Instalment Plan Admin Charge</b>	<b>Instalment Plan Interest Rate</b>	<b>Unpaid Rates Interest Rate</b>
		<b>\$</b>	<b>%</b>	<b>%</b>
<b>Option One</b>				
Single full payment	30 August 2021	N/A	N/A	7.00%
<b>Option Two</b>				
First instalment	30 August 2021	0	5.00%	7.00%
Second instalment	1 November 2021	6	5.00%	7.00%
Third instalment	10 January 2022	6	5.00%	7.00%
Fourth instalment	14 March 2022	6	5.00%	7.00%
		<b>2022 Actual</b>	<b>2022 Budget</b>	<b>2021 Actual</b>
		<b>\$</b>	<b>\$</b>	<b>\$</b>
Interest on unpaid rates		89,212	85,000	107,814
Interest on instalment plan		15,543	25,000	9,513
Charges on instalment plan		15,451	25,000	14,335
		120,206	135,000	131,662

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
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**26. RATE SETTING STATEMENT INFORMATION**

		2021/22 Budget	2020/21
	(30 June 2022)	(30 June 2022)	(30 June 2021)
Note	Carried Forward)	Carried Forward)	Carried Forward
	\$	\$	\$
<b>(a) Non-cash amounts excluded from operating activities</b>			
The following non-cash revenue or expenditure has been excluded from amounts attributable to operating activities within the Rate Setting Statement in accordance with <i>Financial Management Regulation 32</i> .			
<b>Adjustments to operating activities</b>			
Less: Profit on asset disposals	10(b) (64,927)	(36,400)	(262,276)
Add: Loss on disposal of assets	10(b) 6,003,927	0	81,833
Add: Depreciation	10(a) 2,720,189	2,993,152	2,920,706
Non-cash movements in non-current assets and liabilities:			
Financial assets at amortised cost	5,000		
Pensioner deferred rates	(59,641)		(45,955)
Employee benefit provisions	(83,358)	60,000	98,817
<b>Non-cash amounts excluded from operating activities</b>	<b>8,521,190</b>	<b>3,016,752</b>	<b>2,793,125</b>
<b>(b) Surplus/(deficit) after imposition of general rates</b>			
The following current assets and liabilities have been excluded from the net current assets used in the Rate Setting Statement in accordance with <i>Financial Management Regulation 32</i> to agree to the surplus/(deficit) after imposition of general rates.			
<b>Adjustments to net current assets</b>			
Less: Reserve accounts	28 (1,889,624)	(1,853,628)	(1,313,659)
Less: Financial assets at amortised cost - self supporting loans	4(a) (8,920)	(17,342)	(17,342)
Less: Financial assets at amortised cost - advance to community group	(5,000)	0	(5,000)
Less: Financial assets at fair value through other comprehensive income	0	0	(87,586)
Add: Current liabilities not expected to be cleared at end of year			
- Current portion of borrowings	14 202,996	202,996	207,048
- Current portion of lease liabilities	11(b) 52,519	52,519	21,192
- Employee benefit provisions	830,244	0	912,828
<b>Total adjustments to net current assets</b>	<b>(817,785)</b>	<b>(1,615,455)</b>	<b>(282,519)</b>
<b>Net current assets used in the Rate Setting Statement</b>			
Total current assets	8,688,029	6,358,179	7,146,597
Less: Total current liabilities	(5,498,132)	(4,738,757)	(6,082,975)
Less: Total adjustments to net current assets	(817,785)	(1,615,455)	(282,519)
<b>Net current assets used in the Rate Setting Statement</b>	<b>2,372,112</b>	<b>3,967</b>	<b>781,105</b>



**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**27. BORROWING AND LEASE LIABILITIES**

**(a) Borrowings**

Purpose	Note	Actual						Budget				
		Principal at 1 July 2020	New Loans During 2020-21	Principal Repayments During 2020-21	Principal at 30 June 2021	New Loans During 2021-22	Principal Repayments During 2021-22	Principal at 30 June 2022	Principal at 1 July 2021	New Loans During 2021-22	Principal Repayments During 2021-22	Principal at 30 June 2022
		\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
<b>Loan 124</b> Server Upgrade		0	70,000	0	70,000	0	(13,860)	56,140	70,000	0	(13,860)	56,140
<b>Loan 118</b> Throssell Street Truck Bay & Caravan Park Facilities		71,685	0	(8,020)	63,665	0	(8,272)	55,393	63,665	0	(8,272)	55,393
<b>Loan 119</b> Transfer Station Weighbridge modifications Irrigation audit & bore development strategy Open space strategy Wall stabilisation at Roche Park Visitor Centre rear exit		126,288	0	(12,962)	113,326	0	(13,218)	100,108	113,325	0	(14,104)	99,221
<b>Loan 121</b> Construction of Venn Street River Stop		230,000	0	(21,722)	208,278	0	(21,996)	186,282	208,278	0	(21,997)	186,281
<b>Loan 122</b> Building Capital Works		0	305,285	(14,583)	290,702	0	(29,375)	261,327	305,285	0	(29,376)	275,909
<b>Loan 123</b> Solar Panels: Depot, Roche Park & Library		0	90,000	(8,899)	81,101	0	(17,864)	63,237	90,000	0	(17,864)	72,136
<b>Loan 120</b> Roche Park: Court 3 floor		105,000	0	(9,790)	95,210	0	(9,941)	85,269	95,210	0	(9,942)	85,268
<b>Loan 117</b> Depot Relocation		866,563	0	(72,316)	794,247	0	(75,180)	719,067	794,247	0	(75,179)	719,068
<b>Total</b>		1,399,536	465,285	(148,292)	1,716,529	0	(189,706)	1,526,822	1,740,010	0	(190,594)	1,549,416
<b>Self Supporting Loans</b>												
<b>Loan 115</b> Collie Race Club		6,404	0	(6,404)	0	0	0	0	0	0	0	0
<b>Loan 116</b> Coalfields Hockey Council		42,962	0	(16,700)	26,262	0	(17,342)	8,920	41,748	0	(17,342)	24,406
<b>Total Self Supporting Loans</b>		49,366	0	(23,104)	26,262	0	(17,342)	8,920	41,748	0	(17,342)	24,406
<b>Total Borrowings</b>	14	1,448,902	465,285	(171,396)	1,742,791	0	(207,048)	1,535,742	1,781,758	0	(207,936)	1,573,822

\* WA Treasury Corporation

Self supporting loans are financed by payments from third parties. These are shown in Note 4 as other financial assets at amortised cost.  
All other loan repayments were financed by general purpose revenue.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**27. BORROWING AND LEASE LIABILITIES (Continued)**

**Borrowing Interest Repayments**

Purpose	Note	Function and activity	Loan Number	Institution	Interest Rate	Actual for year ending 30 June 2022	Budget for year ending 30 June 2022	Actual for year ending 30 June 2021
						\$	\$	\$
<b>Loan 124</b> Server Upgrade		Governance	124	WA Treasury Corporation	0.50%	(759)	(414)	(205)
<b>Loan 118</b> Throssell Street Truck Bay & Caravan Park Facilities		Community amenities	118	WA Treasury Corporation	3.14%	(2,349)	(2,422)	(2,657)
<b>Loan 119</b> Transfer Station Weighbridge modifications Irrigation audit & bore development strategy Open space strategy Wall stabilisation at Roche Park Visitor Centre rear exit		Community amenities	119	WA Treasury Corporation	1.97%	(2,923)	(2,662)	(3,269)
<b>Loan 121</b> Construction of Venn Street River Stop		Community amenities	121	WA Treasury Corporation	1.26%	(3,958)	(4,163)	(4,386)
<b>Loan 122</b> Building Capital Works		Community amenities	122	WA Treasury Corporation	0.95%	(4,682)	(2,918)	(2,619)
<b>Loan 123</b> Solar Panels: Depot, Roche Park & Library		Community amenities	123	WA Treasury Corporation	0.05%	(916)	(447)	(567)
<b>Loan 120</b> Roche Park: Court 3 floor		Recreation and culture	122	WA Treasury Corporation	1.54%	(2,065)	(1,702)	(2,285)
<b>Loan 117</b> Depot Relocation		Transport	117	WA Treasury Corporation	3.96%	(36,007)	(36,517)	(39,207)
<b>Total</b>						(53,659)	(51,245)	(55,195)
<b>Self Supporting Loans Interest Repayments</b>								
<b>Loan 115</b> Collie Race Club		Recreation and culture	115	WA Treasury Corporation	5.98%	0	(645)	(325)
<b>Loan 116</b> Coalfields Hockey Council		Recreation and culture	116	WA Treasury Corporation	3.85%	(1,039)	(1,169)	(1,782)
<b>Total Self Supporting Loans Interest Repayments</b>						(1,039)	(1,814)	(2,107)
<b>Total Interest Repayments</b>	2(b)					(54,698)	(53,059)	(57,302)

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**27. BORROWING AND LEASE LIABILITIES (Continued)**

**(b) New Borrowings - 2021/22**

There were no new borrowing during the 2021/22 financial year

**(c) Lease Liabilities**

Purpose	Note	Actual						Budget				
		Principal at 1 July 2020	New Leases During 2020-21	Principal Repayments During 2020-21	Principal at 30 June 2021	New Leases During 2021-22	Principal Repayments During 2021-22	Principal at 30 June 2022	Principal at 1 July 2021	New Leases During 2021-22	Principal Repayments During 2021-22	Principal at 30 June 2022
		\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
Lease 2 Admin Photocopier		5,976	(3,925)	(2,051)	0	0	0	0	0	0	0	0
Lease 5 Admin Plotter		7,200	390	(4,352)	3,238	4,490	(4,425)	3,303	7,200	0	(4,446)	2,754
Lease 6 Computers		13,104	3,607	(13,331)	3,380	7,980	(11,360)	0	13,104	0	(10,164)	2,940
Lease 1 Admin Photocopier		0	29,927	(2,925)	27,002		(5,866)	21,136	5,976	0	(5,866)	110
Lease 9 CESM Vehicle		15,552	(2,270)	(13,282)	0	14,470	(10,208)	4,262	7,776	8,320	(16,096)	0
Lease 10 CESM Pod		23,218	(1,130)	(5,234)	16,854	(485)	(5,345)	11,024	11,609	0	(5,808)	5,801
Lease 7 Roche Park Photocopier		1,212	3,897	(1,160)	3,949	0	(1,186)	2,763	0	1,186	(1,186)	0
Lease 3 Library Photocopier		2,436	(1,600)	(836)	0	0	0	0	0	0	0	0
Lease 4 Library Photocopier		0	3,886	(960)	2,926	0	(1,290)	1,636	2,436	0	(1,290)	1,146
Lease 8 Depot Photocopier		1,212	340	(1,238)	314	(105)	(209)	0	1,313	0	(1,259)	54
Lease 11 Computers		0	0	0	0	81,444	(6,639)	74,805	0	0	0	0
Lease 12 Depot Copier		0	0	0	0	9,880	0	9,880	0	0	0	0
Total Lease Liabilities	11(b)	69,910	33,122	(45,369)	57,663	117,674	(46,528)	128,809	49,414	9,506	(46,115)	12,805

SHIRE OF COLLIE  
NOTES TO AND FORMING PART OF THE FINANCIAL REPORT  
FOR THE YEAR ENDED 30 JUNE 2022

27. BORROWING AND LEASE LIABILITIES (Continued)

Lease Interest Repayments

Purpose	Note	Function and activity	Lease Number	Institution	Interest Rate	Actual for year ending 30 June 2022	Budget for year ending 30 June 2022	Actual for year ending 30 June 2021	Lease Term
						\$	\$	\$	
<b>Lease 2</b>									
Admin Photocopier		Governance	2	DLL Financial	2.20%	0	0	(9)	60
<b>Lease 5</b>									
Admin Plotter		Governance	5	SOS Finance	2.20%	(51)	(156)	(124)	60
<b>Lease 6</b>									
Computers		Governance	6	BOQ Finance	2.20%	(73)	(459)	(232)	15
<b>Lease 1</b>									
Admin Photocopier		Governance	1	3E Advantage	1.30%	(314)	(204)	(165)	60
<b>Lease 9</b>									
CESM Vehicle		Law, order, public safety	9	SG Fleet	2.20%	(66)	(272)	(131)	36
<b>Lease 10</b>									
CESM Pod		Law, order, public safety	10	SG Fleet	2.20%	(283)	(106)	(393)	72
<b>Lease 7</b>									
Roche Park Photocopier		Recreation and culture	7	DLL Financial	2.20%	(74)	0	(100)	60
<b>Lease 3</b>									
Library Photocopier		Recreation and culture	3	DLL Financial	2.20%	0	0	(4)	36
<b>Lease 4</b>									
Library Photocopier		Recreation and culture	2	3E Advantage	1.30%	(30)	(84)	(30)	36
<b>Lease 8</b>									
Depot Photocopier		Transport	8	DLL Financial	2.20%	(1)	(48)	(22)	60
<b>Lease 11</b>									
Computers		Governance	11	BOQ Finance	2.30%	(448)	0	0	36
<b>Lease 12</b>									
Depot Copier		Transport	12	3E Advantage	4.00%	0	0	0	60
<b>Total Interest Repayments</b>	2(b)					(1,340)	(1,329)	(1,210)	

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**28. RESERVE ACCOUNTS**

	2022 Actual Opening Balance	2022 Actual Transfer to	2022 Actual Transfer (from)	2022 Actual Closing Balance	2022 Budget Opening Balance	2022 Budget Transfer to	2022 Budget Transfer (from)	2022 Budget Closing Balance	2021 Actual Opening Balance	2021 Actual Transfer to	2021 Actual Transfer (from)	2021 Actual Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$	\$
<b>Restricted by legislation/agreement</b>												
(a) Public Open Space Reserve	0	0	0	0	0	0	0	0	0	0	0	0
	0	0	0	0	0	0	0	0	0	0	0	0
<b>Restricted by council</b>												
(b) Leave Reserve	74,169	236,696	(14,178)	296,687	74,133	40,000	0	114,133	34,133	65,258	(25,222)	74,169
(c) Building Reserve	550,021	272	(10,360)	539,933	550,000	0	(131,045)	418,955	0	550,021	0	550,021
(d) Plant Reserve	161,086	180,115		341,201	233,367	180,000	(88,362)	325,005	170,344	180,170	(189,428)	161,086
(e) Waste Reserve	307,408	68,442	(37,148)	338,702	229,267	68,278	0	297,545	577,585	60,512	(330,689)	307,408
(f) Revaluation Reserve	51,604	25,031	0	76,635	51,577	25,000	0	76,577	26,577	25,027	0	51,604
(g) Airstrip Reserve	2,250	1	0	2,251	2,248	0	0	2,248	2,248	2	0	2,250
(h) Election Reserve	24,705	18,014	(35,165)	7,554	24,696	18,000	(38,500)	4,196	6,696	18,009	0	24,705
(i) River Revitalisation Reserve	71,962	35	0	71,997	71,898	0	0	71,898	71,898	64	0	71,962
(j) Roche Park Reserve	2,040	0	0	2,040	2,037	0	0	2,037	2,038	2	0	2,040
(k) Legal Reserve	0	0	0	0	0	0	0	0	0	0	0	0
(l) Collie Mineworkers Swimming Pool Reserve	3	20,005	0	20,008	0	20,000	0	20,000	5,237	20,003	(25,237)	3
(m) Parks & Gardens Reserve	68,411	34,191	0	102,602	68,376	34,150	0	102,526	34,226	34,185	0	68,411
(n) Unspent Grant Reserve	0	0	0	0	0	678,508	(350,000)	328,508	0	0	0	0
(o) Unspent Loan Reserve	0	0	0	0	0	0	0	0	0	0	0	0
(p) Infrastructure Reserve	0	90,014	0	90,014	0	90,000	0	90,000	0	0	0	0
	1,313,659	672,816	(96,851)	1,889,624	1,307,599	1,153,936	(607,907)	1,853,628	930,982	953,253	(570,576)	1,313,659
	1,313,659	672,816	(96,851)	1,889,624	1,307,599	1,153,936	(607,907)	1,853,628	930,982	953,253	(570,576)	1,313,659

All reserves are supported by cash and cash equivalents and are restricted within equity as Reserves - cash backed.

## **28 RESERVE ACCOUNT (Continued)**

In accordance with Council resolutions or adopted budget in relation to each reserve account, the purpose for which the reserves are set aside and their anticipated date of use are as follows:

<b>Name of Reserve</b>	<b>Purpose of the reserve</b>
(a) Public Open Space Reserve	This reserve hold public open space funds received on or after 12 September 2020.
(b) Leave Reserve	To be used to assist in the funding of annual leave and long service leave. The reserve is not expected to be utilised within a set period as further transfers to the reserve account will be made as the funds are utilised.
(c) Building Reserve	To be used to assist in the maintenance of Council owned buildings. The reserve is not expected to be utilised within a set period as further transfers to the reserve account will be made as the funds are utilised. This reserve is designed to spread the impact on rates over future financial years.
(d) Plant Reserve	To be used to assist the plant replacement program as established in Council's Plant Replacement Program. The reserve is not expected to be utilised within a set period as further transfers to the reserve account will be made as the funds are utilised.
(e) Waste Reserve	To be used to assist Council's Waste Management Program. The reserve is not expected to be utilised within a set period as further transfers to the reserve account will be made as the funds are utilised.
(f) Revaluation Reserve	Established to minimise the impact of the Valuers General's cost associated with rates revaluation every 3 years. This reserve is to ensure the impact is spread over 3 years.
(g) Airstrip Reserve	To be used to conduct maintenance works as required at the Collie Airstrip. It is indefinite when this will be utilised.
(h) Election Reserve	Established to even out the impact of Local Government elections.
(i) River Revitalisation Reserve	Established to fund recommendations emanating from Councils Collie River Revitalisation plan.
(j) Roche Park Reserve	To be used for capital improvements at Roche Park.
(k) Legal Reserve	Established to minimise the impact of legal proceedings.
(l) Collie Mineworkers Swimming Pool Reserve	Replacement of major swimming pool infrastructure and equipment.
(m) Parks & Gardens Reserve	Replacement of major parks and gardens infrastructure and equipment.
(n) Unspent Grant Reserve	This reserve hold unspent grant funds.
(o) Unspent Loan Reserve	This reserve hold unspent loan funds.
(p) Infrastructure Reserve	To be used to assist renewal of infrastructure.

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**29. TRUST FUNDS**

Funds held at balance date which are required to be held in trust and which are not included in the financial statements are as follows:

	1 July 2021	Amounts Received	Amounts Paid	30 June 2022
	\$	\$	\$	\$
Public Open Spaces	42,198	0	0	42,198
	42,198	0	0	42,198

**SHIRE OF COLLIE**  
**NOTES TO AND FORMING PART OF THE FINANCIAL REPORT**  
**FOR THE YEAR ENDED 30 JUNE 2022**

**30. MAJOR LAND TRANSACTIONS**

The Shire did not participate in any major land transactions during the 2021/22 financial year.

**31. TRADING UNDERTAKINGS AND MAJOR TRADING UNDERTAKINGS**

The Shire did not participate in any trading undertakings or major trading undertaking during the 2021/22 financial year.





# Auditor General

## INDEPENDENT AUDITOR'S REPORT 2022 Shire of Collie

To the Councillors of the Shire of Collie

### Opinion

I have audited the financial report of the Shire of Collie (Shire) which comprises:

- the Statement of Financial Position at 30 June 2022, the Statement of Comprehensive Income by Nature or Type, Statement of Changes in Equity, and Statement of Cash Flows and Rate Setting Statement for the year then ended
- Notes comprising a summary of significant accounting policies and other explanatory information.

In my opinion, the financial report is:

- based on proper accounts and records
- presents fairly, in all material respects, the results of the operations of the Shire for the year ended 30 June 2022 and its financial position at the end of that period
- in accordance with the *Local Government Act 1995* (the Act) and, to the extent that they are not inconsistent with the Act, Australian Accounting Standards.

### Basis for opinion

I conducted my audit in accordance with Australian Auditing Standards. My responsibilities under those standards are further described in the Auditor's responsibilities for the audit of the financial report section below.

I believe that the audit evidence I have obtained is sufficient and appropriate to provide a basis for my opinion.

### Other information

The Chief Executive Officer (CEO) is responsible for the preparation and the Council for overseeing the other information. The other information is the information in the entity's annual report for the year ended 30 June 2022, but not the financial report and my auditor's report.

My opinion on the financial report does not cover the other information and, accordingly, I do not express any form of assurance conclusion thereon.

In connection with my audit of the financial report, my responsibility is to read the other information and, in doing so, consider whether the other information is materially inconsistent with the financial report or my knowledge obtained in the audit or otherwise appears to be materially misstated.

If, based on the work I have performed, I conclude that there is a material misstatement of this other information, I am required to report that fact. I did not receive the other information prior to

the date of this auditor's report. When I do receive it, I will read it and if I conclude that there is a material misstatement in this information, I am required to communicate the matter to the CEO and Council and request them to correct the misstated information. If the misstated information is not corrected, I may need to retract this auditor's report and re-issue an amended report.

## **Responsibilities of the Chief Executive Officer and Council for the financial report**

The Chief Executive Officer of the Shire is responsible for:

- preparation and fair presentation of the financial report in accordance with the requirements of the Act, the Regulations and Australian Accounting Standards
- managing internal control as required by the CEO to ensure the financial report is free from material misstatement, whether due to fraud or error.

In preparing the financial report, the CEO is responsible for:

- assessing the Shire's ability to continue as a going concern
- disclosing, as applicable, matters related to going concern
- using the going concern basis of accounting unless the State Government has made decisions affecting the continued existence of the Shire.

The Council is responsible for overseeing the Shire's financial reporting process.

## **Auditor's responsibilities for the audit of the financial report**

As required by the *Auditor General Act 2006*, my responsibility is to express an opinion on the financial report. The objectives of my audit are to obtain reasonable assurance about whether the financial report as a whole is free from material misstatement, whether due to fraud or error, and to issue an auditor's report that includes my opinion. Reasonable assurance is a high level of assurance but is not a guarantee that an audit conducted in accordance with Australian Auditing Standards will always detect a material misstatement when it exists.

Misstatements can arise from fraud or error and are considered material if, individually or in the aggregate, they could reasonably be expected to influence the economic decisions of users taken on the basis of the financial report. The risk of not detecting a material misstatement resulting from fraud is higher than for one resulting from error, as fraud may involve collusion, forgery, intentional omissions, misrepresentations or the override of internal control.

A further description of my responsibilities for the audit of the financial report is located on the Auditing and Assurance Standards Board website. This description forms part of my auditor's report and can be found at [https://www.auasb.gov.au/auditors\\_responsibilities/ar4.pdf](https://www.auasb.gov.au/auditors_responsibilities/ar4.pdf).

## **My independence and quality control relating to the report on the financial report**

I have complied with the independence requirements of the *Auditor General Act 2006* and the relevant ethical requirements relating to assurance engagements. In accordance with ASQC 1 *Quality Control for Firms that Perform Audits and Reviews of Financial Reports and Other Financial Information, and Other Assurance Engagements*, the Office of the Auditor General maintains a comprehensive system of quality control including documented policies and procedures regarding compliance with ethical requirements, professional standards and applicable legal and regulatory requirements.

## **Matters relating to the electronic publication of the audited financial report**

This auditor's report relates to the financial report of the Shire of Collie for the year ended 30 June 2022 included in the annual report on the Shire's website. The Shire's management is responsible for the integrity of the Shire's website. This audit does not provide assurance on the integrity of the Shire's website. The auditor's report refers only to the financial report. It does not provide an opinion on any other information which may have been hyperlinked to/from the annual report. If users of the financial report are concerned with the inherent risks arising from publication on a website, they are advised to contact the Shire to confirm the information contained in the website version.

Jordan Langford Smith  
Senior Director Financial Audit  
Delegate of the Auditor General for Western Australia  
Perth, Western Australia  
21 March 2023



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.1.A**





Shire of  
**Collie**

# **Omnibus Scheme Amendment No. 1**

Local Planning Scheme No. 6

Standard Amendment

Revisions and Corrections

October 2022

**PLANNING AND DEVELOPMENT ACT 2005**

**RESOLUTION TO PREPARE AMENDMENT TO LOCAL PLANNING SCHEME**

**SHIRE OF COLLIE**

**LOCAL PLANNING SCHEME NO. 6 – AMENDMENT NO. 1**

Resolved that the local government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme in accordance with the draft Omnibus Scheme Amendment No. 1 Report.

The Amendment is standard under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reason(s):

- a) The proposed amendments to the scheme map, scheme text, development requirements and land use changes are consistent with the objectives of the zones which they relate;
- b) It is consistent with the intent of the Local Planning Strategy;
- c) It is considered to have minimal impact on land in the Scheme area that is not the subject of the amendment;
- d) It does not result in any significant environmental, social, economic or governance impacts on land in the scheme area; and
- e) It is not considered a complex or basic amendment;

DATED THIS 11TH DAY OF OCTOBER 2022

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CHIEF EXECUTIVE OFFICER

## Background

The Shire of Collie Local Planning Scheme No. 6 (LPS6) was gazetted on 20 December 2021. LPS6 guides and controls how land may be used within the Shire of Collie. Application of LPS6 since gazettal has revealed a number of administrative errors in the text or the Scheme maps as well as some areas where refinement will improve the operational effectiveness of the Scheme.

The recommended changes can be addressed through the process of an omnibus amendment which combines multiple unrelated minor or administrative amendments that do not warrant separate or individual scheme amendments of their own. Combining multiple minor proposals into one omnibus amendment is an efficient and effective use of time and resources.

The proposed omnibus amendment seeks to modifying the Scheme text and maps to correct unintended typographical errors. It also introduces revisions and up-dates, in particular to the land use zoning table, identified through on-going monitoring and review to ensure that the Scheme appropriately responds to the current use of the zones as well as future uses through emerging development trends.

A total of 23 changes (19 textual and 4 mapping) are proposed for inclusion in this omnibus amendment. Collectively these proposals are considered to meet the criteria of a *standard* scheme amendment as per Clause 34, Part 5 of the *Planning and Development (Local Planning Schemes) Regulations 2015*.



## The Proposal

In summary, omnibus amendment No. 1 proposes the following modifications to LPS No.6:

1. Changes to some land use permissibility in different zones as contained within Table 4 – Zoning Table and introduce land uses for the Urban Development zone in Zoning Table.
2. Correction of formatting and topographical errors and to ensure alignment with the Local Planning Scheme Regulations.
3. Update Scheme Maps 8 & 13 to address anomalies for 3 lots reserved for Public Open Space purposes in Kelly & Bacon Streets, Collie Burn to Rural zone as privately owned and rezone Lot 7 Paull Street, Collie from Civic and Community local reserve to the Residential (R15) zone as this is also a privately owned residential lot. Amend Reserve 16938 Paull Street from Residential R15 zone to Civic and Community local reserve as this lot is reserved for church purposes.
4. Update the definition for Industry - Primary Production to the proposed Industry - Rural definition (consistent with proposed new model provisions).
5. Introduce setbacks and other general development requirements for the Urban Development zone in Schedule 1 - Zone Development Requirements.
6. Rezone Lots 2 and 51 Patstone Road from Rural to Industrial Development zone and introduce additional requirements for this land in Table 8. Remove Lot 51 Patstone Road (A2) from Table 5 - Additional Uses.
7. Modify clause 32.14 (b) to reduce the potable water tank size for dwellings where potable water is not available.

Details of each proposal are discussed below.

### Proposal 1 – Zoning Table (Scheme Text Amendment No. 1)

Several changes to Table 4 – Zoning Table in LPS6 are proposed and are presented below:

USE & DEVELOPMENT CLASS	Commercial	Mixed Use	Strategic Industry	General Industry	Light Industry	Residential	Rural	Rural Residential	Private Community Purposes	Urban Development	Industrial Development	Special Use
Abattoir	X	X	D	A	X	X	A	X	X	X	Refer to clause 18 (6)	Refer to clause 21
Agriculture - extensive	X	X	X	X	X	X	P	X	X	X		
Agriculture - intensive	X	X	X	X	X	X	P	X	X	X		
Airfield	X	X	X	A	X	X	A	X	X	X		
Amusement parlour	P	D	X	X	I	X	X	X	I	X		
Ancillary dwelling	D	D	X	X	X	P	P	P	X	P		

USE & DEVELOPMENT CLASS	Commercial	Mixed Use	Strategic Industry	General Industry	Light Industry	Residential	Rural	Rural Residential	Private Community Purposes	Urban Development	Industrial Development	Special Use
Animal establishment	X	X	X	X	A	X	D	X	X	X		
Animal husbandry - intensive	X	X	X	X	X	X	A	X	X	X		
Art gallery	P	D	X	X	X	X	I	X	I	X		
Bed and breakfast	D	D	X	X	X	A	I	D	X	D		
Betting agency	D	D	X	X	X	X	X	X	X	X		
Brewery	D	A	X	D	A	X	D	X	X	X		
Bulky goods showroom	D	D	X	X	A	X	X	X	X	X		
Camping ground	X	X	X	X	X	X	A	X	I	X		
Caravan Park	X	X	X	X	X	X	A	X	X	X		
Caretakers dwelling	X	X	X	A	D	X	D	X	D	X		
Car park	D	D	X	X	A	X	A	X	X	X		
Child care premises	D	D	X	X	X	X	X	X	X	X		
Cinema/theatre	P	A	X	X	X	X	X	X	I	X		
Civic use	P	P	X	X	X	A	X	X	A	X		
Club premises	D	A	X	X	A	X	A	X	P	X		
Commercial vehicle parking	X	X	X	P	P	X	A	X	X	X		
Community purpose	P	P	X	X	X	A	D	A	P	A		
Consulting rooms	P	P	X	X	X	X	X	X	X	X		
Convenience store	P	D	X	X	A	X	X	X	X	X		
Corrective institution	X	X	X	X	X	X	A	X	X	X		
Educational establishment	D	A	X	X	A	X	A	A	A	A		
Exhibition centre	D	D	X	X	X	X	I	X	A	X		
Family day care	D	A	X	X	X	A	D	A	X	A		
Fast food outlet	P	A	X	X	X	X	X	X	X	X		
Fuel depot	X	X	X	P	A	X	A	X	X	X		

USE & DEVELOPMENT CLASS	Commercial	Mixed Use	Strategic Industry	General Industry	Light Industry	Residential	Rural	Rural Residential	Private Community Purposes	Urban Development	Industrial Development	Special Use
Funeral parlour	D	A	X	X	D	X	X	X	D	X		
Garden centre	D	A	X	D	D	X	A	X	X	X		
Grouped dwelling	D	D	X	X	X	P	X	X	X	X		
Holiday accommodation <sup>1</sup>	D	D	X	X	X	A	D	A	X	A		
Holiday house	D	D	X	X	X	D	D	D	X	D		
Home business	P	P	X	X	X	D	D	D	X	D		
Home occupation	P	P	X	X	X	D	P	P	X	P		
Home office	P	P	X	X	X	P	P	P	X	P		
Home store	P	P	X	X	X	A	X	X	X	X		
Hospital	A	A	X	X	X	X	X	X	A	X		
Hotel	D	A	X	X	X	X	X	X	X	X		
Industry <sup>4</sup>	X	X	P	P	A	X	X	X	X	X		
Industry - cottage	D	D	X	X	D	D	D	D	D	D		
Industry - extractive	X	X	D	D	X	X	A	X	X	X		
Industry - light	D	A	D	P	P	X	X	X	X	X		
Industry – rural	X	X	X	D	D	X	D	X	X	X		
Industry - service	D	D	X	P	P	X	X	X	X	X		
Liquor store - large	D	A	X	X	X	X	X	X	X	X		
Liquor store - small	P	A	X	X	X	X	X	X	X	X		
Lunch bar	P	P	D	D	D	X	X	X	X	X		
Market	D	D	X	X	X	X	A	X	D	X		
Medical centre	P	D	X	X	X	A	X	X	X	X		
Mining operations <sup>2</sup>	X	X	D	D	X	X	A	X	X	X		
Motel	D	A	X	X	X	X	X	X	X	X		
Motor vehicle, boat or caravan sales	D	D	X	X	P	X	X	X	X	X		

USE & DEVELOPMENT CLASS	Commercial	Mixed Use	Strategic Industry	General Industry	Light Industry	Residential	Rural	Rural Residential	Private Community Purposes	Urban Development	Industrial Development	Special Use
Motor vehicle repair	D	A	X	D	P	X	X	X	X	X		
Motor vehicle wash	D	A	X	P	P	X	X	X	X	X		
Multiple dwelling	D	D	X	X	X	P	X	X	X	X		
Nightclub	A	A	X	X	X	X	X	X	A	X		
Office	P	D	I	I	I	X	X	X	X	X		
Park home park	X	X	X	X	X	A	A	X	X	X		
Place of worship	D	A	X	X	A	X	X	X	P	X		
Reception centre	D	A	X	X	X	X	A	X	A	X		
Recreation - private	P	D	X	X	A	X	A	X	D	X		
Renewable energy facility	X	X	D	D	D	X	A	X	X	X		
Repurposed dwelling	D	D	X	X	X	D	D	D	I	D		
Residential aged care facility	D	D	X	X	X	P	X	X	D	X		
Residential building	D	D	X	X	X	A	A	X	X	X		
Resource recovery centre	X	X	P	P	P	X	A	X	X	X		
Restaurant/cafe	P	D	X	X	X	X	D	X	I	X		
Restricted premises	P	A	X	X	D	X	X	X	X	X		
Retirement village	D	D	X	X	X	P	X	X	D	X		
Road house	X	X	D	A	X	X	A	X	X	X		
Rural home business	X	X	X	X	X	X	D	X	X	D		
Rural produce store	X	X	X	X	X	X	I	D	X	D		
Rural pursuit/hobby farm	X	X	X	X	X	X	P	A	X	A		
Second-hand dwelling	D	D	X	X	X	D	D	D	D	D		
Serviced apartment	D	D	X	X	X	X	X	X	X	X		
Service station	A	A	D	D	D	X	A	X	X	X		
Shop	P	P	X	X	X	X	I	X	X	X		

USE & DEVELOPMENT CLASS	Commercial	Mixed Use	Strategic Industry	General Industry	Light Industry	Residential	Rural	Rural Residential	Private Community Purposes	Urban Development	Industrial Development	Special Use
Single bed dwelling	D	D	X	X	X	D	D	D	X	D		
Single house	D	D	X	X	X	P	P	P	X	P		
Small bar	P	A	X	X	X	X	X	X	X	X		
Tavern	D	A	X	X	X	X	I	X	X	X		
Telecommunication infrastructure	A	A	P	P	P	A	D	A	A	A		
Tourist development	D	D	X	X	X	X	A	A	X	A		
Trade display	A	A	X	D	P	X	I	X	X	X		
Trade supplies	D	A	I	P	P	X	X	X	X	X		
Transport depot	X	X	D	P	P	X	X	X	X	X		
Tree farm	X	X	X	X	X	X	P	A	X	A		
Veterinary centre	D	D	X	D	D	X	A	X	X	X		
Warehouse/storage <sup>4</sup>	X	X	X	P	P	X	I	X	X	X		
Waste disposal facility	X	X	A	A	X	X	A	X	X	X		
Waste storage facility	X	X	A	A	A	X	X	X	X	X		
Winery	X	X	X	X	X	X	D	X	X	X		
Workforce accommodation <sup>3</sup>	X	X	X	X	X	X	A	X	X	X		

#### Intent of modification

Land use permissibility have been reviewed and changed to:

- allow for a more active, diverse town centre (Commercial zone);
- recognition that the Mixed Use zone in Collie remains largely residential;
- Increase the diversification of land uses in the general and strategic industry zones;
- Land Use permissibility have been included for the Urban Development zone as large land parcels within this zone are not covered by a structure plan, or if covered by a structure plan, it is silent on land uses and the existing developments and land uses for this zone is generally consistent with the rural residential zone;

- Allow for increased flexibility of local government discretion in regard to consideration and approval of land uses across the different zones; and
- The proposed land use changes are considered to be consistent with the objectives of the zones.

**Proposal 2 – typographical errors** (Scheme Text Amendment No. 2 – 14)

Table 4 – Zoning Table – Urban Development and Industrial Development columns - replace “refer to Clause 18 (7)” with “refer to Clause 18 (6)”.

Clause 24. Register of non-conforming uses (2) - formatting error second line – requires an indent.

Clause 27. State Planning Policy 3.6 to be read as part of Scheme (2) – formatting error second line – requires an indent.

Clause 27. State Planning Policy 3.6 to be read as part of Scheme (3) – formatting error second line – requires an indent.

Clause 32.7 – Storage or Dismantling of goods, equipment, plant or materials – formatting error (a) – (d) require a space after each paragraph.

Clause 32.9 Development adjoining a primary distributor road or railway – (a) formatting error – insert space after (a) and before (i).

Clause 32.18 Design review panel – formatting error – indent required for this clause heading.

Clause 33.3 Rural Residential Zone Requirements – Vegetation Protection (d) remove “Department of Biodiversity Conservation and Attractions and” instead will read “(d) the local government may liaise with the Department responsible for water and environmental regulation...”

Clause 39 (1) Terms Used – Cabin and Chalet – modify spacing to allow the “-” to not be on its own line.

Table 9 – Special Control Areas – SCA 11 – Collie Airfield – Purpose - replace “designate land surrounding the waste management facility” with “designate land surrounding the airfield”.

Table 9 – Special Control Areas – SCA 11 – Collie Airfield – Additional Provisions 1. iii - replace “impinge on operation of the waste management facility” with “impinge on operation of the airfield”.

Schedule A – Clause 61 – Development for which Development Approval Not Required – Tables 10 and 11 formatted and reworded to align with format and wording used in the regulations. Amended tables below:

Table 10

	<b>Column 1 Works</b>	<b>Column 2 Conditions</b>
22.	The erection or extension of a single house on a lot.	(a) A single house is a permitted (“P”) use. (b) The works comply with the development provisions set out in the Scheme. (c) The works or not located in a heritage protected place. (d) The works are not located in a Special Control Area under Part 5 of this Scheme.

		<p>(e) The works are not abutting an unconstructed road reserve or a lot which does not have direct frontage to a gazetted road reserve.</p> <p>(f) The works are not within 100 metres of a primary distributor road or railway reserve.</p>
23.	<p>The erection or installation of, or alterations or additions to, any of the following on the same lot as a single house or a grouped dwelling —</p> <p>(a) an ancillary dwelling;</p> <p>(b) an outbuilding;</p> <p>(c) an external fixture;</p> <p>(d) a boundary wall or fence;</p> <p>(e) a patio;</p> <p>(f) a pergola;</p> <p>(g) a verandah;</p> <p>(h) a deck;</p> <p>(i) a garage;</p> <p>(j) a carport;</p> <p>(k) a water tank;</p>	<p>(a) A single house is a permitted (“P”) use.</p> <p>(b) The works comply with the development provisions set out in the Scheme.</p> <p>(c) The works are not located in a heritage protected place.</p> <p>(d) The works are not located in a Special Control Area under Part 5 of this Scheme.</p> <p>(e) The works are not abutting an unconstructed road reserve or a lot which does not have direct frontage to a gazetted road reserve.</p> <p>(f) The works are not within 100 metres of a primary distributor road or railway reserve.</p>
24	The installation of a windmill or water tank and the construction of gully dams and soaks.	<p>(a) The works are incidental.</p> <p>(b) The works are complementary to an existing or approved agricultural use(s).</p> <p>(c) The works comply with the development provisions (including boundary setbacks) set out in the Scheme.</p>
25	Works undertaken by the local government that are wholly located on a reserve managed by the local government.	The works do not involve the clearing of native vegetation.

Table 11

	<b>Column 1 Use</b>	<b>Column 2 Zones</b>	<b>Column 3 Conditions</b>
1.	The use of local reserve managed by the local government for the provision of a service to the community	All reserves	<p>(a) The objectives of the reserve are met; and</p> <p>(b) complements the existing and predominant use of the reserve.</p>

#### Intent of modifications

To correct formatting and topographical errors and to ensure alignment with the Local Planning Scheme Regulations.

Scheme Map 13 Collie-Burn and Cardiff Townsites – Lots 136 & 137 Kelly Street and Lot 146 Bacon Street, Collie Burn. Rezone from Public Open Space local reserve to Rural zone.

### Intent of Modification

Lots 136 & 137 Kelly Street and Lot 146 Bacon Street are shown as Public Open Space reserve when they are private land holdings with residential houses on them. The correct zone for these lots is Rural.

The proposed modifications aligns the actual land use/purpose with the appropriate zone/reserve.

The following is a proposed change as a result of changes to the model provisions of LPS regulations.

Intent of modification

### Proposal 5– Urban Development Zone (Scheme Text Amendment No. 16)

ZONE	Min Lot Area (sq.m)	Min Effective Lot Frontage (m)	Max Plot Ratio	Minimum Setback			Minimum Landscaping	Building Height (m)	Other Requirements
				Front	Side	Rear			
<b>URBAN DEVELOPMENT</b>	<p>All subdivision in the Urban Development zone shall be in accordance with a Structure Plan prepared and adopted in accordance with the provisions of Part 4 of the Deemed Provisions.</p> <p>If no structure plan has been prepared or the structure plan is silent on these general development requirements, then development shall be in accordance with R10 of the Residential Design Codes and clause 26 – Modification of R-Codes.</p>								



### Intent of Modification

Structure plans, if they exist for this zone, are often silent on general development requirements. The proposal is for the requirements to meet the R10 requirements of the R-Codes due to the current use and development in this zone being more in line with the Rural Residential zone, yet not jeopardising the future of these lots to be able to be subdivided into an R10-R15 code.

**Proposal 6 - Rezone Lot 51 and Lot 2 Patstone Road** (Scheme Text Amendment No. 17 & No. 18 and Scheme Map Amendment No. 3 & No. 4)

The proposed amendment will rezone Lots 2 and 51 Patstone Road from a Rural zone to the Industrial Development zone.

This will require the following modifications to Local Planning Scheme No.6:

1. Modify Map 4 to rezone Lot 51 and Lot 2 Patstone Road from Rural to Industrial Development zone and remove the A2 - Additional Use on Lot 52;
2. Modify Table 5 – Specified additional uses for zoned land in the scheme area to remove A2 - Lot 51 Patstone Road.
3. Modify Table 8 – Additional requirements that apply to specific lots to include Lot 51 and Lot 2 Patstone Road as ASR5 (see below).

Addition of ASR5 through modification of Table 8 - Additional requirements that apply to specific lots:

No.	Description of Land	Requirement
ASR5	Lot 51 and Lot 2 Patstone Road, Collie	<p><u>Structure Planning</u></p> <p>1. Prior to any development on land zoned 'Industrial Development' a Structure Plan is to be prepared and approved, in accordance with Part 4 of the Deemed Provisions.</p> <p>2. The Structure Plan is to contain such details as, in the opinion of the local government and Western Australian Planning Commission, is required to satisfy the planning requirements for the proposed development, and shall include, but not be limited to, the following details:</p> <p>i. Identification and proposed management of any likely environmental impacts or emissions generated from the envisaged industrial development, including cumulative impacts, to ensure that these impacts are appropriately managed and contained within the Private Industrial Estate;</p> <p>ii. Proximity to, and potential impacts upon the Collie townsite;</p> <p>iii. Establishment of appropriate separation distances between light and general industrial land uses and the surrounding rural land and established dwellings.</p>

		<ul style="list-style-type: none"> <li>iv. The apportionment of land suitable for general and light industrial land uses, and typical lot sizes;</li> <li>v. The indicative lot pattern and staging to accommodate future industrial uses;</li> <li>vi. The management and protection of environmentally sensitive locations, including identification of buffers, vegetation and habitat corridors;</li> <li>vii. The provision of major infrastructure, including main drainage, power, sewerage, water supply and other key infrastructure services;</li> <li>viii. The proposed major road network and other transport and movement systems;</li> <li>ix. Bushfire protection, including consideration of hazard separation, water supply, and emergency access.</li> </ul> <p>3. The landowner/proponent is to prepare the following planning studies and procedures to accompany any Structure Plan, including, but not limited to:</p> <ul style="list-style-type: none"> <li>i. noise management;</li> <li>ii. nutrient and drainage;</li> <li>iii. utility service supply;</li> <li>iv. traffic management;</li> <li>v. bushfire management;</li> <li>vi. landscaping plan.</li> </ul> <p><u>Development - Ongoing</u></p> <p>4. The proponent will need to demonstrate to the satisfaction of the local government that:</p> <ul style="list-style-type: none"> <li>i. the proposed industrial use is compatible with the existing rural and other sensitive land uses surrounding the site and will not detrimentally impact these uses; and</li> <li>ii. the development is suitably set back, screened or otherwise treated so as not to detract from the residential amenity.</li> </ul> <p>5. All applications for development approval shall be referred to the Department responsible for water and environmental regulation for assessment unless:</p> <ul style="list-style-type: none"> <li>i. The Department responsible for water and environmental regulation has agreed that a specific class of industry will not have any additional environmental impacts in the area; or</li> <li>ii. The application is for minor or ancillary development with no significant environmental impacts.</li> </ul>
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Intent of modification

To modify Local Planning Scheme 6 to assist in the implementation of the intent communicated in the Local Planning Strategy and to enable the progression of a structure plan to guide subdivision and development of this land for light and low impact industrial uses.

**Proposal 7 – Provision of potable water (Scheme Text Amendment No. 19)**

Modify clause 32.14 (b) to reduce the potable water tank size for dwellings where reticulated potable water is not available and specify a tank size for ancillary dwellings.

Below is the proposed modified clause:

“32.14 Water supply and resource protection

(b) Where a reticulated potable water supply network is not available:

- (i) each single house shall be provided with a minimum of 120,000 litre water storage tank in addition to any requirements of an approved bushfire management plan; and
- (ii) for all other uses, including an ancillary dwelling, potable water shall be provided to the satisfaction of the local government.”

Intent of modification

The current scheme tank size is 155,000 litres which requires custom manufacturing and is considered over capacity for the requirements of a single house. The modification reduces the minimum storage size and enables ‘off the shelf’ rainwater tanks to be used.

The modification also gives clarity around a minimum storage size for potable water storage being applicable only to single houses.

## **Conclusion & Recommendations**

The omnibus amendment proposes minor changes to text and scheme maps that are a result of administrative errors when LPS6 was first introduced or as a result of reviewed application of the scheme.

The omnibus amendment also provides revision and updates to the land use table to allow the local government increased flexibility in applying its discretion to receiving and approving development applications for different land uses in the different zones. The proposed changes are still consistent with the objectives of the zones.

The rezoning of Lot 2 and Lot 51 Patstone Road from Rural zone to Industrial Development is consistent with the Local Planning Strategy and supported by a draft Structure Plan for Lot 51 including supporting documents. The owner of Lot 2 has no intention of developing the lot for industrial uses at this time.

Land uses and development requirements the Urban Development zone have also been included to allow guidance and decision making on the use and development within this zone where a structure plan does not exist or is silent on this.

All of the proposed amendments aim to improve the application of LPS6 and ensure it remains effective and up to date.





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.1.B**



***Planning & Development Act 2005***

**SHIRE OF COLLIE  
LOCAL PLANNING SCHEME NO. 6  
OMNIBUS AMENDMENT NO. 1**

**SCHEDULE OF SUBMISSIONS**

<b>No</b>	<b>NAME</b>	<b>SUBMISSION</b>	<b>RECOMMENDATION</b>	<b>SHIRE OF COLLIE COMMENTS</b>
<b>Internal (Officer) Submission</b>				
1	Katya Tripp (Shire Officer) 87 Throssell Street, Collie, WA, 6225	Recommend the land use “Tavern” remain as an A use on the Rural zone.	Supported	An error was made in the scheme amendment report in the proposed changes to the zoning table. The report showed a Tavern as currently being a D use in the Zoning Table of the scheme where it is actually an A use. Update amendment to correct this error.
<b>Government Department and Agency Submissions</b>				
2.	Water Corporation Matt Calabro Land Planning Development Services PO Box 100, Leederville WA 6902	Proposal 6 rezoning Lots 51 and 2 Patstone Road poses issues regarding wastewater as planning did not accommodate for these lots to be used for industry and upgrades to the wastewater system will be required to accept wastewater from industrial developments. Upgrades estimated at \$10-20 million. Servicing report and structure plan required to be able to adequately determine feasibility of industrial development in this location and without these it is premature to rezone the land	Noted	Based on information provided, on- site effluent disposal systems are proposed for the future development of Lot 51 Patstone Road.  Structure plan and full servicing report will be required prior to development of either lots however it is not expected that these lots will be serviced with reticulated sewer. This will result in future industrial being limited to ‘dry’ type industrial uses and limits on associated waste water disposal volumes.



No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
3.	Department of Primary Industries and Regional Development Leon van Wyk Agricultural Resource Management and Assessment Verschuer Place, Bunbury WA 6231	Recommends Tavern not changed to an I use in the Rural Zone.	Supported	Even though an I (Incidental) use is only “permitted if it is consequent on, or naturally attaching, appertaining or relating to the predominant use of the land” an A use better protects the land for rural land uses as it requires a Development Application and formal advertising. If changed to an I use the local government cannot refuse an application for development approval and can only require works to be undertaken in connection with that use to have development approval. It is recommended that Tavern use be amended to an A use in the Rural zone as proposed.
4.	Department of Fire & Emergency Services (DFES) Craig Scott Land Use Planning Emergency Services Complex 20 Stockton Bend, Cockburn Central WA 6164	<p>It is unclear from the documentation provided if the Shire of Collie has applied <i>State Planning Policy 3.7 – Planning in Bushfire Prone Areas</i> (SPP 3.7) to the rezoning of Lots 2 &amp; 51 Patstone Road.</p> <p>Exemptions from the requirements of SPP 3.7 should be applied pragmatically by the decision maker and are identified in <i>Guidelines for Planning in Bushfire Prone Areas</i> (Section 2.6).</p> <p>Should you apply SPP 3.7 then, we request the relevant</p>	Noted	<p>DFES is focused on proposals being assessed against SPP 3.7 Planning in Bushfire Prone Areas. The majority of amendments proposed are to the scheme text do not require assessment against this policy.</p> <p>Rezoning of Lots 2 &amp; 51 Patstone Road will necessitate the required Structure Plan will be forwarded to DFES, which will include a bushfire management plan and assessment against SPP 3.7.</p>

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
		information pursuant to this policy be forwarded to DFES to allow us to review and provide comment prior to the Shire's endorsement of the proposal.		
5.	Main Roads WA Paul Davies Road Corridor Planning Manager Metropolitan and Southern Regions/South West	No objection	Noted	Noted
6.	Department of Water & Environmental Regulation (DWER) Daniel Wong Planning Advice South West Region PO Box 261 Bunbury, WA 6231	<p>1. "Clause 33.3 Rural Residential Zone Requirements – Vegetation Protection (d) remove "Department of Biodiversity Conservation and Attractions and" instead will read "(d) the local government may liaise with the Department responsible for water and environmental regulation..."</p> <ul style="list-style-type: none"> <li>DWER advises that the Department of Biodiversity Conservation and Attractions (DBCA) may have an interest with regards to biodiversity matters and wetlands. As such, the following wording is recommended instead (with the green added text below):</li> </ul>	<p>1. Supported</p> <p>2. Not supported.</p> <p>3. Noted</p>	<p>1. Update amendment to reflect wording provided by DWER.</p> <p>2. The amendment has not modified the intent of the table and proposes no change to the exemptions and approval requirements for gully dams and soaks. The amendment is a tidying up of the table through formatting and editing.</p> <p>3. The structure plan required prior to development of Lot 51 Patstone Road will need to consider water management and clearing of native vegetation. This structure plan will be referred to DWER for comment prior to approval.</p>

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
		<ul style="list-style-type: none"> <li>“Clause 33.3 Rural Residential Zone Requirements – Vegetation Protection (d) remove “Department of Biodiversity Conservation and Attractions and” instead will read “(d) the local government may liaise with the Departments responsible for biodiversity, conservation, water and environmental regulation...”</li> </ul> <p>2. Item 24 of Table 10 (Schedule A – Clause 61 – Development for which Development Approval Not Required) refers to:</p> <ul style="list-style-type: none"> <li>“The installation of a windmill or water tank and the construction of gully dams and soaks”. The intent of this amendment is to remove the requirement for Development Approval for the construction of gully dams and soaks.</li> <li>DWER advises that there is a potential risk for landholders to proceed with the construction</li> </ul>		

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
		<p>works on dams/soaks without the proponent being aware of their responsibilities related to the Rights in Water and Irrigation Act 1914 – which may require DWER permits/licenses/advice.</p> <p>3.“Proposal 6 - Rezone Lot 51 and Lot 2 Patstone Road (Scheme Text Amendment No. 17 &amp; No. 18 and Scheme Map Amendment No. 3 &amp; No. 4)”</p> <ul style="list-style-type: none"> <li>• “The proposed amendment will rezone Lots 2 and 51 Patstone Road from a Rural zone to the Industrial Development zone.”</li> <li>• The Shire should note these lots are located within the Country Areas Water Supply Act 1947 (CAWS Act) gazetted Wellington Dam Catchment Area clearing-controlled land.</li> <li>• Part IIA of the Country Areas Water Supply Act 1947 and the Country Areas Water Supply (Clearing Licence) Regulations 1981 are designed to protect water</li> </ul>		

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
		<p>resources from increased salinity by reducing land clearing in the catchment.</p> <ul style="list-style-type: none"> <li>• With the intensification of the landuse, there is the potential for further clearing of native vegetation to occur – which is subject to regulation under the CAWS Act.</li> <li>• As such, any proposals that result in the clearing of native vegetation for these lots would need to be referred to DWER for comment.</li> </ul>		
7.	<p>Department of Biodiversity, Conservation and Attractions - Parks and Wildlife Cherie Kemp Land Use Planning Officer PO Box 1693 Bunbury WA 6230</p>	<p>1. Rezoning: The application refers to rezone Lots 51 and 2 from Rural to Industrial Development, although the zoning map only depicts Lot 51. Lot 2 should be included in the rezoning map, or reference to Lot 2 removed.</p> <p>2. The environmental assessment report provided only provides information and assessment of biodiversity values on Lot 51. If Lot 2 is included in the rezoning application, similar information and assessment should be provided for this lot.</p>	<p>1. Noted 2. Noted 3. Supported 4. Noted 5. Supported</p>	<p>1. Zoning Map shows Lot 2 and Lot 51 Patstone Road.</p> <p>2. Environmental assessment for Lot 51 was provided as part of an application for structure plan. Environmental assessments for Lot 2 have not been undertaken and will be required as part of the structure planning process for this lot.</p> <p>3. Updated the amendment to include the term waterway in Table 8, No. 2 vi so it reads "The management and protection of environmentally sensitive locations, including identification of buffers, <b>waterway</b>, vegetation and habitat corridors;</p>

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
		<p>3. DBCA supports the proposed scheme text that requires buffers, vegetation and habitat corridors to be identified as part of the structure plan. Streamline buffers should also be included.</p> <p>4. Roads within lots 51 and 2 should be designed to ensure there is no drainage into the adjacent forest. It is suggested that a peripheral road and perimeter fencing between the private lots and the state forest be included for bushfire purposes and to act as a development buffer to ensure development does not impact upon the State Forest.</p> <p>5. If clearing is proposed, a black cockatoo habitat tree survey should be undertaken over Lots 51 and 2.</p>		<p>Streamline buffers will be considered as part of a water management (drainage and nutrient) plan required for the structure plan.</p> <p>4. Development within a lot, including roads and drainage should not impact on land outside of the lot. This is one of the purposes of a structure plan.</p> <p>5. Update the Table 8 No. 3 in the amendment to include an additional requirement “(vii) biodiversity survey (when clearing is proposed)”</p>
8	Department of Mines, Industry Regulation and Safety Steven Batty Geological Survey and Resource Strategy Division Locked Bag 100 East Perth WA 6892	Amendment raises no significant issues with respect to mineral and petroleum resources, geothermal energy and basic raw materials.	Noted	Noted
9	Public Transport Authority Connor Kiss Infrastructure Planning and Land Services PO Box 8125	No Comment	Noted	Noted

No	NAME	SUBMISSION	RECOMMENDATION	SHIRE OF COLLIE COMMENTS
	Perth Business Centre WA 6849			
10	Planning Solutions on behalf of clients Churches, Smargiassi and Lee.	Supports the amendment to rezone Lots 2 and 51 Patstone Road to Industrial Development	Noted	Noted



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.2.A**







## **PROJECT BRIEF**

### **Car Parking Study for Collie Town Centre and Throssell Street**

#### **1 Background**

The Shire of Collie intends to develop a strategy in the vicinity of the Collie Town Centre and commercial/mixed use precincts along Throssell Street that will ensure adequate and suitable parking and associated facilities are provided both now and into the future.

To first understand issues that the community is experiencing, officers conducted a public survey between the 28 June and the 22 July 2022 on the topic of car parking in Collie in order to identify issues that may require further study or investigation.

The survey focussed on the Collie town centre and commercial/mixed use precincts along Throssell Street with the view of developing a strategy that will ensure adequate and suitable parking and associated facilities is provided both now and into the future.

The purpose of this survey was to:

- ascertain community and business perceptions of parking issues;
- identify priority issues and priority locations;
- assist defining scope of actions; and
- communicate to stakeholders the Shire's initiative to review the issue and work to improving parking in Collie.

The investigation area was divided into two distinct areas which include the town centre (north of the railway line) and the Throssell Street precinct – roughly in two sub-areas west and east of the swimming pool/Shire offices (see the Figure 1 – Investigation Areas below).

The car parking survey was advertised for public comment between the 28 June and the 22 July 2022 via a link on the website and notified via the Shire's Facebook page, and Collie Bulletin.

Officers specifically advised key stakeholders such as the Collie visitors centre and the Collie Chamber of Commerce and Industry.

A total of 277 people linked to the survey, with 113 people completing the survey (including 51 registered people and 62 anonymous) during the advertising period. A summary of the question responses is contained in Appendix 13.6.A and below. A full extract of detailed comments is contained in Appendix 13.6.B – Parking Survey Detailed Comments to Questions.

A simple 10 question (or thereabouts) survey comprising a mix of multiple choice and open text fields.



Figure 1 – Investigation Areas

## 2 Methodology

### 2.1 Initial Scoping Survey

The survey responses are summarised below:

- 91% of respondents were residents.
- 79% of respondents experience parking problems in Collie, with 65% being in Forrest Street, 61% in the town centre generally; 10% on Throssell Street east of the swimming pool, 14% west of the swimming pool up to the Collie Ridge Motel
- Beyond those results 36% did experience other parking issues in Collie.
- 74% of respondents were not in favour of parking restrictions such as timed parking, paid parking.

The detailed survey responses and comments contained in Appendix 1 and Appendix 2 suggest that there are specific parking issues that need to be addressed in Collie. Issues range from the location, size and type of parking provided (including disability bays), maintenance of car parks and lines, the need to enforce parking restrictions and to apply times parking in the town centre etc. Some respondents did not think that Collie had a parking problem.

The survey outcomes suggest that a more detailed study should be undertaken to fully identify, discuss and resolve the issues raised by Collie residents and businesses.

Whilst there may be specific and detailed parking issues to be addressed there is no need to undertake a more comprehensive modelling of parking supply and demand. It is acknowledged, however, that public realm improvements along Forrest Street and parts of Throssell Street have not been evaluated since these projects were implemented as to their success in terms of traffic movement and impact on parking.

These results informed this brief and will assist in determine resource requirements (ie budget allocation for the study).

## **2.2 Investigation areas**

The investigation area is located within the Shire of Collie Town Centre. The investigation area is divided into two distinct areas which include the town centre (north of the railway line) and the Throssell Street precinct – roughly in two sub-areas west and east of the swimming pool/Shire offices (refer Figure 1).

## **2.3 Scope**

The scope of a parking strategy could include the following terms:

### **1. Car parking**

Details of all car parking within each survey area. This information should include:

- 1.1 Details of the car parking within each area within the investigation area. This should include both on-street parking bays and private and public car parks, and cover special parking uses (taxi, disabled, long stay, long bay, dump points etc);
- 1.2 The estimated occupancy rates within these car parks and identify the periods of peak demand within each area as applicable.
- 1.3 Identify any areas within the two investigation areas where the current provision of parking appears inadequate for the demand on that area. This demand may be from residents, customers, visitors, employees of businesses etc from within or outside the investigation area.

### **2. Traffic**

Details of traffic demand and movement within the investigation area. This information should include:

- 2.1 Details of existing roads and road priority;
- 2.2 Details of any proposed changes to the road network within the investigation area;
- 2.3 Any proposed transport infrastructure that will have an impact on the investigation e.g. railway, trails, bike paths, pedestrian paths;
- 2.4 The anticipated increase in future traffic demand on the investigation area;
- 2.5 Clarification of how changes to the traffic volumes and the road network will impact the investigation area.

### **3. Development potential**

Consideration is required into the potential future parking and traffic demand within the investigation area as a result of development. Clarification is required on:

- 3.1 Any land within the investigation area that has existing development approvals;
- 3.2 Any land which has been identified to have a high traffic demand development potential;
- 3.3 Any indication of potential parking shortfalls based on development potential for individual land;
- 3.4 Any areas that are likely to be adversely impacted on in the areas of traffic or parking through the development of land within the investigation area.

### **4. Potential car parking**

To ensure the current and future parking demand within the investigation area is satisfied, it will be necessary to identify where and how car parking is able to be established. This information should address:

- 4.1 Any land within the investigation areas that has a potential to provide future car parking. This land shall include road reserves, crown land, crown land vested to the Shire and privately owned land that would be suitable for the establishment of car parking.

- 4.2 The estimated parking capacity for each of the locations identified as future car parking in point 4.1;
  - 4.3 The types parking that should be established with the investigation area. The types of car park could include long stay parking, over-night rest areas, specialty parking (eg. taxi ranks, disabled parking, long vehicle and caravan parking, coach parking etc) to address existing and future need.
5. Car parking time limits  
To provide clarification with regards to the need for, and implications of, timed parking limitations into order to maintain a 'churn' of parking bays in town centre locations.

The consultant shall undertake community engagement with key stakeholders in the preparation of the draft study.

### **3 Deliverables**

On or before the **xxx 2023**, a report that addresses all of the above items is required to be provided. This document will have addressed the following things within the specified investigation area:

- Car Parking
- Traffic
- Development potential
- Potential car parking
- Car parking time limits
- Address other related issues

Prior to the delivery of the delivery of the final document, two draft documents will be provided to the Shire for comment.

Where information to complete the investigation is held by the Shire, this information will be provided in a standard format, at no cost and within a timely manner. All requests for information are to be through the Director of Development Services.

### **4 Timeframe**

The successful respondent will be required to provide a final document to the Shire by the **xxx 2023**.

The Shire will require two (2) draft documents prior the delivery of the final document. The first draft of the document is to be provided to the Shire on or before the **xxx + 3 months**.

The second draft of the document is to be presented to the Shire on or before the **xxx + 2 months**.

The final document is to be provided to the Shire on or before the **xxx + 2 months**.



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.3.A**







Shire of  
**Collie**

Public Health Plan 2022 - 2027

*"A connected, committed, creative, and healthy community"*





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## ACKNOWLEDGEMENT OF COUNTRY

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This Acknowledgement of Country recognises the ancient and continuing connection of the Traditional Owners to the land we live and work on; and the cultural responsibilities that arise from this connection. For thousands of years, when Aboriginal and Torres Strait Islander people visited the country of others, there would be rituals of 'welcoming to country'. Today, these rituals have a national legacy in 'Welcome to Country' ceremonies, and Acknowledgment of Country.

The Shire of Collie acknowledges the Nyoongar people as the traditional custodians of this land and their deep historical and spiritual connection to country, waterways, and rivers within our region. The Shire of Collie accepts Aboriginal people as the first inhabitants of Australia. They have lived on this land for many thousands of years and are recognised as one of the oldest living populations of the world, with unique languages and spiritual relationships. We pay respect to the Nyoongar people and their Elders past, present and emerging.



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## ABOUT THIS DOCUMENT

4

This document was prepared by the Shire of Collie

### Disclaimer

All information and content in this material is provided in good faith and is based on sources believed to be reliable and accurate at the time of development. The Shire of Collie and their respective officers, employees, and consulting agents do not accept legal liability or responsibility for the material, or any consequences arising from its use.

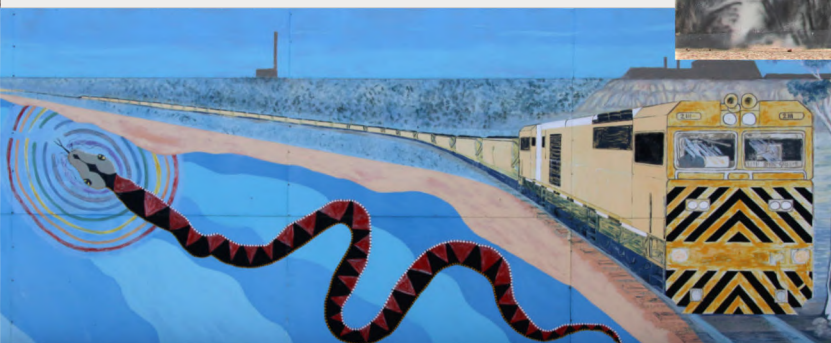
### Feedback

Any feedback related to this document should be emailed to: [colshire@collie.wa.gov.au](mailto:colshire@collie.wa.gov.au)

87 Throssell St, Collie

Postal Address  
Locked Bag 6225  
Collie WA 6225  
Ph: (08) 9734 9000

[www.collie.wa.gov.au](http://www.collie.wa.gov.au)



### Acknowledgements

The Shire of Collie would like to thank the people and organisations who contributed time and expertise to the development of the Shire of Collie Public Health Plan. The Shire would also like to thank Mark Chadwick and Barbara de la Hunty for their work on the document.

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## PRESIDENT'S FOREWORD

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Welcome to the Shire of Collie **Public Health Plan 2022-2027**. This plan builds on the commitment made in producing our inaugural plan adopted in 2015.

We also acknowledge our community is progressing well on its journey of transition towards a new economic future and an even healthier community. On this journey we have undertaken extensive research of our health status, engaged with our community on our health behaviours and needs, and coordinated across all the Shire's functions involving relevant stakeholders and community members, to commit to achieving new health goals.

Actions within the new plan have purposely aligned with new State public health priorities and by doing so are more reflective of what is required to succeed in our transition for better health outcomes. A heartfelt thanks to community members and the many local and regional stakeholders and service providers who have given up their generous time to assist us with the development of this plan.

## SHIRE COMMITMENT & VISION

**Our Strategic Community Plan makes a strong statement for Collie as a connected, committed, and creative community.**

This translates to:

*A vibrant, supportive, and safe community.*

*Strong diversified economic base driven by a range of business and employment opportunities.*

*Protected, sustainable natural environment that supports the needs and aspirations of the community.*

*Infrastructure, amenities, and development that supports the needs and aspirations of the community.*

*and*

*Good governance through an effective, efficient, and sustainable organisation.*

We anticipate that through this vision and commitment, we believe that the strategies and actions focus of this plan will also lead to even more resilient, healthier Shire of Collie residents.



Cr Sarah Stanley, Shire President



Mr Stuart Devenish, CEO

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This five-year plan is a part of the Shire's integrated planning framework and informs our Corporate Business Plan for the Shire's community to become a healthier community. The plan also supports the 5 goals contained within the Shire of Collie Strategic Community Plan, which has been consolidated into 3 Public Health Priorities, which we believe reflect the main priorities of the community:

SUPPORTED COMMUNITY

SUSTAINABLE (NATURAL AND BUILT) ENVIRONMENT

STRONG ECONOMY AND SERVICES FOR EVERYONE

These priorities also align with the 4 priority focus areas and 12 themes of "Collie's Just Transition Plan 2020" adapted with a public health focus to underpin this Plan. Priority objectives are provided in more detail later in the plan.



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## METHODOLOGY

The Shire has prepared this plan using a process that aligns with the WA Health Department Public Health Planning Guide for Local Governments, published in 2018.

The breadth of inputs comprises of a range of statistical data, local community surveys and stakeholder workshops, as well as reviewing the Shire's existing corporate plans and strategies, as illustrated in Figure 1. What this means is the Shire is being consistent in the way such plans are required to be developed, in order to meet statutory requirements as well as meeting the expectations of our community and agencies that we will work with in implementing the plan.

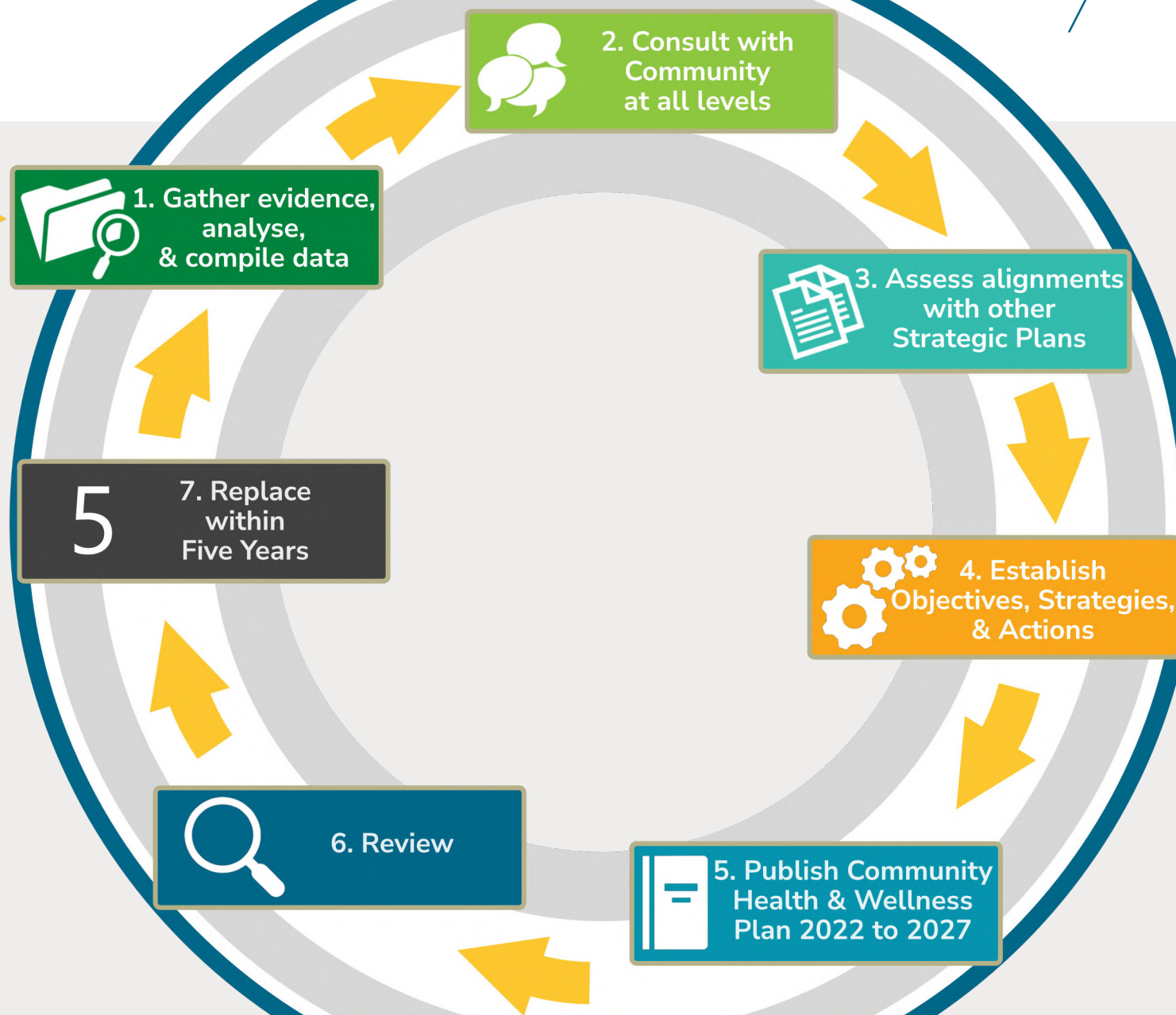


Figure 1. Methodology





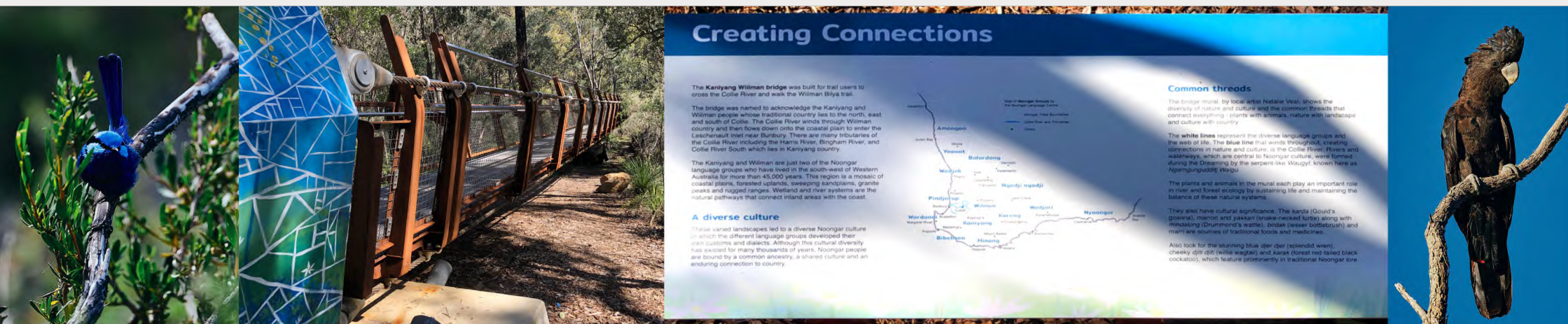
# STATE PRIORITY OBJECTIVES

8

Working collaboratively with various relevant State Government departments such as Health, Education, Communities, and Mental Health Commission ensures the Shire's efforts and resources are enhanced and are more effective in meeting the needs of our community. Importantly, it also means attention is focussed on those areas identified with greatest need. The plan references the State Public Health Plan priority objectives, and these have been represented in Figure 2 below.

Figure 2. State Public Health Plan Priority Objectives

Empowering & enabling people to live healthy lives	Providing health protection for the community	Improving Aboriginal health and wellbeing
<ol style="list-style-type: none"> <li>1. Healthy eating</li> <li>2. A more active WA</li> <li>3. Curbing the rise in overweight and obesity</li> <li>4. Making Smoking History</li> <li>5. Reducing harmful alcohol use</li> <li>6. Reduce harmful drugs use</li> <li>7. Optimise mental health</li> <li>8. Prevent injuries</li> </ol>	<ol style="list-style-type: none"> <li>1. Reduce exposure to environmental health risks</li> <li>2. Administer public health legislation</li> <li>3. Mitigate the impacts of public health emergencies</li> <li>4. Support immunisation</li> <li>5. Prevention and control of communicable diseases</li> <li>6. Promote oral health improvement</li> </ol>	<ol style="list-style-type: none"> <li>1. Promote culturally-secure initiatives and services</li> <li>2. Enhance partnerships with the Aboriginal community</li> <li>3. Continue to promote Aboriginal-controlled services</li> <li>4. Ensure programs and services are accessible and equitable</li> <li>5. Promote Aboriginal health and wellbeing</li> </ol>



## Creating Connections

The Kaniyang Wilman bridge was built for trail users to cross the Collier River and walk the Wilman Biya trail.

The bridge was named to acknowledge the Kaniyang and Wilman people whose traditional country lies to the north, east and south of Collier. The Collier River winds through Wilman country and then flows down onto the coastal plain to enter the Leishenault Inlet near Bunbury. There are many tributaries of the Collier River including the Harris River, Bingham River, and Collier River South which lies in Kaniyang country.

The Kaniyang and Wilman are just two of the Noongar language groups who have lived in the south-west of Western Australia for more than 45,000 years. This region is a mosaic of coastal plains, forested uplands, sweeping sandplains, granite peaks and rugged ranges. Wetland and river systems are the natural pathways that connect inland areas with the coast.

### A diverse culture

These varied landscapes led to a diverse Noongar culture in which the different language groups developed their own customs and dialects. Although this cultural diversity has existed for many thousands of years, Noongar people are bound by a common ancestry, a shared culture and an enduring connection to country.



### Common threads

The bridge mural, by local artist Natalie Vrai, shows the diversity of nature and culture and the common threads that connect everything - plants with animals, nature with landscape and culture with country.

The white lines represent the diverse language groups and the web of life. The blue line that winds throughout, creating connections in nature and culture, is the Collier River. Rivers and waterways, which are central to Noongar culture, were formed during the Dreaming by the serpent-like Waugyl, known here as Njampingooddy Waugyl.

The plants and animals in the mural each play an important role in river and forest ecology by sustaining life and maintaining the balance of these natural systems.

They also have cultural significance. The karda (Gould's goanna), mamon and jakkan (snake-necked turtle) along with moomung (Drummond's wallaby), bidden (weaver bird) and mami are sources of traditional foods and medicines.

Also look for the stunning blue djer djer (splendid wren), cheeky dji dji (willie wagtail) and karak (forest red-tailed black cockatoo), which feature prominently in traditional Noongar lore.



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# SHIRE PRIORITY PUBLIC HEALTH THEMES

Three Shire adapted strategic priority themes emerged from the State Public Health Plan 2019 – 2024 that align closely with the existing themes in the Shire of Collie Strategic Community Plan 2017 - 2027.<sup>1</sup> These are illustrated in *Figure 3*, below, and importantly were also confirmed by the community during the community engagement process. More detail on this is provided in the Community Engagement section of this Plan.

Similarly, the Shire is also strongly committed to developing actions that connect with the 12 themes identified in Collie's Just Transition Plan 2020 (JTP). The JTP is acknowledged as having a critical influence on public health for the Shire into the near and long term, particularly as employment and skills education play a pivotal role and are in fact, key determinants of health. The adapted JTP themes are illustrated in *Figure 4* and elaborated on later in this document in association with health determinants and public health risks.

Figure 3 – Strategic Focus Areas and Shire Functions, Shire of Collie Strategic Community Plan (2017 – 2027)

SUPPORTED COMMUNITY	SUSTAINABLE ENVIRONMENT	STRONG ECONOMY AND SERVICES FOR EVERYONE
<ul style="list-style-type: none"><li>Corporate Services</li><li>Development Services</li></ul>	<ul style="list-style-type: none"><li>Development Services</li><li>Technical Services</li></ul>	<ul style="list-style-type: none"><li>All Shire Services</li><li>External Agencies</li></ul>



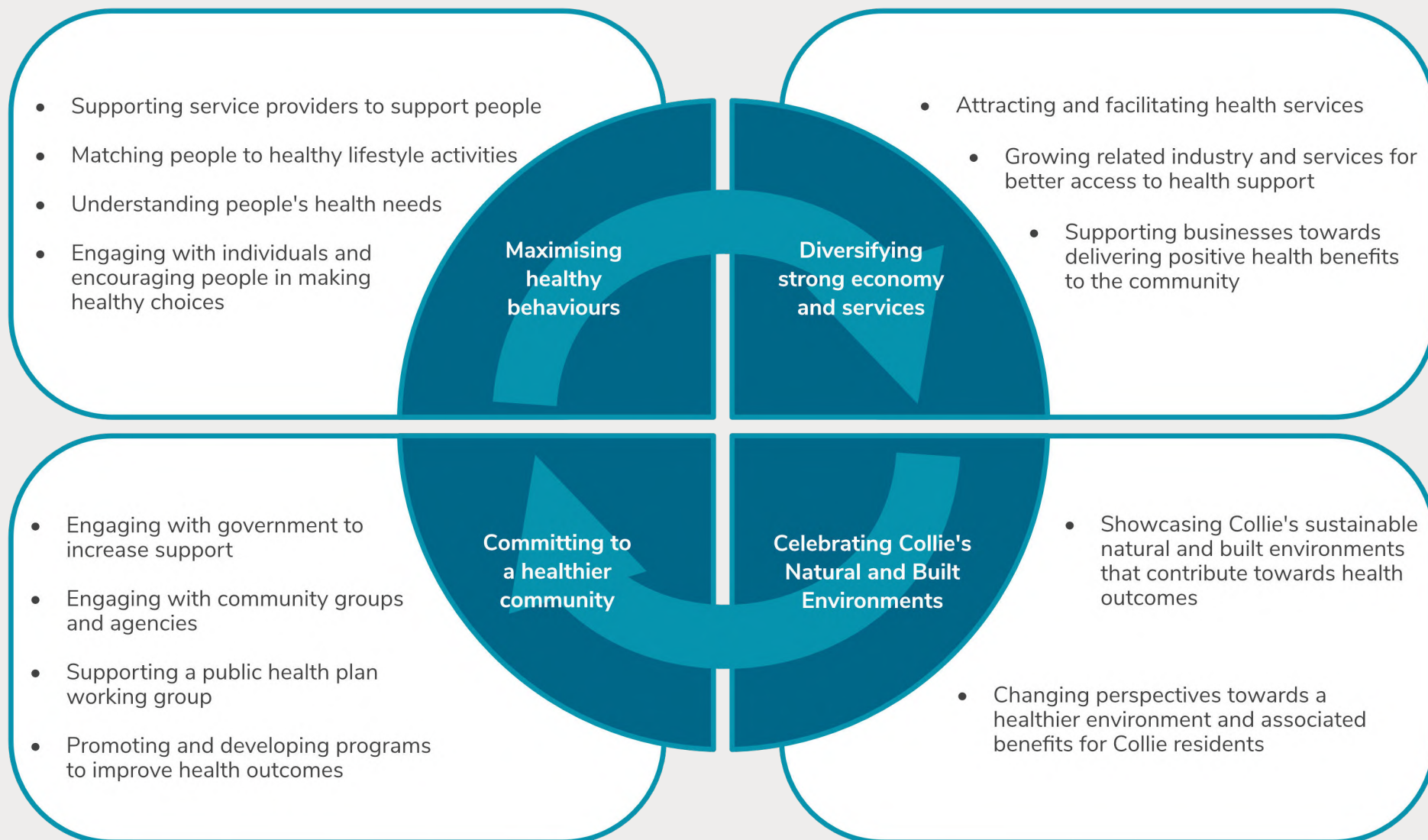
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## SHIRE OF COLLIE'S JUST TRANSITION PLAN IN ACTION

Figure 4 – Strategic Public Health Focus Areas and Themes



Source: Adapted from Collie's Just Transition Plan (2020)



# SHIRE PRIORITY HEALTH OBJECTIVES

The Shire has identified 8 key Priority Public Health Objectives required to transition to a healthier, safer, and more supported community. These 8 Objectives can be mapped against 3 simplified outcomes:

**Healthier Lifestyles** - to reduce harm resulting from health risk behaviours

**Supported Vulnerable People** - to recognise the importance of improving health for the disadvantaged

**Better Health Protection** - to address factors in the environment which can cause harm

## 1. Physical Activity (Healthier Lifestyles)

Sufficient (i.e. 150 minutes per week) physical activity has significant health benefits. It contributes to prevention and management of illness such as cardiovascular disease, cancer, and diabetes. It reduces symptoms of depression anxiety, enhances thinking and learning, healthy growth and development for young people and improves overall wellbeing.<sup>2</sup>

## 2. Healthy Eating (Healthier Lifestyles)

Eating healthy reduces the likelihood of being overweight or obese. Reduces the risk of high blood pressure, cholesterol and likelihood of diseases such as type 2 diabetes, cardiovascular disease, and some cancers.<sup>3</sup>

## 3. Mental Health and Wellbeing (Supported Vulnerable People)

Good mental health is a sense of wellbeing, confidence, and self-esteem. It enables us to fully enjoy and appreciate other people, day-to-day life and our environment<sup>3</sup>. Stresses associated with the transition from coal mining and power generation dominated employment and economy is expected to have a major widespread impact on the community.

## 4. Health protection, emergency management (Better Health Protection)

Minimising the damaging impacts and recovery from public health emergencies caused by bush fires, floods, and storm events as well as protecting the community from food poisoning, exposures to environmental and human made emission hazards, require effective controls to ensure community safety and protection from disease.

## 5. Preventing injuries, promoting safer communities (Better Health Protection)

In 2012-2016 Collie residents were hospitalised a total of 1,528 times for conditions due to injury. The top five causes were injuries due to falls, transport, assault, self-harm and burns. Maintaining safe roads, footpaths, buildings,<sup>3</sup> checking water bodies, and ensuring playgrounds are safe, are some of the ways local government can prevent injuries and avoidable death.

## 6. Aboriginal health and wellbeing (Supported Vulnerable People, Healthier Lifestyles)

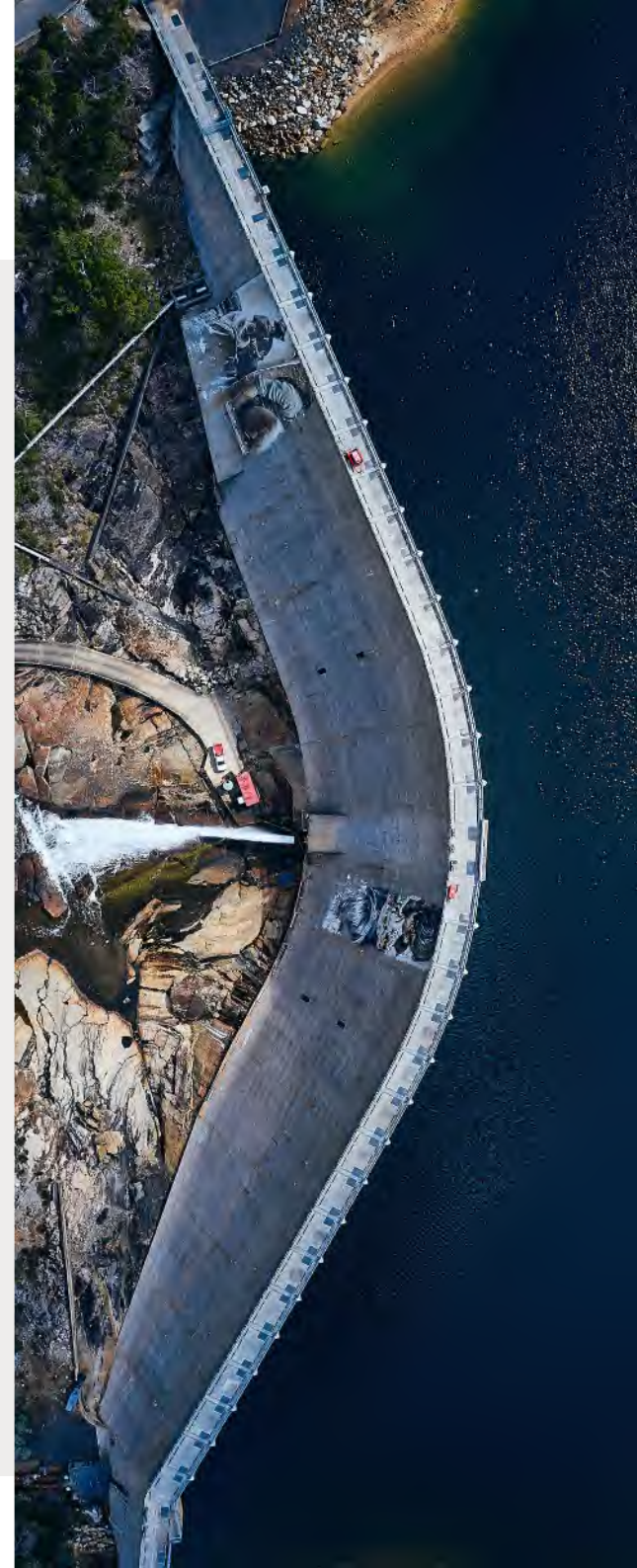
The WA Aboriginal Health and Wellbeing Framework 2015-2030 provides the strategic directions and priority areas to improve health and wellbeing of Aboriginal people in WA. A coordinated effort by local government to address reconciliation and the broader determinants of health to reduce the gaps in life expectancy and enabling healthier lives is a high priority for the Shire.

## 7. Accessible health services (Supported Vulnerable People)

Local government provides local planning for the community's services as well as building infrastructure that facilitates access to health, education, housing, and recreation. Equitable access to services essential for good public health outcomes.

## 8. Reducing Smoking, Alcohol and Drug Use (Supported Vulnerable People, Better Health Protection, Healthier Lifestyles)

Smoking and harmful alcohol and/or drug use leads to many deaths and avoidable diseases. Local governments can create safer environments and restrict access to alcohol, exposure to second hand tobacco smoke, vaping and drug use in public areas and events.<sup>3</sup>



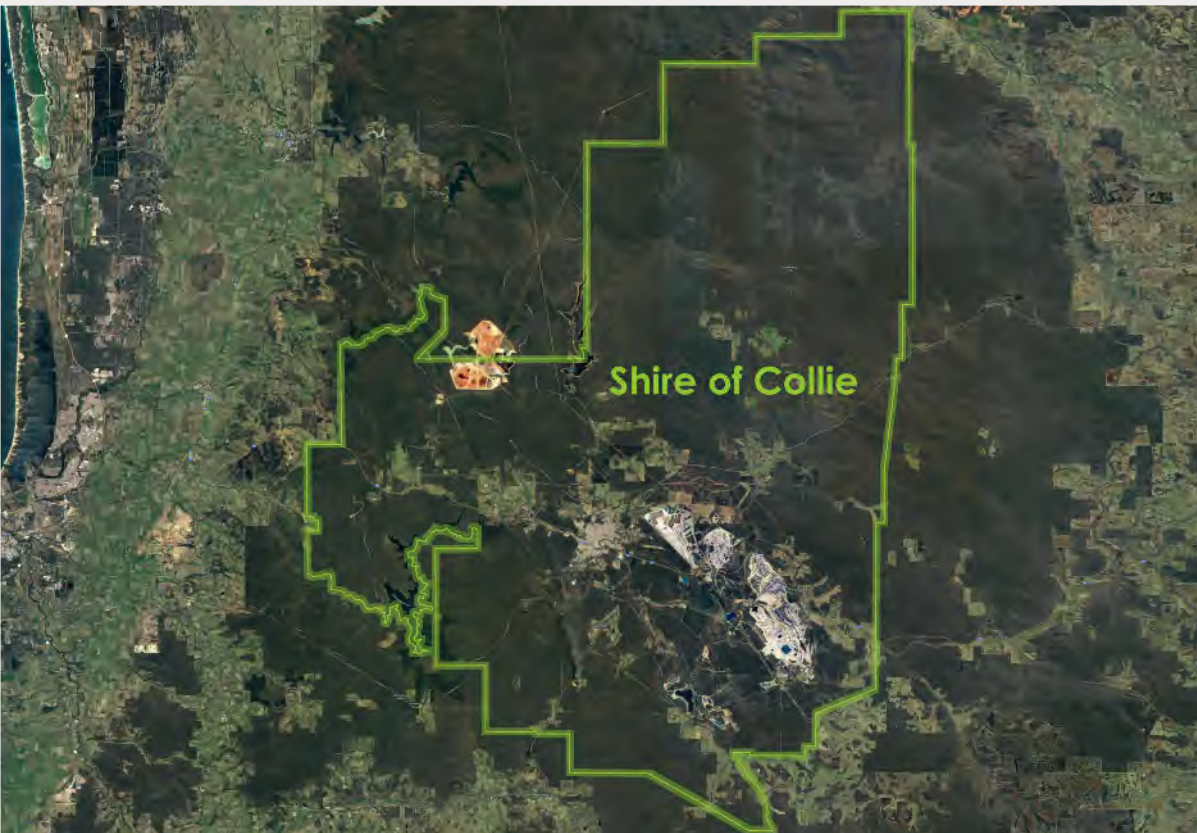
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The Shire of Collie is in the South West Region of Western Australia and is within 59km of Bunbury Port and a two hour's (213km) drive of Perth (Figure 5). The Local Government area of Collie covers 1,711 square kilometres of which 78% is covered by vast areas of State forest, National parks, and conservation parks. Our population was estimated to be 8,812 residents in 2021.<sup>1</sup>

With a slightly higher male than female population, our younger workforce 25-34 age group has been increasing, as have the empty nesters, retirees, seniors, and elderly, which are significantly higher compared with State averages. We also have 4.2% Aboriginal residents, compared with the State average of 3.1%.<sup>1</sup>

The Shire of Collie's social-economic disadvantage is significantly greater than most local governments in WA, and the level of disadvantage also varies significantly within the Shire.<sup>2</sup> Coal mining and power generation are amongst the main economic drivers with Collie producing half of State's base load electricity. Other industries include manufacturing, mining, agriculture and tourism. The demographic profile of the Shire was critical in developing the Actions for this Plan.



Adapted from: <http://mapbuilder.remplan.com.au/>

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The Shire provides many asset-based services through building parks and playgrounds, roads, and buildings with the maintenance and renewal of these assets an essential part of the Shire's service delivery role.

Some services are non-asset based, such as events, programs, and community information. All of these contribute towards public health outcomes.

The elected Council has a role in representing and leading the delivery of its community aspirations. With strong leadership and stakeholder collaboration, it can achieve much more than it could otherwise. Advocacy, promotion, and regulation of public health priorities assist the Shire to deliver benefits for the health and wellbeing of the community. At the highest level our Strategic Community Plan, as informed by the community directs the way in which we deliver our business through the Corporate Business Plan. Among other informing strategies and plans, this Public Health Plan (depicted as a yellow circle) informs our business monitoring and reporting every year (Figure 5).

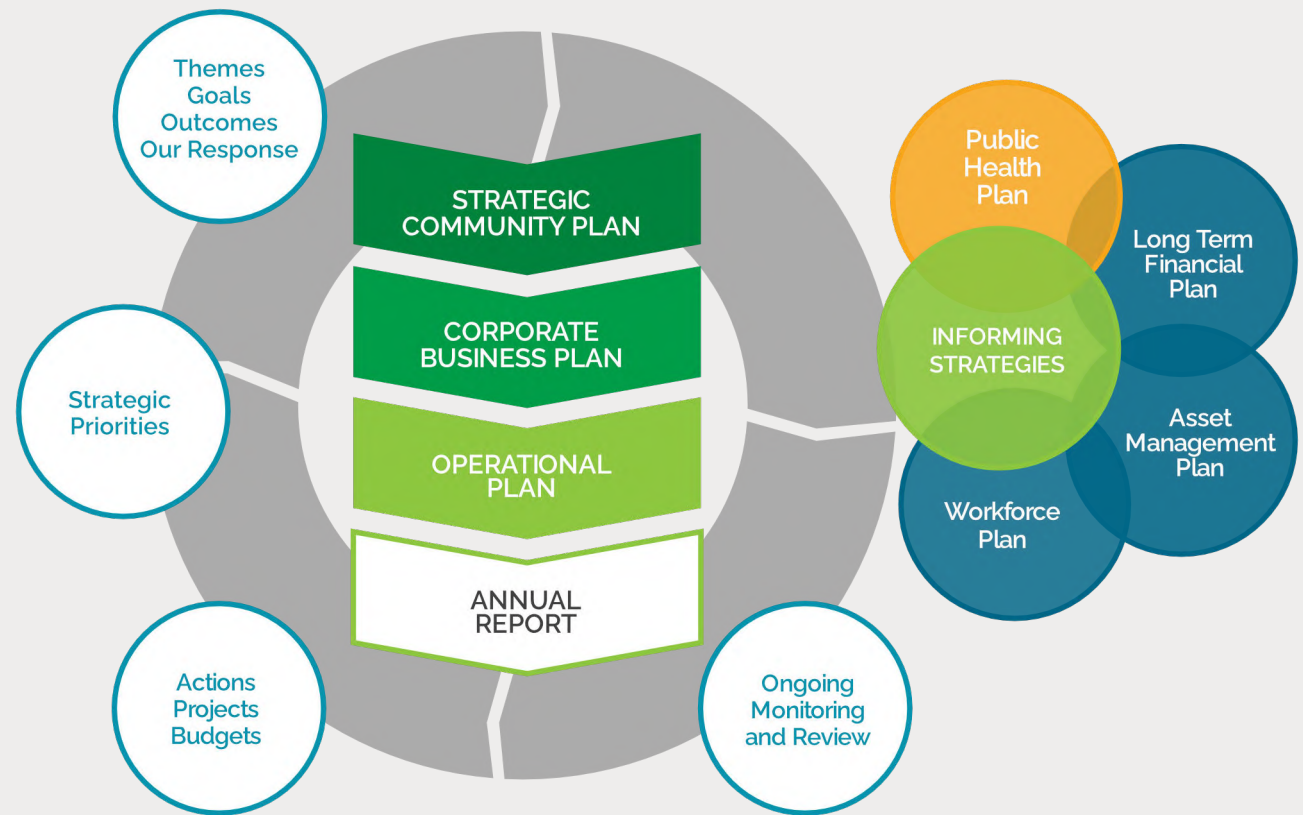


Figure 5 Integrated Strategic Planning Model

Source: Adapted from [DLGSC](#)





## HEALTH DETERMINANTS

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What are the factors that determine health? The World Health Organisation and the Australian Institute of Health and Welfare both state that the circumstances in which we grow, live, work and age have a profound affect on our lives and underpin health levels. (AIHW 2020)<sup>8</sup>

Collie's socio-economic disadvantage is ranked much lower than the state and indicates, in general lower income, housing, education and early developmental limitations, which can lead to poorer health outcomes. Research suggests in Australia, 20% of Australians living in the lowest socioeconomic areas were 1.6 times as likely, as the highest 20% to have at least two chronic health conditions, such as heart disease and diabetes (ABS 2015a)<sup>2</sup>.

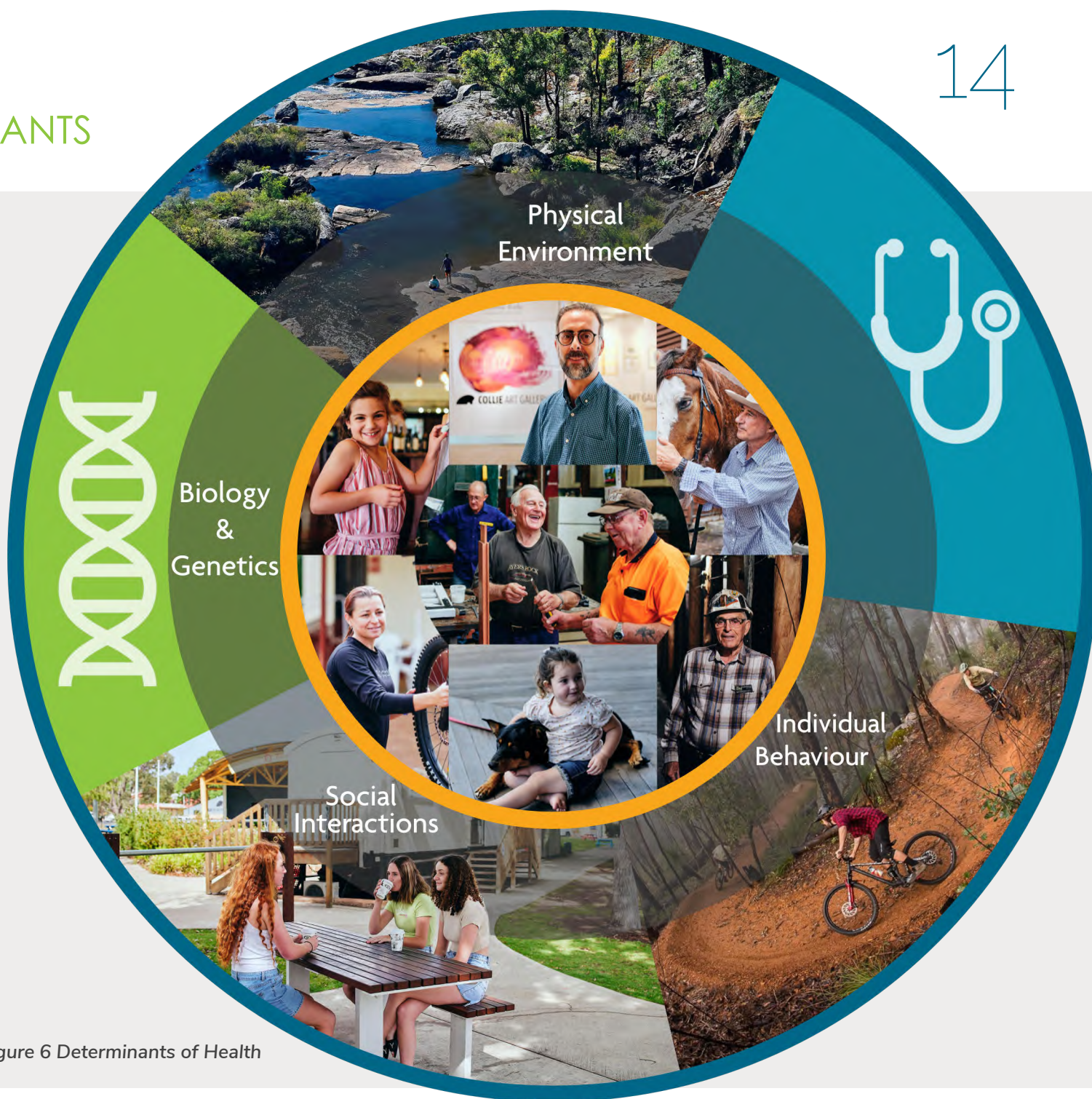
Biomedical risk factors are bodily states that can contribute to the development of chronic disease. Whilst Collie residents were better than the state for risks associated with cholesterol and similar for high blood pressure, mental health problems were much worse.

The built and natural environment influences our lives in many ways, by providing shelter, places to work, recreate and access to clean water and air. The Shire has an abundance of natural trails, waterways, recreational facilities and is moving towards transitioning away from industries that produce harmful emissions.

These are just some examples of the determinants of health this plan aims to address.

Collectively these factors are known as *Health Determinants*, as illustrated in Figure 6 (right), with some of the key findings illustrated in Figure 7 (next page).

Figure 6 Determinants of Health



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## OUR HEALTH PROFILE

15

The terms **Overweight and Obesity** refer to excess body weight, which is a risk factor that can lead to higher death rates and many chronic health conditions such as cardiovascular disease, asthma, back problems, chronic kidney disease, dementia, diabetes, and some cancers (AIHW 2017)<sup>8</sup>.

Childhood and adult obesity and overweight statistics are worse for Collie residents than the rest of the State.

In 2018, 8.4% of the total burden of disease in Australia was due to overweight and obesity<sup>8</sup>.

Overweight and obesity was the leading risk factor contributing to non-fatal burden (living with disease), and the second leading risk factor for total burden behind tobacco use (AIHW 2021)<sup>8</sup>.

Other risk factors and behaviours not limited to those presented have been examined and considered in the development of this plan.

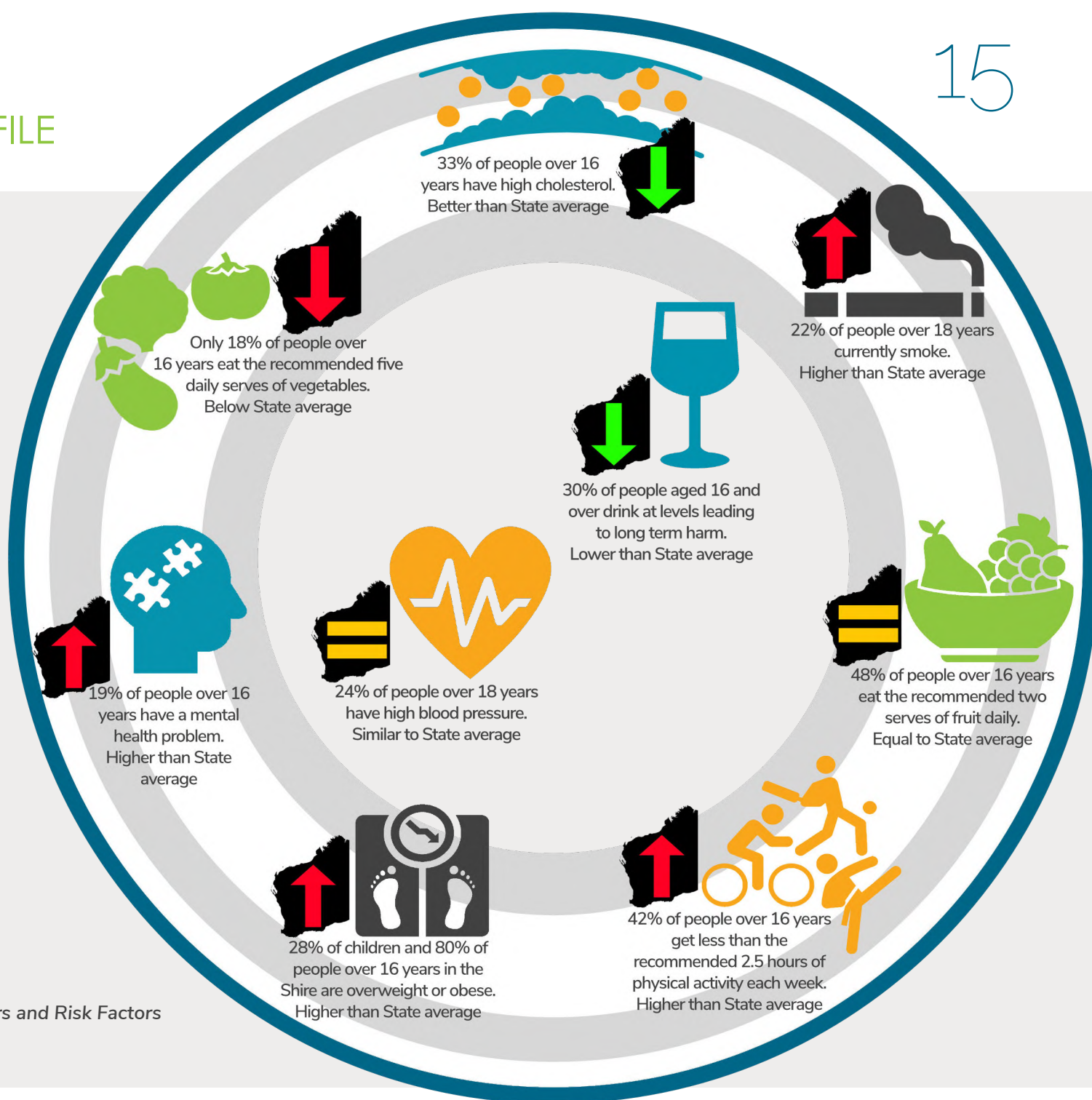


Figure 7 - Shire of Collie Health Behaviours and Risk Factors

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# COMMUNITY AND STAKEHOLDER ENGAGEMENT

Community and Stakeholder engagement was conducted using a variety of methods from 30 June until 1 August 2022. Here are the results.

## Online Community Survey

88 survey responses were received to confirm the level of importance for each priority objective, as well as to identify specific actions respondents believe the Shire may want to consider when implementing this plan. Of the responses received 82% live in Collie, 6% Allanson, 3% Collie-Cardiff and 9% in other rural and non-rural areas.<sup>6</sup> Respondents aged 18-34 years represented 7%, whereas 35-54 years was 46.5%, 55 and over years was 46.5%. Female respondents were 81% and male much lower at 9%.<sup>6</sup>

Most important public health issues:

### 1. Community Safety

The online survey revealed that **43% of respondents were satisfied or very satisfied**, 34.5% neither satisfied or dissatisfied, **19% dissatisfied** and **3.5% very dissatisfied with the level of community safety.**<sup>6</sup>

### 2. Availability of Infrastructure

The levels of satisfaction for the availability of infrastructure to support walking or cycling: **81% respondents were satisfied or very satisfied**; **7% dissatisfied or very dissatisfied**; and 12% neither.<sup>6</sup>

### 3. Number of Parks and Public Open Spaces

**84% respondents were satisfied or very satisfied**, **5% dissatisfied or very dissatisfied**, and 11% neither.<sup>6</sup>

### 4. Recreational facilities

**49% respondents were satisfied or very satisfied**, **19% dissatisfied or very dissatisfied**, and 32% neither.<sup>6</sup>

### 5. Exercise

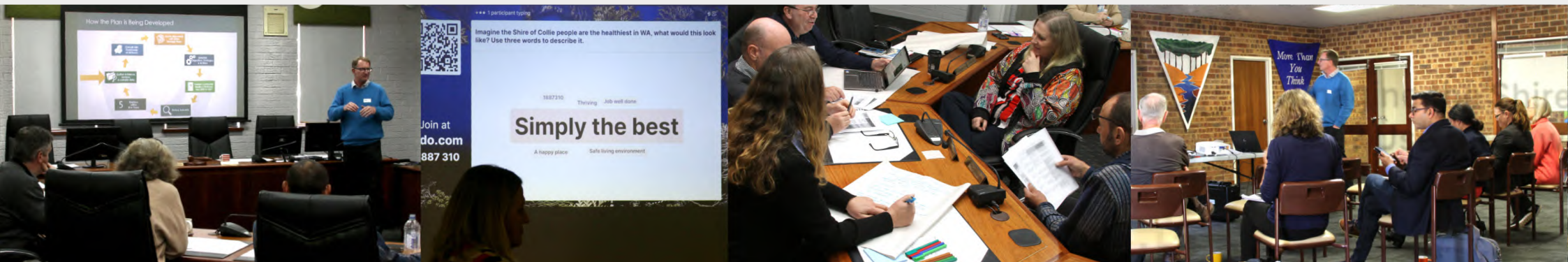
35.5% respondents exercise daily, 51% once to twice a week, 13.5% once a month or less. With 28% exercising at home, 49% in public open areas and 10% in facilities and 13% other places.<sup>6</sup>

### 6. Healthy Eating

**20% respondents eat more than 2 serves of fruit**, **80% eat less than 2 serves**, with **8% eating none.**<sup>6</sup>

### 7. Smoking, Weight, Alcohol

9% of people smoke, 68.5% very or slightly overweight, 31.5% right weight and 0% underweight. 7% consume **more than 4 standard drinks** on average in a week.<sup>6</sup>



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## Stakeholder and Community Submissions

In addition to the 88 responses to the online community survey, twenty-one (21) external stakeholders provided written submissions identifying actions the Shire could lead, partner or advocate for in addressing the priority objectives which have been used to inform the plan. All service provider stakeholders suggested the Shire should promote their services. Community written comments were also captured from the online survey. Priorities identified by community members are provided in **Table 1**.

## Shire Staff and External Stakeholder Workshops

16 people attended workshops held on 22 August 2022. The workshops were facilitated using PowerPoint presentations and interactive questions and polls. Some of the main findings are summarised in the table below.

Table 1 – Workshop and Submissions Analysis Summary

Strategy Focus Areas	Stakeholder Workshop Findings
<b>SUPPORTED COMMUNITY</b> <i>A vibrant, supportive, and safe community</i> <i>Maximising healthy behaviours</i> <i>Committing to a healthier community</i>	To focus on physical health and mental health issues, Build community capacity, Prevent idleness for younger people and isolation for elderly, Focus on increasing volunteering and recruiting new volunteers into community groups, Develop a wide variety of youth, community, programs, and activities annually with consultation and collaboration, Promote arts & cultural workshops and training to the community, Use different communication channels (social media, local paper, community notice boards, newsletter, etc.) suitable for young people, young parents, seniors, cultural and linguistically diverse.
<b>SUSTAINABLE (NATURAL AND BUILT) ENVIRONMENT</b> <i>A protected, sustainable natural and built environment that supports the needs and aspirations of the community</i> <i>Celebrating Collie's natural and built environments</i>	Improve health via reducing hazardous emissions, Take advantage of physical attributes, Make access to physical activities more inclusive and accessible, Have well connected and easily accessible trail and pathway networks.
<b>STRONG ECONOMY AND SERVICES FOR EVERYONE</b> <i>A strong diversified economic base driven by a range of business and employment opportunities and access to quality health, education, and community services</i> <i>Diversifying access to services</i>	Transition an economy away from coal and supporting people and jobs impacted, Provide healthy food choices, star rating system and education, Access to services – i.e., aged care, mental health, medical and hospital and child health, Catering/providing to those remote towns and communities, Better access to housing – affordable and rentals, medical services including transport to Bunbury, Better joined up / wrap around health services with a focus on preventable services, Support communication / education & logistics to improve understanding of why less than 2 yr. old immunisations are lower than ideal, Collaborate to determine strategies to improve vaccination rates.

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Table 2 – Workshop and Submissions Actions Summary

ACTION AREAS	WHAT WE ARE DOING	WHAT WE SHOULD BE DOING
<b>1. Access to healthy food</b>	1. Continue foodbank school breakfast club 2. Woolworths – free fruit for kids 3. Catholic soup kitchen 4. Continue PCYC feed the youth in safe spaces 5. Continue community gardens	6. Attract more ownership and upscaling of community garden 7. Engage more volunteers to assist with community garden 8. Shire to demonstrate healthy eating examples at Roche Park Rec Centre and promote at events – eg offer free fruit. 9. Provide shire planning incentives for more market gardens in rural / residential areas and local food markets.
<b>2. Supporting Ageing Population</b>	10. Provide public and personal transport 11. Provide home and community services	12. Increase senior citizens programs available 13. Provide Men's Sheds for women 14. Improve accessibility for aged and disabled to facilities and programs
<b>3. More Physically Active</b>	15. Facilitate Park Runs 16. Support youth program connections 17. Provide 12-month free program for youth aged 11-17 18. Provide free holiday activity programs 19. Provide LGBTQI+ program	20. Provide accessible recreation for disabled
<b>4. Promoting Mental Health and Wellbeing</b>	21. Provide Collie suicide prevention program 22. Continue Act Belong Commit 23. Continue SWAMS – mental health services 24. Continue Collie Family Centre – support 25. Provide PCYC – safe space for youth 26. Provide child and parent centre early childhood 27. Support Park Runs 28. Provide community grants to volunteer organisations 29. Support club development - grants and partnerships with sport and rec. 30. Provide Mums and Bubs library story time 31. Reactivate events support and partnerships 32. Promote arts and culture – i.e., places and identity for Aboriginal culture	33. Alternative education opportunities 34. Safe space for mental health issues and programs eg: Shalom group; Step Up, Step Down program etc 35. Promotion and communication channels 36. Transport services for mental health 37. Advocate and support NDIS programs 38. Identify and promote existing community groups i.e website, rates notice, notice board, Facebook 39. Identify issues of access 40. Help connect groups i.e., men's shed to schools 41. Support, encourage, facilitate friends of groups around river, trails, parks etc 42. Establish partnerships with Shire, DBCA / Bibbulmun and Mundabiddi Track organisations and related businesses



Table 2 – Workshop and Submissions Actions Summary ...continued...

ACTION AREAS	WHAT WE ARE DOING	WHAT WE SHOULD BE DOING
5. Supporting the Youth and Children	43. Support youth program connections 44. Promote Smith Family programs 45. Support home school community 46. Provide holiday programs – free subsidised i.e., pool, biking, sports – engage with them to find out what they want 47. Support PCYC - youth	48. Support PCYC food and safe space programs 49. More services needed esp. for upper school 50. Advocate for interactive activities 51. Counselling 14 years and above 52. Support NDIS programs 53. Engage with youth via workshops to get info into the community plan
6. Preventing harmful behaviours (i.e., Use of illicit Drugs, Alcohol, Vaping and Tobacco)	54. Implement crime prevention and safety plans 55. Public safety monitoring / CCTV surveillance 56. Prevent Dumping of sharps 57. Provide sharps disposal units 58. Follow up on sharps programs	59. Promote education and awareness



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The Shire has various existing strategies and plans which have been considered when developing the actions in this plan. These plans are not limited to the following: Shire of Collie - Strategic Community Plan, Corporate Business Plan, Access and Inclusion Plan 2017 to 2021, Local Planning Strategy, Collie Community Safety and Crime Prevention Plan 2016 – 2019, Collie and Other Drugs Management Plan 2015-2017, Collie Community Safety and Crime Prevention Plan 2016 – 2019, Local Emergency Management Arrangements, Local Recovery Plan, Positive Ageing Plan 2016. Collie's Just Transition Plan 2020 underpins many of the public health strategies and actions in this Plan.

## Public Health Plan Strategic Themes

The following 12 public health themes have been developed for this plan:

1. Supporting service providers to support people
2. Matching people to healthy lifestyle activities
3. Understanding people's health needs
4. Engaging with individuals and encouraging people in making healthy choices
5. Attracting and facilitating health services
6. Growing related industry and services for better access to health support
7. Supporting businesses towards delivering positive health benefits to the community
8. Showcasing Collie's natural and built environments that contributes towards health outcomes
9. Changing perspectives towards a healthier physical environment for Collie residents
10. Investing in government support
11. Engaging with community groups and agencies
12. Supporting a Just Healthier Plan working group

These themes are provided in the following action plan, with each of the 8 priority objectives also being integrated within each of the three priority areas mentioned previously.



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## PRIORITY 1- SUPPORTED COMMUNITY

Maximise healthy behaviours and commit to a healthier community

ACTION Measure		Priority Outcomes	Service Area
1	Maintain public health inspection and enforcement services to minimise harm from known risks to human health and safety. <b>Measure: Number of food premises inspections completed and percentage compliant</b>	Better Health Protection	Development Services
2	Investigate introducing healthy eating choices at Shire venues. <b>Measure: Implementation of rating system</b>		Corporate Services
3	Monitor and report on all potable and recreational water risks. <b>Measure: Continue to undertake the water sampling program</b>		Development Services
4	Liaise with the local police department and other relevant agencies to provide a safer community. <b>Measure: Number of engagements with WAPOL per year</b>		
5	Coordinate emergency management services including management of the shires Bush Fire Brigades and State Emergency Services to provide safety education, preparedness and prevention services to the local community. <b>Measure: Number of LEMC meetings per year</b>		
6	Identify vulnerable people in event of disasters and support for evacuation and recovery. <b>Measure: Register of vulnerable people documented and updated each year</b>		
7	Provide Ranger Services in accordance with State and local legislation to ensure compliance and the safety and amenity of the local community. <b>Measure: Number of Rangers employed</b>		
8	Administer local laws and ensure compliance with statutory relevant health and safety obligations (e.g., smoking in public places). <b>Measure: Annual report completed on number of compliance actions undertaken</b>		
9	Provide and promote responsive customer services to address public health risks (i.e., Dogs, food, water, noise, air and dust pollution) in the community. <b>Measure: Number of public health and community ranger requests and complaints completed annually</b>		
10	Continue to implement risk management oversight of events and public buildings. <b>Measure: Develop an Events Policy</b>		
11	Support stakeholders which can assist the Shire in promoting healthy lifestyle initiatives such as: LiveLighter; Stay On Your Feet; Act Belong Commit; Make Smoking History; RUOK; Alcohol. Think again; - including promoting at events and in Shire venues and with staff participation. <b>Measure: Number of events which include promotion of healthy lifestyle initiatives</b>		Corporate Services & Development Services





## PRIORITY 1- SUPPORTED COMMUNITY

Maximise healthy behaviours and commit to a healthier community



### Kukenarup Memorial

Now our ancestors' restless spirits can sleep peacefully knowing they are not forgotten and their ordeal is recognized and acknowledged.

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## PRIORITY 2 - SUSTAINABLE NATURAL & BUILT ENVIRONMENT

Protect and celebrate Collie's Natural and Built Environments

	ACTION Measure	Priority Outcomes	Service Area
1	Support Collie's Just Transition initiatives away from coal-generated power and support sustainable and environmentally-responsible new businesses and initiatives. <b>Measure: New carbon-neutral businesses in Collie</b>	<b>Promote healthier lifestyles</b>	Corporate Services
2	Manage and maintain the Shire's recreation grounds and facilities including: swim school; fitness programs; kiosk; water play park. <b>Measure: Annual community satisfaction rating of recreation facilities</b>		Technical Services
3	Manage and maintain the Shire's community recreation areas and trails to meet the community's needs and enhance tourism. <b>Measure: Trail Town accreditation</b>		Technical & Development Services
4	Advocate for improved water quality and utilisation of the Wellington Dam, Lake Kepwari, Stockton Lake, the Collie River and Black Diamond Lake for recreational purposes. <b>Measure: Annual community satisfaction rating of environmental and recreational waters</b>	<b>Better Health Protection</b>	Development Services
5	Provide and improve waste collection, recycling services and landfill operations for the Shire, including education programs (e.g., asbestos, hazardous materials), and the operation of the Renergi plant, to encourage minimisation, reuse, and recycling of waste. <b>Measure: Annual community satisfaction rating of waste management, education and recycling services</b>		Technical Services
6	Ensure buildings and structures (residential and non-residential) are safe and built to required standards. <b>Measure: Number of building permits annually</b>	<b>Promote healthier lifestyles &amp; Better health protection</b>	Development Services
7	Maintain and further develop local roads and footpath networks, ensure accessibility, safety and promote usage for physical activities and events. <b>Measure: Annual community satisfaction and safety rating of roads, footpaths, events and accessibility</b>		Technical Services
8	Support and encourage volunteer and community groups to adopt a trail, road, or place as part of the Adopt-a-Spot program to improve the natural and built environment and promote community groups. <b>Measure: Number of Adopt-a-Spot and participating community groups</b>		



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## PRIORITY 2 - SUSTAINABLE NATURAL & BUILT ENVIRONMENT

Celebrate Collie's Natural and Built Environments



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## PRIORITY 3 - STRONG ECONOMY AND SERVICES FOR EVERYONE

Diversify equitable access to services

ACTION Measure		Priority Outcomes	Service Area
1	Continue to advocate through Community Safety and Wellbeing Committee for health, education, and family support services, including public transport. <i>Measure 1: Do not lose any government services in Collie</i> <i>Measure 2: Engage through Community Safety and Wellbeing Committee</i>	Support Vulnerable People	Corporate Services
2	Advocate for adequate early childhood facilities and programs <i>Measure: Seek to have a Shire representative on the Board of the PCYC and Child and Parent Centre</i>		
3	Support and promote opportunities for youth development, employment, and activities. <i>Measure: Number of youth-specific events</i>		
4	Support the provision of a range of facilities and services to encourage ageing in place in our community <i>Measure: Run Annual Seniors Week event</i>		
5	Support lifelong learning, arts, and culture in the community through the provision of library, art, and cultural facilities and services. <i>Measure: Maintain the library and art gallery</i>		
6	Ensure people with disabilities can access and use both Shire and general facilities and services. <i>Measure: Annual report on implementing the access and inclusion plan</i>		
7	Advocate for Aboriginal health, inclusion, and services <i>Measure: Develop a Reconciliation Action Plan within the Plan period</i>		
8	Promote the development of affordable, sustainable residential developments and urban renewal opportunities <i>Measure: Number of new residential development applications assessed annually</i>	Promote healthier lifestyles	
9	Provide information about community facilities available <i>Measure: Introduce a new resident welcome pack and promote community groups on the Shire's Facebook and website</i>		



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## PRIORITY 3 - STRONG ECONOMY AND SERVICES FOR EVERYONE

Diversify equitable access to services



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1. Shire of Collie, *Strategic Community Plan 2017 to 2027*, available from Shire of Collie.
2. Mark Chadwick, 2022, *Shire of Collie Local Health Profile Report 2022* available from Shire of Collie.
3. Government of Western Australia, Department of Health, *Public health objectives* available from <https://ww2.health.wa.gov.au/~media/Files/Corporate/general-documents/Public-Health-Act/State-public-health-plan/State-PH-Plan-2019-2024/Public-health-objectives-and-policy-priorities-summary.pdf>
4. Government of Western Australia, Department of Health, *State Public Health Plan Framework*, available from <https://ww2.health.wa.gov.au/~media/Files/Corporate/general-documents/Public-Health-Act/State-public-health-plan/State-PH-Plan-2019-2024/State-Public-Health-Plan-Strategic-Framework-Summary.pdf>
5. Healthy People 2030, *Social Determinants of Health*, available from <https://health.gov/healthypeople>
6. Shire of Collie, 2022, *Community Public Health Plan Survey Report* available from Shire of Collie.
7. Collie's Just Transition Plan 2020, available from <https://www.wa.gov.au/government/publications/collies-just-transition-plan>
8. Australian Institute of Health and Welfare 2022, *Australia's Health 2022*, available from <https://www.aihw.gov.au/>



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Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.3.B**



## SCHEDULE OF SUBMISSIONS

### PUBLIC HEALTH PLAN

No.	Submitter	Nature of Submission	Officer Comments
1	WA Country Health Service	<p><b>Initial observations:</b></p> <ul style="list-style-type: none"> <li>The Plan is heavily influenced by the community survey which had a low response rate of 88. This can result in some bias which may not reflect the evidence-based data.</li> <li>Notwithstanding this, Community survey feedback is important however it needs to be considered in combination with Health Profile data to ensure chosen priority areas reflect need and risk, and are evidence based.</li> <li>There appears to be a mis-match between the data provided (page 15) and a lack of emphasis given to these areas in Priority One.</li> <li>Page 20 item 12 suggests a public health theme; 'Supporting a Just Healthier Plan working group'. What is the intended role of this working group? Could it be to develop a Healthy Lifestyle Policy for the Shire of Collie?</li> <li>The Plan has acknowledged the issue of low <b>childhood immunisation</b> coverage rates in the stakeholder workshop findings section (page 17) but there is nothing related to immunisation in the action plan.</li> </ul> <p>The National Immunisation Strategy for Australia 2019-2024 describes the public health importance and success of the National Immunisation Program (NIP). The document identifies eight strategic priorities to strengthen the NIP in Australia. The first of these priority areas is broad and requires collaboration for across sectors: <i>Improve Immunisation Coverage</i>. Australian state and territory governments have agreed upon an immunisation coverage target of 95% for children aged 1,2 and 5 years. In addition, the strategy also recommends improving immunisation coverage for adolescents, older adults and vulnerable/at risk populations. While most of the responsibility to meet these</p>	<p>Submission comments noted and at this stage there are no further changes intended to final public health plan document.</p> <p>Noted.</p> <p>Noted, but all profile data helped inform the preparation of the health plan</p> <p>Noted</p> <p>This is not a Shire responsibility.</p>

Please note that submissions received in response to the public advertisement have been paraphrased in this document, to express the key points raised. A full set of submissions is available upon request from Development Services.

	<p>targets resides with the health care sector, other stakeholders such as local government agencies can also support efforts to improve coverage. For example, an agency may consider:</p> <ul style="list-style-type: none"> <li>• Promoting local immunisation clinic site location, hours and contact details on public communication such as websites or print media.</li> <li>• Providing spaces and support for any pop-up clinics that may be required in the LGA</li> <li>• Ensuring workplace health and safety policies include supporting appropriate employee immunisation</li> </ul> <p>Reference: <a href="https://www.health.gov.au/sites/default/files/national-immunisation-strategy-for-australia-2019-2024_0.pdf">https://www.health.gov.au/sites/default/files/national-immunisation-strategy-for-australia-2019-2024_0.pdf</a></p> <ul style="list-style-type: none"> <li>• The Shire Plan lay out is not aligned to the Public Health objectives and policy priorities summary which makes it difficult to interpret alongside the State Public Health Plan requirements.</li> </ul> <p><b>Key Points:</b></p> <p>Priorities One Two and Three contain a blend of Actions that could fall under some of the other priorities. The Actions could be better categorised under the above three State Plan objectives.</p> <p>Priority One/ SUPPORTED COMMUNITY</p> <ul style="list-style-type: none"> <li>• Priority One is heavily oriented to legislative Environmental Health requirements. Healthy Lifestyle risk factors could be itemised here with their own actions and measures. There appears to be a mismatch between what the Plan identifies as risk factors (page 15) and that which is addressed in priority one. For example, the rates of Healthy Lifestyle disease (nutrition, cholesterol, smoking, alcohol, blood pressure, physical activity, obesity and mental health) feature strongly for the population but are given little attention here. They could be broken down into the Policy Priorities to enable more specificity and measurable outcomes. &gt;Healthy Eating,</li> </ul>	<p>This is not set as a template.</p> <p>Noted, but requires a substantial re-write of the Plan.</p>
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		<p>&gt;A more active WA,  &gt;Curbing the rise in overweight and obesity,  &gt;Making Smoking History,  &gt;Reducing harmful alcohol use,  &gt;Reduce the use of illicit drugs,  &gt;Optimise mental health and wellbeing,  &gt;Preventing injuries and promoting safer communities.</p> <ul style="list-style-type: none"> <li>• The Shire currently offers surveillance around Smoke free public places under the Tobacco Control Act i.e. children's playgrounds, however the Plan could also include investigate the feasibility of increasing Smoke free Public Places through an amendment to the Shires Planning Property Local Law.</li> <li>• There is no evidence of Illicit drug data to help inform the Shires response to this risk factor; 'Illicit drug use and mis use of pharmaceuticals' other than the disposal of sharps.</li> <li>• Developing an Events Policy is included as a risk management activity, but an events policy could also be used to include health promotion initiatives around promoting active transport, healthy food, smoke and vape free, alcohol free etc.</li> <li>• Alcohol and illicit drugs could be addressed with the development of an 'Alcohol and Drug Management Plan (AODMP)' with or without the inclusion of Mental Health; 'Alcohol and Drug Health and Wellbeing Plan.' St John of God, Community Alcohol Drug Services are funded by the Mental Health Commission to facilitate and support this process. The Shire of Collie has had an AODMP in the past which is now lapsed.</li> <li>• Priority One/item 4 could also be addressed and incorporated into an 'Alcohol and Drug Management Plan' if community safety is alcohol and drug related. Alternatively, a 'Community Safety Crime Prevention Plan (CSCP)' could be developed and informed by WAPOL police data. WAPOL generally have representation on each of these forums. The Shire of Collie has had a CSCP in the past which has now lapsed.</li> </ul>	<p>Noted. A local law amendment is contemplated in Priority 1 Action 11 (as proposed to be amended)</p> <p>This is the Shire's limited responsibility</p> <p>Noted</p> <p>This is the Shire's limited responsibility</p>
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		<ul style="list-style-type: none"> <li>There is opportunity for the Shire to identify partnerships which would take some of the onus off the Shire to lead and implement strategies but more to support them. This would release Shire officers from taking full responsibility for all Healthy Lifestyle strategies and develop more of the in-house policy activity. Potential partners to support this could be for example:   <b>Cancer Council WA (CCWA)</b> for Smoke free Public Places,  <b>CCWA Live Lighter</b> for healthy eating and more active WA,  <b>Community Alcohol Drug Service Team and WACHS SW</b> for an Alcohol and Drug health and wellbeing plan  <b>WACHS Early Years</b> for early childhood intervention in wellbeing, immunisation, healthy eating and more active.  <b>Injury Matters</b> for preventing injuries and promoting safer communities.</li> </ul> <p>Priority two/ SUSTAINABLE NATURAL AND BUILT ENVIRONMENT</p> <ul style="list-style-type: none"> <li>For example, items 2 and 3 could also fall under Priority One A more active WA, And Curbing the rise in overweight and obesity.</li> </ul> <p>Priority three/STRONG ECONOMY AND SERVICES FOR EVERYONE</p> <ul style="list-style-type: none"> <li>Re 'Aboriginal Health and Well Being' in the State PH Plan, Priority 3/point 7 p 25: If the Plan is to be developed by 2027 there are opportunities to address this priority area prior to developing a RAP that the Shire may already be doing or are equipped to do. For example: Consultation and Inclusion of cultural heritage content in localised interpretative trails and murals signage. Or facilitate the delivery of cultural awareness training for Shire staff.</li> <li>Re Priority three/point 2 there is opportunity for Collie to have an 'Early Years Network' which ceased in Collie approximately 18 months ago. This can be facilitated by WACHS SW Early Years coordinator. Rather than having valuable Shire representation on PCYC and the CPC, having an Early Years advisory</li> </ul>	<p>Noted</p> <p>Noted. See Priority 3, Action 7 Measure</p> <p>This is not the Shire's responsibility</p>
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		<p>group can have input to the Shire on early childhood needs and issues. Services as PCYC and CDC would have representation on an Early Years Network.</p> <p>Through Early Years Networks local governments have identified the need to support programs libraries and rec centre (literacy, nutrition and cooking, physical activity), partnership with playgroups, working with community health to promote immunisation, reviewing/updating shire facilities to ensure they are child safe and include appropriate baby change and baby feeding facilities, improving shade in public spaces, and reviewing/planning for safe active transport for young people – increased footpaths, school zones, pedestrian crossings, prams facilities for bicycles etc.</p> <p><b>Resources:</b></p> <p>The Department of Health Epidemiology branch will be releasing Health Profiles specifically for individual LGA's mid-2023. These will include the most up to date data and explanations which can inform the Shire of Collie Plan. Local Governments will be advised on their release.</p> <p>The Mental Health Commission will be releasing a resource mid-year; '<i>Local Government response to Illicit drug use</i>'.</p>	
2	Injury Matters	<p>Thank you for the opportunity to comment on the <b><u>Shire of Collie Draft Public Health Plan 2022 – 2027.</u></b></p> <p>My name is Samantha Menezes, and I am the General Manager of the Injury Prevention Team at <u>Injury Matters</u> based in Leederville but working across Western Australia.</p> <p>Injury Matters leads the way in preventing injury and supporting recovery by providing programs and services that enable Western Australians to live long and healthy lives. Priority unintentional and intentional injuries in Western Australia (WA) include falls, road trauma, suicide and self-harm, poisoning, violence, drowning, and burns.</p>	Submission comments noted and at this stage there are no further changes intended to final public health plan document.

Please note that submissions received in response to the public advertisement have been paraphrased in this document, to express the key points raised. A full set of submissions is available upon request from Development Services.

	<p>Injury Matters is a not-for-profit organisation that empowers people, communities, professionals, and agencies to modify factors to prevent injury and support recovery.</p> <p>Injury Matters achieves this through three flagship programs:</p> <ul style="list-style-type: none"> <li>• The State Government funds the <b>Stay On Your Feet® Program</b> through the Department of Health. It provides information, education, and support to community members and health professionals to reduce falls and fall-related injuries among older adults living in the community.</li> <li>• The <b>Know Injury</b> program is funded by the State Government through the Department of Health and enhances the capacity of practitioners and organisations to deliver evidence-informed injury prevention activities by providing knowledge, training, resources, and networking opportunities.</li> <li>• <b>Road Trauma Support WA</b> provides information and free counselling to reduce psychological and social distress for anyone affected by road trauma in Western Australia.</li> </ul> <p>Injury has a significant impact on the health system in Western Australia.</p> <p><u>Feedback on the <b>Shire of Collie Draft Public Health Plan 2022 – 2027</b></u></p> <p>I recommend reviewing all actions and measures in all priorities and will provide some examples justifying this below:</p> <p><b>Page 21: Actions and measures.</b></p> <p><u>PRIORITY 1- SUPPORTED COMMUNITY Maximise healthy behaviours and commit to a healthier community.</u></p> <p>In general, my overall feedback on this section is the adequacy of the outlined measures. Many of them will struggle to demonstrate impact – or outcomes of what you are trying to achieve, for example see below:</p> <p>a) <b>Action 4-</b> Liaise with the local police department and other relevant agencies to provide a <b>safer</b> community.</p> <p><u>Measure:</u> Number of engagements with WAPOL per year .</p> <p><u>Comment:</u> I am unsure if a measure of engagements with WAPOL per year is an adequate measure of how you can provide a safer community. You also haven't factored in engagements with other agencies also. Wouldn't a better measure be</p>	
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		<p>looking at crime statistics and developing strategies to address the areas of need? What does a safer community mean? Is it safe from injury, safe from crime? Is it a better built environment, increasing shade and safe places to play? Is it addressing road safety? Is it making sure older adults can access evidence-based falls prevention activities?</p> <p>b) Another example is <b>Action 5-</b> Coordinate emergency management services including management of the shires Bush Fire Brigades and State Emergency Services to provide safety education, preparedness, and prevention services to the local community.  <u>Measure:</u> Number of LEMC meetings per year</p> <p><u>Comment:</u> The number of meetings held is not a measure that will determine if the needs of the community have been met. This won't tell the community how many education sessions, preparedness and prevention services have been developed and implemented in the community, or how effective they were.</p> <p>c) <b>My final example is Action 11.</b> It is wonderful to see our program <a href="#">Stay on Your Feet</a> listed , together with other reputable programs as well. Again, I feel I need to draw attention to the measure. Some of these programs are quite comprehensive and require engaging with community and the health sector. For example, with Stay on Your Feet older adults and allied health services can participate in a comprehensive program that builds capacity of the workforce and knowledge and awareness in older adults about a range of evidence-based falls prevention activities that include nutrition and alcohol and other drug harm prevention, cognition, remove hazards, strength and balance exercises and checking eyesight etc. Therefore, a measure that only refers to the number of events which include promotion of health lifestyles may not provide the community with the information they need to initiate real behavior change.</p> <p>Finally,</p> <ul style="list-style-type: none"> <li>• In terms of strengthening your data around Injury, we can try to provide data regarding Collie Injury specifically but in the meantime, I am not sure if you have seen this and the relevant actions you could use also- <a href="https://www.injurymatters.org.au/wp-content/uploads/2021/06/Know-Injury-WA-South-West-Resource-Kit.pdf">https://www.injurymatters.org.au/wp-content/uploads/2021/06/Know-Injury-WA-South-West-Resource-Kit.pdf</a> and also please see the <a href="#">WA Falls Report 2022</a> as well and the <a href="#">Guide to promoting Safety and Preventing injury for Local Governments</a></li> </ul>	
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		<ul style="list-style-type: none"> <li>• There is also an opportunity for you to meet with our Recovery Services Team who lead the Road Trauma Support Program.</li> <li>• Please can you reference where you have received your injury data from and feel free to strengthen the section on Injury using this information. We would be more than happy to help you with this and be involved in stakeholder consultation for future mentioned in the Public Health Plan such as the Collie Community Safety and Crime Prevention Plan 2016 – 2019 (mentioned twice in this list), Collie and Other Drugs Management Plan 2015-2017 and the Positive Ageing Plan 2016 and any other relevant plans that can support the prevention of injury in Collie.</li> </ul> <p>Please do reach out if you need. I would be more than happy to chat about any of the above recommendations. I am unsure if we were included in the list of Stakeholders as our Local Government Coordinator is no longer with Injury Matters, but we would always be keen to support the Shire and community moving forward.</p>	
3.	Shire of Collie Staff	<p>The Public Health plan refers to the previous Strategic Community Plan (CSP), which was adopted after the release of the draft Public Health Plan. This Plan should be amended to be consistent with the current CSP.</p> <p>Table 2 formatting errors</p> <p>The Council has resolved to investigate further outdoor smoking restrictions in Collie, which was adopted after the release of the draft Public Health Plan. The Plan should reflect this investigation. Priority 1 Action 11: Add a new measure: <i>Investigate options available to Council to designate areas within Collie as smoke free areas.</i></p> <p>Priority 2 Action 1: Amend service area to Development Services</p> <p>Priority 2 Action 2: Amend Action to read: <i>Manage and maintain the Shire's recreation grounds, facilities and services including: Collie Mineworkers Memorial Pool, Roche Park fitness programs, Recreation Grounds, Central Park, Soldiers Park and Lions Park.</i></p>	<p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p> <p>Agreed</p>

Please note that submissions received in response to the public advertisement have been paraphrased in this document, to express the key points raised. A full set of submissions is available upon request from Development Services.

	Priority 2 Action 2: Amend service area to Corporate Services and Technical Services	Agreed
	Priority 2 Action 4, Action 5, Action 7: Change 'Annual community' to ' <i>Biennial community</i> '	Agreed
	Priority 3 Action 1: Amend Action to read: <i>Advocate for health, education and family support services, including public transport.</i>	Agreed
	Priority 3 Action 1: Amend Measure 1 to read: <i>Retain existing and increase government services in Collie</i>	Agreed
	Priority 3 Action 2: Delete Measure	Agreed
	Priority 3 Action 3: Amend Measure to read: Number of youth-specific events and programs held or supported by the Shire of Collie or in the community	Agreed
	Priority 3 Action 8: Amend service area to Development Services	Agreed
	Priority 3 Action 9: Amend Measure to read: Investigate a new resident welcome pack within the Plan period and promote community groups on the Shire's social media sites and website.	Agreed

Please note that submissions received in response to the public advertisement have been paraphrased in this document, to express the key points raised. A full set of submissions is available upon request from Development Services.



DRAFT

A998 – 27 Harvey St Collie 6225 - P096/17

Please note that submissions received in response to the public advertisement have been paraphrased in this document, to express the key points raised. A full set of submissions is available upon request from Development Services.



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.4.A**







# Lot 2, No. 62 Worsley Back Road, Allanson

## Legend

☐ Cadastre



1: 36,112



1.8 0 0.92 1.8 Kilometers

Date produced: 29-Mar-2023

This map is a user generated static output from PlanWA (a public interactive mapping tool provided by the Department of Planning, Lands and Heritage and accessed via [wa.gov.au](http://wa.gov.au)) and is for reference only.

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## Notes







Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.4.B**





# PLANNING ASSESSMENT REPORT

Planning Permit Application for a Telecommunications Facility

62 Worsley Back Road, Allanson WA 6225

(Lot 2 on Diagram Plan 61355)

Prepared by Ventia Pty Ltd

On behalf of Amplitel

Project No: WA09408.01

January 2023



**ventia** 

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## 1.0 EXECUTIVE SUMMARY

### 1.1 Site and Proposal Details

Address of Site	62 Worsley Back Road, Allanson WA 6225.
Legal Property Description	Lot 2 on Diagram Plan 61355
Coordinates	-33.323743, 116.094080
Site Area	400,927m <sup>2</sup>
Registered Owner	Michael Andrew Sherwood of Allanson Post Office
Local Authority	Shire of Collie
Proposal	40m high monopole tower, six (6) panel antennas on a triangular headframe, one (1) equipment shelter not more than 3m high with a base area of not more than 7.5m <sup>2</sup> at the base of the tower and ancillary equipment. This is to be installed within a new 100m <sup>2</sup> fenced compound.
Planning Instrument	Shire of Collie Local Planning Scheme No. 6
Zone	Rural
Overlays	Local Heritage / SCA1
Application seeking	Development permit for a Telecommunications Facility
Use definition	Telecommunications Infrastructure

### 1.2 Applicant Details

Applicant	Amplitel C/- Ventia Australia Pty Ltd
Contact Person	Marc Bays (02) 6124 4423 Marc.bays@ventia.com
Our Reference	WA09408.01 Allanson South West

## 2.0 INTRODUCTION

This report has been prepared by Ventia on behalf of Amplitel as supporting information to a Planning Permit Application for the works and use of a Telecommunications Facility at 62 Worsley Back Road, Allanson WA 6225. The property is formally described as Lot 2 on Diagram Plan 61355.

Amplitel, a new company part of the Telstra Group is currently undertaking work across Australia to support and expand the new mobile phone infrastructure and coverage for Telstra and other Carrier to improve customer experience through faster and more reliable voice and data services.

Due to an industry-specific network requirement, Amplitel have identified the need to install a telecommunications facility on the site to improve both voice and data services within the surrounding area. Furthermore, the facility will provide 4G and 5G services to the surrounding Allanson area.

All mobile phone network operators are bound by the operational provisions of the federal *Telecommunications Act 1997* ("The Act") and the *Telecommunications Code of Practice 2018*. The proposed telecommunications facility installation is not defined as a low-impact facility and is therefore subject to relevant State and local planning provisions.

An extensive site selection process has been completed prior to selecting the subject site as the nominated candidate for a new Telecommunications Facility. This site selection process included considering a variety of factors including planning scheme considerations technical and coverage objectives, cost considerations, land tenure, visual impact and engineering/design criteria. The site was selected as the most appropriate location based on the above considerations, which are outlined in **Section 7** of the report.

The proposal is subject to the provisions of the *WA Planning and Development Act 2005* and the provisions of the *Shire of Collie Local Planning Scheme No. 6*.

## 3.0 PROPOSED SCOPE OF WORKS

The proposal is inclusive of the following scope of works:

- Installation of one (1) new 40m high monopole;
- Installation of one (1) new triangular headframe;
- Installation of Six (6) new panel antennas (no greater than 2.8m in length);
- Installation of one (1) Telstra Equipment Shelter that is not more than 3m high with a base area of not more than 7.5m<sup>2</sup> at the base of the aforementioned tower; and
- Installation of associated ancillary cabling and equipment.
- Installation of new 10m x 10m fenced compound.

Refer to Plans attached in **Appendix A** for further details and **Appendix B** for Land Titles.

All mobile phone network operators are bound by the operational provisions of the Federal Telecommunications Act 1997 (the "Act") and the Telecommunications Code of Practice 1997. The proposed telecommunications facility installation **is not defined as a low-impact facility** and is therefore subject to relevant State and local planning provisions.

Pursuant to the *Planning and Development Act 2005 (PDA)*, the proposal constitutes a change of use and requires a development application to be made to Shire of Collie (**Council**) for approval.

The proposal is subject to the *Shire of Collie Local Planning Scheme No. 6* (the **local planning scheme**). The proposal has addressed the applicable provisions of the planning scheme in **Section 12** of this report.

Under the planning scheme, the proposed scope of works meet the definition for 'telecommunications infrastructure' and the site is within a 'rural' zone and subject to a local heritage and special control area overlay. As such, the use will not be permitted unless Council has exercised its discretion by granting development approval.

This Planning Assessment Report demonstrates compliance of the proposal against the local planning scheme and the applicable overlay provisions.

Based on the above, the proposed application to install a Telecommunications Facility at 62 Worsley Back Road, Allanson is considered appropriate for the site and warrants favourable consideration by Council.

## 4.0 PURPOSE OF THE PROPOSAL

To cater for the growing demand for mobile services, Telstra has embarked on a nationwide rollout to deliver an improved, reliable telecommunications network to the Australian public. The rollout will provide improved mobile coverage and enhanced services in metropolitan, regional and rural areas throughout Australia. This rollout consists of the upgrade of existing telecommunications facilities and where required the installation of new mobile base stations to expand the coverage footprint and offer seamless mobile services.

Additional base stations are required where surrounding facilities cannot provide sufficient coverage to a target area. New facilities are also required when existing base stations are fully utilised and cannot serve additional users in the area. Amplitel and Telstra have undertaken analysis of the Telstra mobile network in Allanson and have identified areas where coverage and network quality needs to be improved. These include existing commercial and residential areas, as well as the future residential areas to the south. If this investment is not made, the following main issues will arise:

1. Users may have difficulty connecting to the mobile network or the call may drop out. This impacts businesses, residents, visitors to the area and the ability of the user to contact emergency services.
2. Users may experience reduced data speeds, longer download times and poor network performance at busy times of the day with data intensive and time sensitive applications (e.g. newscasts, social media, mobile banking, weather forecasts, sports highlights etc).

As noted above, the lack of telecommunications facilities in Allanson does not only deprive existing users of signal, but also puts at risk the availability of 21<sup>st</sup> century services to facilitate residential expansion and growth.

Once a need for improved network performance has been identified, the optimisation of existing facilities throughout the region is explored and undertaken where required. In some cases this option resolves network deficiencies in an area. However, in this situation the optimisation of surrounding facilities has not been able to achieve a satisfactory outcome for the network in Allanson. Further investigations into the use of other Carrier and broadcast facilities within the area have also been completed. This is discussed in the Site Selection Process of this report.



## 5.0 THE NEED FOR THE PROPOSAL

Access to wireless services is a critical requirement in the modern era. While Australia has among the fastest mobile networks speeds across the globe, there is an identified coverage disparity between urban and rural areas. This disparity is due to the population concentration in urban areas, with existing wireless services covering 99% of the population but only 33% of the total landmass. As a result, major transport routes and large landholdings miss out on the critical wireless services available in urban areas.

While satellite services for mobile phone and data are available in some rural areas, the steep cost for landholders, unreliability and low data caps are all significant impediments to their daily use.

The 2018 Regional Telecommunications Review (the **Edwards Review**) brought these issues into clear focus, with important findings relating to:

- economic benefits; and
- social benefits

The Edwards Review found that economic benefits in regional areas are increasingly linked to wireless services, with regional businesses in a weak position to take advantage of new digital applications and economic opportunities. The Australian Government Response to the review strengthened this argument, stating that *"digital agriculture could increase the gross value of Australian agricultural production by \$20.3 billion, a 25% increase over 2014-15 levels. The greatest gains are expected to come from remote monitoring, automation, better tailoring of inputs such as fertiliser and seed, and environmental benefits such as efficiencies in water and pest management"*.

Tourism is often touted as a key asset to Australia as a whole, with the emerging areas of agri-tourism and eco-tourism combining with the rich and unique history and experiences available in outback areas to provide new economic opportunities for regional areas. Connectivity is a driver of such economic opportunities, even in rural areas. Data from Tourism Australia shows that 289 million visitor nights were spent in regional Australia in 2017, up from 234 million in 2012. The Edwards Report includes first-hand examples from regional tourism operators on the challenges they have faced and how technologies have or could improve their businesses.

The education opportunities in regional areas of Australia have lagged behind those in urban areas for several decades (Karmel. 1973 and Lamb et al. 2014). The need to send children and young adults to cities to obtain the education available in urban areas was long seen as a necessity. The advent of digital education services has proven a boon in ensuring that families in regional areas can stay together while still receiving a high-quality education. Irrespective of students being educated via distance or at local schools, education is increasingly digital. With video being a key component of lessons, access to wireless services is essential.

Social cohesion and connectivity are another important aspect of the digital age. Expanded wireless services allow for regional and rural communities more options to communicate with each other and with relatives and/or friends in other cities and countries. Additionally, rural and remote communities are less likely to have access to a range of health care services (Rural Health Standing Committee, 2016: National Strategic Framework for Rural and Remote Health). Given the natural hazards such as drought, bushfires and floods that are a frequent and ongoing occurrence in Australia, access to mental health services can be of critical importance. Wireless

services allow for more communications opportunities in regional areas and opens additional avenues for mental health services (National Mental Health Commission, 2018).

Wireless services are also important for safety reasons, particularly in relation to the aforementioned natural hazards present in Australia. The 2017-2018 ACMA Communications Report showed that in 2017-2018 there were nine (9) million calls made to emergency services numbers, and increase of 4.8 per cent from 2016-2017, with the majority made from mobile phones. This increase in emergency numbers calls from mobile phones is a continuing trend, with the share increase by approximately 2-3% on average every year from 2012-2014. In regional and remote communities, where potentially dangerous tasks are undertaken on a daily basis, but where neighbours or family members are oftentimes out of earshot, the ability to call for assistance from a mobile phone can be critical.

The proposal is an important aspect of bridging the digital disparity between denser urban area and regional communities, and in doing so better supporting their communities in a range of areas, including economic, education, social and safety.

## **6.0 MOBILE TELECOMMUNICATIONS NETWORKS**

A mobile telecommunications network is made up of multiple base stations covering a geographic area. They work by sending and receiving radio signals from their antennas to mobile phones and other mobile devices such as tablet computers, wireless dongles etc. Base stations are designed to provide service to the area immediately surrounding the base station which can be up to several kilometers in distance. Depending on the technical objectives of a base station, the physical characteristics of each telecommunications facility; such as its height, number and size of antennas, equipment, cabling etc. will vary.

As a general rule, the higher the antennas of a base station the greater the range of coverage and the ability to relieve capacity issues. If this height is compromised then additional facilities, and thus more infrastructure, will be required for any given locality. The further a facility is located away from its technically optimum position the greater the compromise of the service. This may result in coverage gaps and require additional or taller base stations to provide adequate service.

Each base station transmits and receives signals to and from mobile devices in the area. As the mobile device users move around their devices will communicate with the nearest base station facility to them at all times. If the users cannot pick up a signal, or the nearest base station is congested because it is already handling the maximum number of phone calls or maximum level of data usage, then the users may not be able to place a call, they may experience call "drop outs" or they might experience a slow data rate while attempting to download content.

There are three main factors that can cause the above:

- You may be too far away from a facility to receive a signal, or there may be objects blocking the signal from the nearest facility; such as hills and large trees. To ensure optimum service the radio signals transmitted between the facility's antennas and mobile devices need to be unimpeded, maintaining a "line-of-sight" between them.
- The facility may be transmitting as much data and calls as it can handle. This can result in call drop-outs and slower data rates when too many users are connected to a facility at once.
- The depth of coverage, which affects the ability to make calls inside buildings, may be insufficient in some local areas.

The current proposal will form part of Telstra's 4G and 5G network solution to the Allanson locality and will deliver essential mobile services (voice calling, SMS), as well as live video calling, video-based content including; news, finance and sports highlights, and high-speed wireless internet – wireless broadband. With a coverage footprint of more than 2.1 million square kilometers and covering more than 99% of the Australian population. Telstra's 4GX is Australia's largest and fastest national mobile broadband network and as such requires more network facilities, located closer together to ensure a high-quality signal strength to achieve reliable service and the fastest possible data transfer rates.

## 7.0 SITE SELECTION PROCESS

Amplitel commences the site selection process with a search of potential sites that meet the network's technical requirements, with a view to also having the least possible impact on the amenity of the surrounding locality. Amplitel applies and evaluates a range of criteria as part of this site selection process.

Telstra and Amplitel assess the technical viability of potential sites through the use of computer modelling tools that produce predictions of the coverage that may be expected from these sites as well as from the experience and knowledge of the radio engineers.

There are also a number of other important criteria that Telstra uses to assess options and select sites that may be suitable for a proposed new facility. These take into account factors other than the technical performance of the site, and include:

- The potential to co-locate on an existing telecommunications facility.
- The potential to locate on an existing building or structure.
- Visual impact and the potential to obtain relevant town planning approvals.
- Proximity to community sensitive locations and areas of environmental heritage.
- The potential to obtain tenure at the site.
- The cost of developing the site and the provision of utilities (power, access to the facility and transmission links).

In making the proposal for this site at Allanson, Amplitel has carefully weighed all of the aforementioned criteria. This analysis is detailed in the next section.

## 8.0 CANDIDATE SITES

Amplitel carefully examined a range of possible deployment options in the area before concluding that a new mobile base station at 62 Worsley Back Road, Allanson would be the most appropriate solution to provide necessary mobile phone coverage to the Allanson locality.

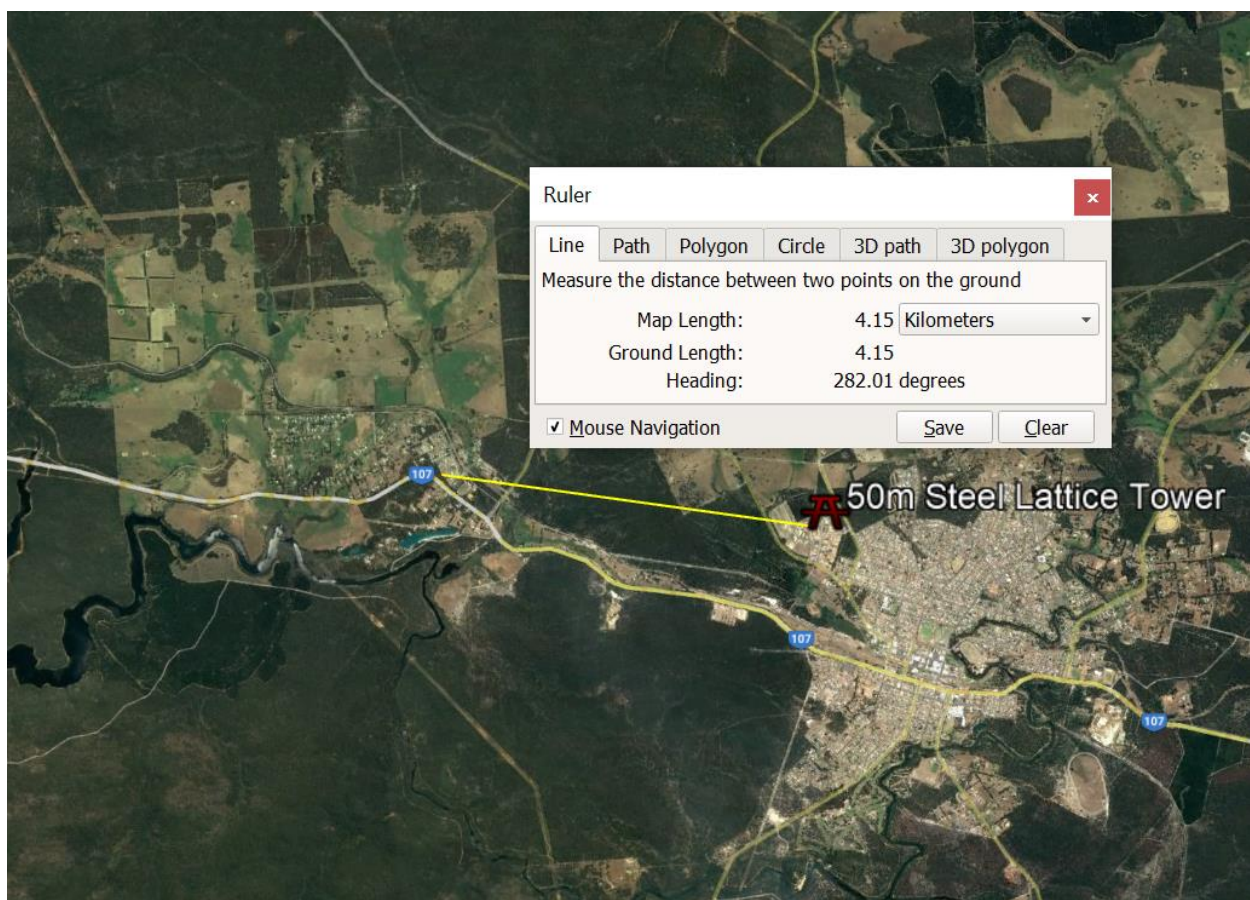
Accordingly, this section of the report will demonstrate the following:

- Colocation opportunities and existing telecommunications infrastructure within proximity to the proposed installation; and
- An analysis of the locations considered when determining an appropriate location for a new telecommunications installation within the required coverage area.

## 8.1 Colocation opportunities

The Communications Alliance Ltd. (formerly Australian Communications Industry Forum Ltd. - ACIF) Industry Code C564:2020 – Mobile Phone Base Station Deployment promotes the use of existing sites in order to mitigate the effects of facilities on the landscape. It should also be noted that as a first preference, Amplitel attempts to utilise, where possible, any existing infrastructure or co-location opportunities. Co-location is the beneficial reuse of an existing tall structure to negate a need for a new tower in the area, with antennas and equipment being placed on the existing tall structure and the immediate ground area. Co-locations will commonly include an existing Telecommunications Facility, but can include tall residential buildings, radio towers, or government assets such as water tanks.

**Figure 1** shows all existing tall infrastructure and existing and proposed telecommunications facilities surrounding within the surrounding area.



**Figure 1:** Location of candidates for co-location Source: [www.rfnsa.com.au](http://www.rfnsa.com.au) and Google Earth

The characteristics of the co-location candidates identified in **Figure 1** are provided below in **Table 1**.

**Table 1:** Summary of co-location opportunities within the Allanson area

RFNSA Site No.	Site Address	Structure type	Is site constructed?	Suitable for co-location?	Comments
6225001	Corner of Marshall St and Rowlands Rd Collie WA 6225	50m Steel Triangular Lattice Tower	Yes	No	Tower in Collie is approximately 4KM away from Allanson town centre and has existing Telstra, Vodafone and Optus antennas on it. It is not able to provide adequate 4G/5G coverage to Allanson centre and surrounds targeted area with an upgrade.

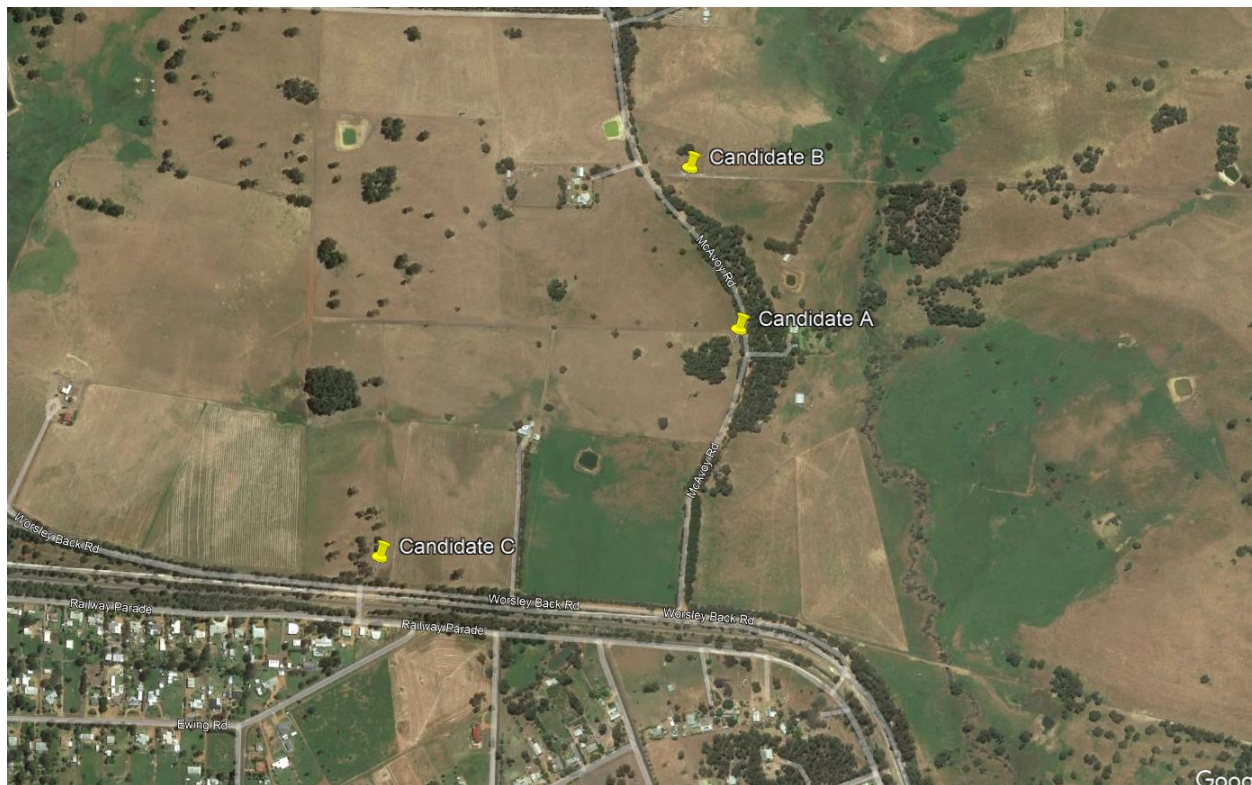
As indicated in **Figure 1**, the closest existing telecommunications facility is located at Corner of Marshall St and Rowlands Rd, Collie WA 6225 (RFNSA 6225001) which is over 4KM from the approximate centre of the targeted coverage area. As this facility is unable to provide coverage to the targeted coverage area it was not considered a feasible co-location option. There are no suitable tall structures in Allanson also which could feasibly support a rooftop co-location also.

## 8.2 Candidates considered

The site selected is deemed to be the most optimal location to achieve the required coverage for the targeted coverage area and requires the installation of a new mobile base station. Alternative candidates were considered, though the rural residential areas, rail and road reserves near the candidates were excluded due to issues with amenity, land size and existing use conflicts. The target coverage area was identified as largely comprising the rural lots North of Worsley Back Road.

**Figure 2** provides a map of the non-colocation candidates considered for the proposed facility. Details on these alternative candidates are further outlined in **Table 2** along with the balance of alternative candidates considered as part of the site selection process.





**Figure 2:** Location of non-colocation candidates Source: Google Earth

**Table 2:** Summary of non-colocation candidates considered

Candidate	Location	Proposal	Zoning	Reason for exclusion/comments
Candidate A	62 Worsley Back Road, Allanson WA 6225 Lat: -33.323743° Long: 116.094080°	Greenfield 40.0m monopole	Rural	This is the preferred candidate and the subject of this application. The subject site keeps great separation from the nearest residences and community sensitive places and achieves the coverage objectives of Telstra.
Candidate B	34 McAvoy Road, Allanson WA 6225 Lat: -33.320947° Long: 116.09295°	Greenfield 40.0m monopole	Rural	This candidate site is furthest from the target coverage area and there were landowner approval constraints.

Candidate C	62 Worsley Back Road, Allanson WA 6225 Lat: -33.327919° Long: 116.086717°	Greenfield 40.0m monopole	Rural	This is considered the back-up candidate site, however it is in closer proximity to residences than the prime Candidate A site and would yield a low to moderate visual impact towards the community.
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### 8.3 Nominated Candidate

A preferred nominated candidate was selected for the proposed facility based on the radiofrequency objectives, property tenure, planning and environmental issues, potential community sensitive uses and engineering criteria as noted above. For this project, co-location on an existing telecommunications facility is not considered feasible and a new macro tower is considered suitable given:

- the site is technically feasible and can achieve Amplitel's coverage and capacity objectives by installing the new mobile base station;
- the site will provide improved coverage to the Allanson area;
- the proposed monopole will be located in a site with favourable zoning;
- the facility will maintain good separation from community sensitive places such as residences and Allanson Primary School;
- the facility will not alter the land use and will support future carrier co-located facilities;
- the site is not located within a register for heritage or environmental conservation;
- the site is appropriately serviced and has access to the electricity supply network and existing transport network;
- the site will require only minimal pruning of vegetation;
- the costs associated with delivering the site and constructing the facility are considered by Amplitel to be reasonable.

As stated above, the site selection process carefully considered environmental and visual constraints, existing and future land use characteristics, the orderly planning of the area and the design of the facility. On balance, it is considered that the location and height of the facility ensure optimal service provision to the area whilst minimising any perceived impacts. The proposed Amplitel site has been sited and designed to minimise any adverse impact on the amenity of the surrounding locality. The site is located at a private property away from sensitive sites such as schools, childcare centres, clusters of residences and is not within an identified heritage area.

As a result of the aforementioned points it is considered that the siting and design effectively responds to the landscape setting in the area.

### 8.4 Site context

The proposed facility is located North of the Allanson township, inside the local planning scheme map '03' for Collie6 Allanson-Townsite-West.



The subject property is the large rural lot at 62 Worsley Back Road, Allanson. The entrance to the property is taken directly off Worsley Back Road. Within the large 400,927m<sup>2</sup> lot is the principle residence at the centre of the lot, access tracks and a sparse distribution of trees with denser clusters around the NE and NW pocket of the LOT. The adjacent lots to the North, East and West of the site are similarly large, spacious rural lots. South of 62 Worsley Back Road property are several rural residential zoned land parcels, a couple vacant, which are separated from the subject property by the tree lined rail and road reserve.

The nearest farm residence to the monopole will be the 34 McAvoy rural property approximately 100m away. The proposed monopole is otherwise approximately 700m in distance from the nearest rural residential zoned property and 1,300m from Allanson Primary School. Other than the school identified, there are no other community sensitive places of interest to have regard for.

The subject site itself is also covered fully by the 'Bevans Dairy' municipal inventory item (Place no. 06315) a large curtilage area which also fully intersects the adjacent lot east of the site. The item is excluded from the WA heritage register and is no longer considered to have any cultural heritage significance. It is retained as a record in the inventory only for information purposes.



**Figure 3:** Aerial view of subject site and surrounds Source: Google Earth, 2022

The subject site at 62 Worsley Back Road, Allanson is surrounded by reserves, undeveloped land, low lying residential and light industrial uses. The with specific cardinal borders are provided in **Table 3**

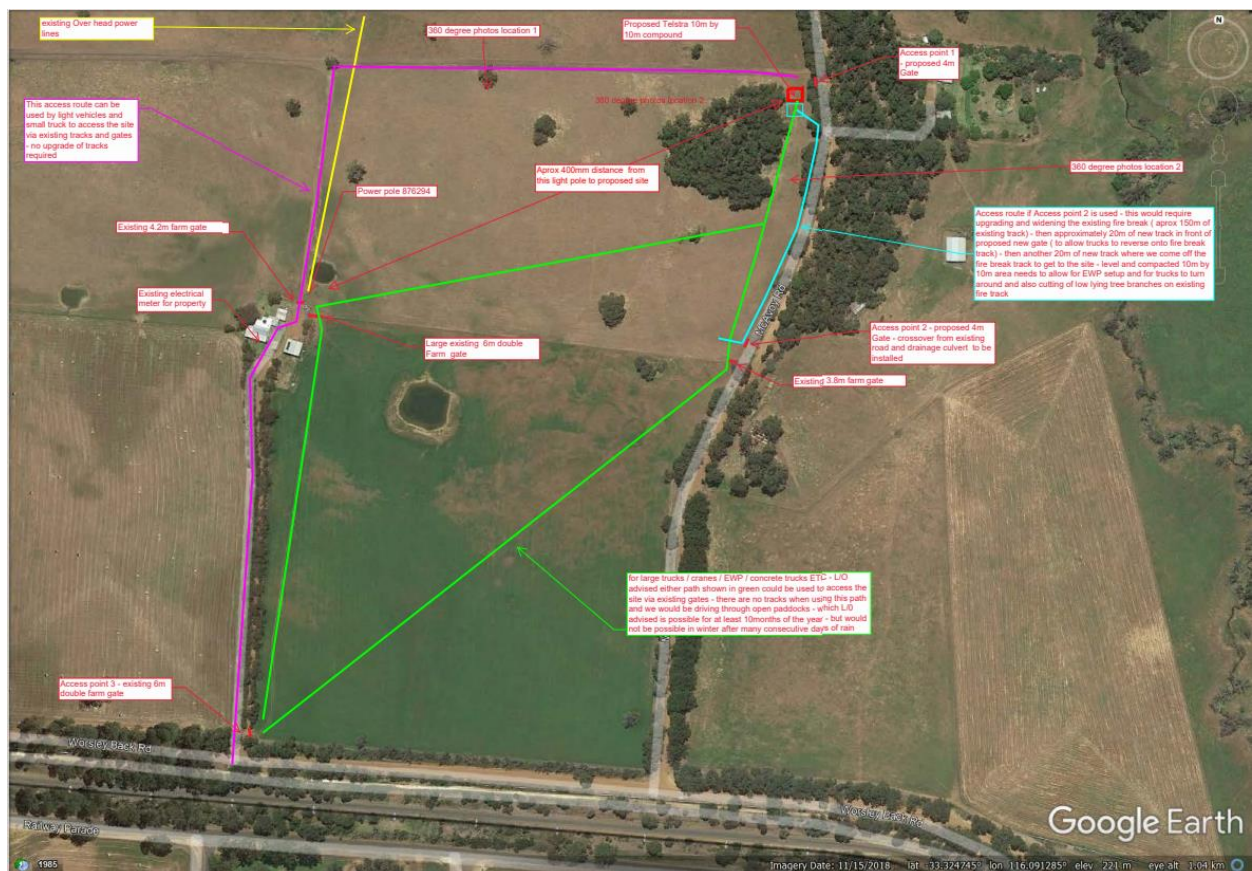
**Table 3:** Summary of adjoining land uses

North	Rural.
East	Rural.
South	Rural Residential.
West	Rural.

The surrounding area can be described as being rural farmland with a sparse distribution of shrubbery and flat terrain.

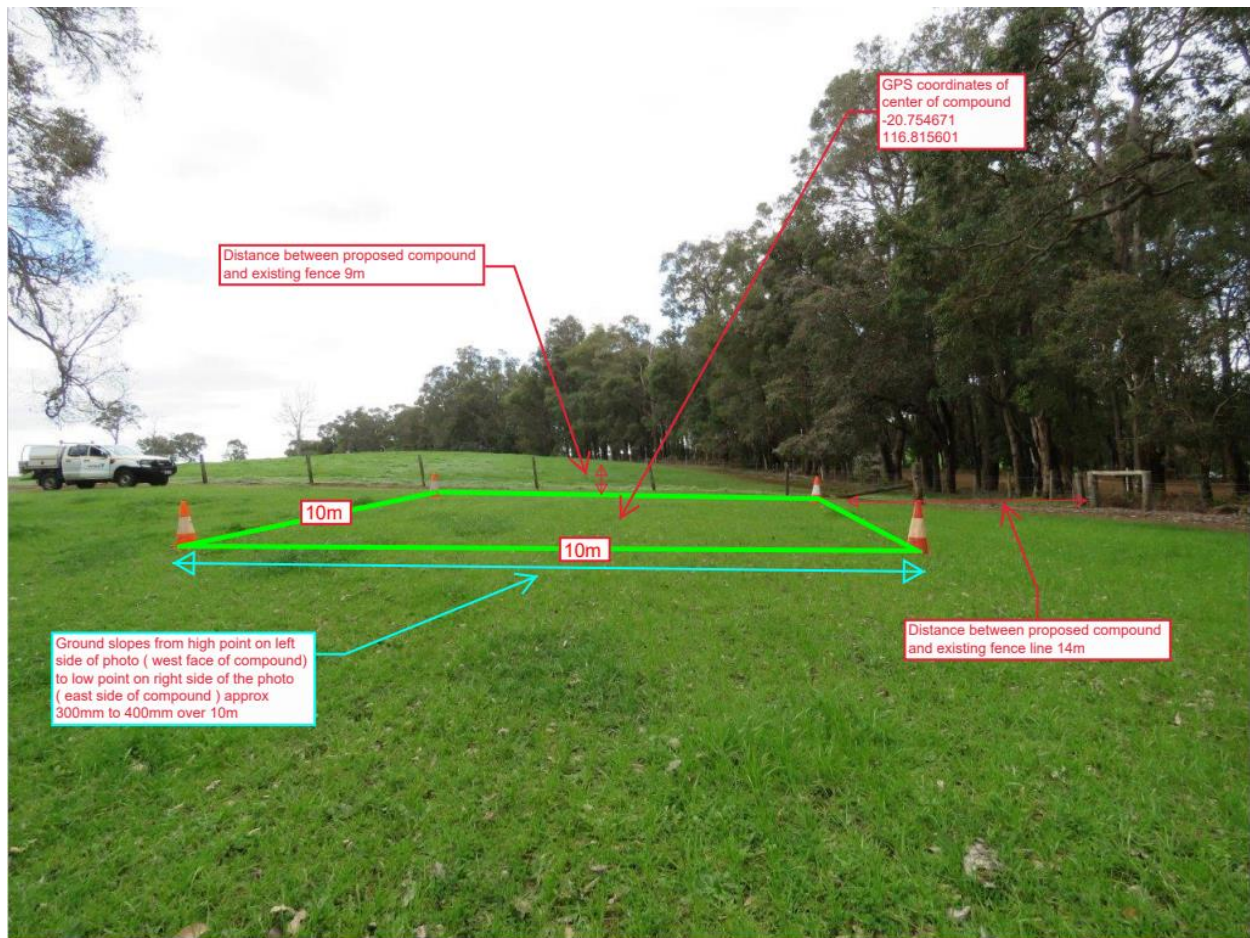
## 8.5 Site details

Site Details	
Site address	62 Worsley Back Road, Allanson WA 6225
Real property description	Lot 2 on Diagram Plan 61355
Coordinates	-33.323743, 116.094080
Site area	400,927m <sup>2</sup>
Registered owner	Michael Andrew Sherwood of Allanson Post Office
Existing land use	Rural
Vegetation	Predominantly green pastures with a low density of moderate to tall trees
Topography	The proposal area is relatively flat
Services	Site has access to power and an existing access.



**Figure 4:** Subject site for Amplitel proposal - Google Earth Markup – 62 Worsley Back Road, Allanson Source: Google Earth 2022





**Figure 5:** Subject site for Amplitel proposal (looking North towards subject site) – 62 Worsley Back Road, Allanson Source: Ventia 2022

**Figure 6** to **Figure 9** show the area to be a secluded area away from the built environment, surrounded by trees.





**Figure 6** View from the Southern face of the proposed compound looking North Source:  
Ventia 2022



**Figure 7** View from the Western face of the proposed compound looking East Source:  
Ventia 2022





**Figure 8** View from the Northern face of the proposed compound looking South Source:  
Ventia 2022



**Figure 9** View from the Eastern face of the proposed compound looking West Source:  
Ventia 2022

## 9.0 PROPOSAL DETAILS

The proposal is necessary to provide improved 4G and 5G telecommunications services within the Allanson area. The proposal is part of Telstra's network coverage expansion program but through Amplitel will support additional Carriers to co-locate on the proposed structure.

### 9.1 Facility and Equipment Overview

The proposed telecommunication installation requires the following works:

- Installation of one (1) new 40m high monopole;
- Installation of one (1) triangular headframe;
- Installation of six (6) new panel antennas (no greater than 2.8m in length);
- Installation of one (1) Telstra Equipment Shelter that is not more than 3m high with a base area of not more than 7.5m<sup>2</sup> at the base of the aforementioned tower;
- Installation of associated ancillary cabling and equipment; and
- Installation of a 10m by 10m fenced compound.

The proposed monopole will be an unpainted/untreated galvanized grey in colour so that it blends in with the sky backdrop. This is considered appropriate given the low level of visual impact from the proposed facility. The proposed Telstra equipment shelter will utilise a pale eucalypt colour as the green-coloured facility will better match surrounding shrubbery and natural features.

The proposal is demonstrated through the proposal plans, attached in **Appendix A**.

### 9.2 Access, traffic and parking

The subject site has a dirt access track accessible from a 6m double farm gate off Worsley Back Road from the Southern lot boundary. (**Figure** ).





**Figure 10** Existing and future access to subject site Source: Nearmap 2022

Access to the facility for light vehicles and small trucks will be via the existing dirt access route off Worsley Back Road which will not need to be upgraded. (**Figure** ). For all large trucks, cranes, EWP, concrete trucks, etc they will need to drive across the lot towards the proposed compound without using the access track. Please see **Appendix F** for more detail.



**Figure 11** The existing 6m double farm gate accessible from the Southern lot boundary off Worsley Back Road: Ventia 2022





**Figure 12** Space for temporary crane and works setup near the proposed 10m x 10m Amplitel compound *Source: Ventia 2022*

To facilitate construction works and enhance existing access for infrequent future maintenance inspections, Amplitel proposes to widen the existing 2m firebreak parallel to McAvoy Road so that it is 3.5m wide. Amplitel will also add 20m of new 3.5m wide gravel access track from the firebreak to the EWP setup area and 15m of new 6m wide gravel access track to allow for EWP vehicle to rotate and reverse onto firebreak from the grass area.

Mobile phone base stations require only infrequent maintenance visits (i.e. only two (2) to four (4) times per year). Furthermore, the site will operate on a continually unmanned basis. As such, the proposal will not be a significant generator of vehicular and/or pedestrian traffic. Dedicated parking spaces are therefore not considered necessary for the site given the very low traffic generation of the site and the unmanned nature of the site.

During the construction phase various vehicles will be used to deliver equipment and construct the proposed development. Any traffic impacts associated with construction and establishment will be of a short-term in duration (i.e. approximately five weeks over non-consecutive periods) and will be temporary in nature and will not affect existing traffic flows of the surrounding area. In the unlikely event that road closure is required Telstra will apply to the relevant authorities for permission.

### 9.3 Utilities

The proposal will involve a new below ground fibre and electrical route which connects with the existing meter pole on the subject property and a new electrical and fibre pit proposed along the route.

The unmanned nature of the proposed mobile base station removes the need for connection to water or sewer services.

Furthermore, the proposal incorporates very minimal hard surfaces and therefore will generate insignificant stormwater runoff from the site. As such, the proposal does not require connection to the stormwater network.

### 9.4 Construction schedule

The construction of the mobile base station will take approximately five to six weeks over non-consecutive periods, subject to weather.

The construction of the proposed mobile phone base station primarily consists of the following processes:

- Site preparation and foundation earthworks – Including site clearing and access track preparation;
- Tower foundation installation – Concreting of foundations and installation of underground conduits;
- Tower assembly including head frame and equipment shelter – Crane on site for duration of tower assembly;
- Installation of new equipment using an EWP and laying of cabling – reflective of the scope of works outlined within this Development Application; and
- Network Integration – Ensuring that the mobile phone base station can connect with both end users and other sites within the Telstra network.

No road closures will be required for the erection and installation of equipment, as all construction equipment can be set up on the subject property away from traffic.

### 9.5 Acoustic

Noise and vibration emissions associated with the proposed facility would be limited to the construction/demolition phase outlined above. The works are to be concluded in a timely manner with construction occurring over a period of 4 weeks, so that residents of the surrounding rural lots should not be inconvenienced in the long term.

During normal operation the noise emanating from the air- conditioning equipment would be similar to those used in domestic situations and will comply with the background noise levels given in *Australian Standard AS 1055*.

## 10.0 RELEVANT FEDERAL LEGISLATION

The following information provides a summary of the Federal legislation relevant to telecommunications deployment.

While Amplitel is not a Carrier itself, it is part of the Telstra Group and the proposed facility will serve Telstra initially. As a licensed telecommunications carrier, Telstra must operate under the provisions of the *Telecommunications Act 1997* and the following legislation and industry codes:

- The Telecommunications Code of Practice 2018;
- The Telecommunications (Low-impact Facilities) Determination 2018 (as amended);
- Mobile Phone Base Station Deployment Code; and
- The Environment Protection and Biodiversity Conservation (EPBC) Act 1999

## 10.1 Telecommunications Act 1997

The *Telecommunications Act 1997* (the Act) came into operation on 1 July 1997. The Act provides a system for regulating telecommunications and the activities of carriers and service providers. The aim of the *Telecommunications Act 1997* is to provide a regulatory framework that promotes:

- The long-term interests of end users of carriage services or of services provided by means of carriage services; and
- The efficiency and international competitiveness of the Australian Telecommunications Industry.

Under the Act, telecommunications carriers are no longer exempt from State and Territory planning laws except in three limited instances:

1. There are exemptions for the inspection of land, maintenance of facilities, installation of “low impact facilities”, subscriber connections and temporary defense facilities. These exemptions are detailed in the Telecommunications (Low-impact Facilities) Determination 2018 and these exemptions are subject to the Telecommunications Code of Practice 2018;
2. A limited case-by-case appeals process exists to cover the installation of facilities in situations of national significance; and
3. There are some specific powers and immunities from the previous Telecommunications Act 1991.

## 10.2 Telecommunications Code of Practice 2018

The Telecommunications Code of Practice 2018 (The Code) authorizes a carrier to enter land, inspect land and install and maintain a facility. The Code emphasizes “best practice” for the installation of facilities, compliance with industry standards and minimization of adverse impacts, particularly in terms of degradation of the environment and visual impact. The proposal is considered to comply with “best practice” given the proposal will:

- provide improved telecommunications and wireless internet coverage in the Allanson area;
- be located on a non-residential site within the local area, which maximizes separation to residential and other sensitive uses; and
- Comprises the smallest configuration possible for the site to reduce the visual impact of the proposal, while providing appropriate coverage to the surrounding area.

## **10.3 Telecommunications (Low-impact Facilities) Determination 2018**

The *Telecommunications (Low-impact Facilities) Determination 2018* came into effect in March 2018.

The *Determination* contains a list of Telecommunications Facilities that the Commonwealth will continue to regulate. These are facilities that are essential to maintaining telecommunications networks and are unlikely to cause significant community disruption during their installation or operation. These facilities are therefore considered to be 'Low-impact' and do not require planning approval under State or Territory laws.

The proposed facility at Allanson does not fall under the *Determination* and, therefore, requires approval under State planning legislation.

## **10.4 Communications Alliance Ltd. Industry Code C564: 2020 – Mobile Phone Base Station Deployment**

The Communications Alliance Limited – *Mobile Phone Base Station Deployment C564:2020* (the Deployment Code) is an industry code of practice registered by the Australian Communications and Media Authority. All licensed telecommunications carriers must abide by the Deployment Code provisions.

The code does not change any regulations at a local, State or Federal level, but supplements these regulations applying to telecommunications carriers, including Telstra. The code sets guidelines for site selection, community consultation, design, installation and operation of telecommunication facilities.

The subject proposal, not being designated a 'Low-impact' Facility', is not subject to the notification or consultation requirements associated with the Deployment Code. These processes are handled within the relevant State and Local consent procedures.

Though the Code does not apply to the proposed development, the intent of the Code is to ensure Carriers follow a 'precautionary approach' to the siting of infrastructure away from sensitive land uses and this approach has been followed in the selection of this site, as demonstrated in the *Deployment Code* section 4.1 and 4.2 Precautionary Approach Checklists. The checklists will be uploaded to the RFNSA website, reference number 6044002.

Included in this section's Checklist is a statement of how the public's exposure to EME from the site has been minimised. All emissions from the site will be well within the requirements of the relevant Australian Standard. Details of this standard are contained in the following section.

This site has been selected and designed to comply with the requirements of the *Deployment Code* in so much as the precautionary approach has been adhered to and, as a result, the best design solution has been achieved.



## 10.5 Environment Protection and Biodiversity Conservation Act 1999

The *Environment Protection Biodiversity Conservation Act 1999* (the EPBC Act) controls matters of national environmental significance. The key objectives of the EPBC Act include:

- a. "To provide for the protection of the environment, especially those aspects of the environment that are matters of national environmental significance; and
- b. To promote ecologically sustainable development through the conservation and ecologically sustainable use of natural resources; and
- c. To promote the conservation of biodiversity; and
- d. To provide for the protection and conservation of heritage..."

Amongst other aspects, the EPBC Act relates to matters of national environmental significance, including world heritage areas, natural heritage places (including declared RAMSAR wetland areas), listed threatened species in communities, listed migratory species, protection of environment on nuclear actions, and environment matters.

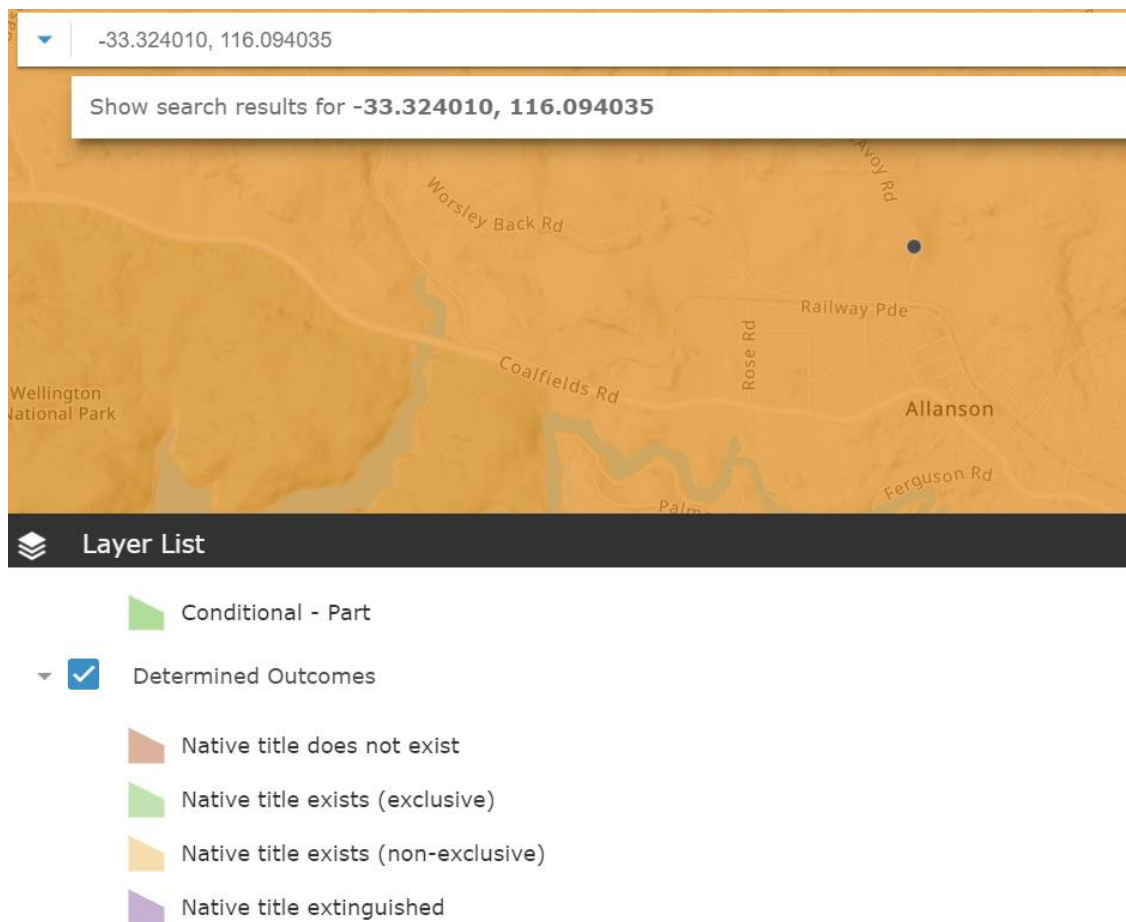
The proposal is **not** identified as having a significant impact on any of the above matters of national environmental significance. Therefore, the proposal will not require a referral to the Government Minister for the Environment for assessment.

## 10.6 Native Title Act 1993

The *Native Title Act 1993* (the **Native Title Act**) was given effect on 1 January 1994 and recognises the rights and interests of Aboriginal and Torres Strait Islander people in land and waters according to their traditional laws and customs. The Native Title Act also sets out processes through which development as a Future Act can proceed with regards to the rights and interests of Traditional Owners.

The subject site is identified on a site that is the subject of a single Native Title claim. (WCD2021/010 & WCD2021/010) A determination was made 1<sup>st</sup> and 3<sup>rd</sup> of December, 2021 that Native Title does not exist over the claim area (**Figure 13**).

Under section 23B of the Native Title Act, native title can be extinguished by previous exclusive possession, where that previous exclusive possession includes a grant or vesting that was granted or created on or before 23 December 1996. The current land title shows the land has been freehold since before this date. Accordingly, Native Title is not considered to be extinguished based on previous exclusive possession under the existing Title.



**Figure 13:** Excerpt of Native Title Tribunal Vision showing relevant Native Title determination in area surrounding subject site Source: *Native Title Tribunal Vision*, 2023

## 11.0 STATE REGULATORY FRAMEWORK

The following information provides a summary of the State legislation/guidelines relevant to telecommunications development proposals.

### 11.1 Aboriginal Heritage Act 1972

The Aboriginal Heritage Act 1972 (the **Aboriginal Heritage Act**) is the main piece of legislation within Western Australia with regards to Aboriginal cultural heritage. The Aboriginal Heritage Act sets out the requirements for ensuring that Aboriginal heritage is appropriately identified and protected.

Under the Aboriginal Heritage Act the Western Australian must maintain an Aboriginal Sites Register where specific places of importance and significance to Aboriginal people are recorded and protected by Law.

Section 5 of the Aboriginal Heritage Act defines an Aboriginal site as:

a) Any place of importance or significance where people of Aboriginal descent have, or appear to have, left any object, natural or artificial, used for, or made or adapted for use for, any purpose connected with the traditional cultural life of Aboriginal people, past or present;



b) Any sacred, ritual or ceremonial site, which is of importance and special significance to people of Aboriginal descent;

c) Any place which, in the opinion of the committee, is or was associated with Aboriginal people and which is of historical, anthropological, archaeological or ethnographical interest and should be preserved because of its importance and significance to the cultural heritage of the State; and

d) Any place where objects to which this Act applies are traditionally stored, or to which, under the provisions of the Act, such objects have been taken or removed.

As a result of this definition a breach of Section 17 of the Aboriginal Heritage Act occurs when a person excavates, destroys, damages, conceals or in any way alters any Aboriginal site; or who deals with in a manner not sanctioned by relevant custom, or assumes the possession, custody or control of, any object on or under an Aboriginal site, commits an offence unless he is acting with the authorization of the Registrar under Section 16 or the consent of the Minister under Section 18.

Regulation 10 Consent can be granted by authorization by the Registrar or Minister under the AHA, usually granted for non-deleterious, site-preservation land uses (rehabilitation) or in emergencies. Aboriginal sites broadly fall into two categories, archaeological and anthropological or ethnographic sites. Archaeological sites are generally where material evidence of Aboriginal people's traditional cultural life is found. Sites of this type consist of artefact scatters, stone structures, marked trees, fish traps, middens, cave or rock paintings/engravings, arranged stones and burial sites. Most archaeological sites are prehistoric, but some are also more contemporary in nature and are where Aboriginal cultural material objects from the post settlement period are found.

Ventia has conducted an assessment of the area against the Aboriginal Heritage Due Diligence guidelines (the **Guidelines**), as published originally by the Department of Aboriginal Affairs & Department of the Premier and Cabinet. This assessment considered that the Aboriginal Heritage Inquiry System shows that the works area is approximately 250m West from the public boundary of Collie River Waugal (Registered Aboriginal Site ID 16713) however as it is not within the actual boundary as administered by DPLH, it is therefore immune from approvals under the *Aboriginal Heritage Act 1972*.

Given the site has been subject to previous disturbance with the clearing of vegetation for access tracks and rural land uses, it is considered less likely that aboriginal relics could be unearthed during the works.

The area where works (including ground disturbance) are proposed (the **works area**) is just a 100m<sup>2</sup> (10m x 10m) area of land located at 62 Worsley Back Road, Allanson and the site is not in close proximity to other potential risk factors including freshwater, elevated lookouts, exposed stone or rock and other relevant factors.

This assessment has determined the area is not of high or medium risk for aboriginal heritage, therefore the works may proceed without further approval.

## 11.2 Planning and Development Act 2005

The Minister of Planning and Infrastructure has ultimate authority for town planning in Western Australia. Development within Western Australia is controlled by the *Planning and Development Act 2005* through the application of environmental planning instruments. Under the *Planning and*

Development Act 2005, the Western Australian Planning Commission (**WAPC**) is the responsible authority for land use planning and development matters and this report seeks to demonstrate compliance with the WAPC and other items of relevant legislation which pertain to the subject application.

## 11.3 State Planning Policy No. 5.2 – Telecommunications Infrastructure (WAPC)

State Planning Policy 5.2: Telecommunications Infrastructure Policy aims to balance the need for effective telecommunications services and effective roll-out of networks, with the community interest in protecting the visual character of local areas. The SPP applies for above and below telecommunications infrastructure, other than those exempted under the Commonwealth Telecommunications Act 1997.

Under section 5.1.1 of the State Planning Policy 5.2: Telecommunications Infrastructure Policy the West Australian Planning Commission provides a set of measures in assessing the visual impact of a proposed telecommunications facility.

An assessment of these guidelines below has found that the proposed Telstra Mobile Phone Base Station is compliant with the intent and requirements of the State Planning Policy 5.2: Telecommunication Infrastructure Policy.

**Table 5:** Assessment against State Planning Policy 5.2, Policy Measure 5.1.1

Measures	Comments	Complies
Be located where it will not be prominently visible from significant viewing locations such as scenic routes, lookouts and recreation sites;	The proposed 40m monopole has been sited to maintain the primary use of the land whilst considering the impact to the surrounding locality. The site carefully considered environmental and visual constraints, existing and future land use characteristics, the orderly planning of the area and the design of the facility. On balance, it is considered that the location and height of the facility ensure optimal service provision to the area whilst minimising any perceived impacts. Furthermore, the proposed 40m facility will have the height to allow numerous other Carriers to co-locate in the future which helps to reduce the need for more structures to be built in the area which in turn helps to reduce impacts upon the amenity of the area.	✓
Be located to avoid detracting from a significant view of a heritage item or place, a landmark, a streetscape, vista or a panorama, whether viewed from public or private land;	Amplitel has selected a site and location that seeks to minimise perceived negative impacts on the visual amenity of the area. In doing that, it has settled on a specific location within the private lot at 62 Worsley Back Road. The proposed 40m monopole will be placed remotely within an area significantly concealed from by several surrounding 15-25m high trees, with a couple as high as 30m tall. It will be positioned several hundred metres north from the tree lined Worsley Back Road and Rural Residential lots to the south. As such it will yield very little visual impact on Allanson's streetscapes and residents. The 'Bevans	✓

	Dairy' municipal heritage item (Place No. 06315) overlaying the site is also no longer considered to have any cultural heritage significance, therefore neither this large curtilage area or individual heritage items further south will be have their heritage significance detracted from.	
Not be located on sites where environmental, cultural heritage, social and visual landscape values may be compromised;	The 'Bevans Dairy' municipal heritage item (Place No. 06315) overlaying the site is no longer considered to have any cultural heritage significance and the chosen compound area for the new monopole and shelter keeps great separation from individual historic heritage items further south. The proposal also will not be visually prominent from the nearest residences. Any visual impact has been mitigated through a variety of design elements along with existing visual buffers present surrounding the location.	✓
Display design features, including scale, materials, external colours and finishes that are sympathetic to the surrounding landscape;	The proposed 40m concrete monopole will remain unpainted (dull grey in colour) blending in with the sky, trees and powerlines from a distance as it will have a slimmer body than the typical lattice tower. The proposed ICS equipment shelter will not be more than 3m high or have a base area exceeding 7.5m <sup>2</sup> and will be coloured a bland pale eucalypt shade so that it sits unremarkably among the surrounding shrubbery and blends in.	✓
Be located where it will facilitate continuous network coverage and/or improved telecommunications services to the community;	The proposed location at 62 Worsley Back Road is strategically well positioned within the candidate search area and will provide improved and continuous coverage to the locality, also providing other Carriers with the opportunity to co-locate their infrastructure in the future.	✓
Telecommunications infrastructure should be co-located and whenever possible: Cables and lines should be located within an existing underground conduit or duct; and Overhead lines and towers should be co-located with existing infrastructure and/or within an existing infrastructure corridor and/or mounted on existing or proposed buildings.	As per Section 7 of this report, no suitable opportunities for co-location were identified in the area and it has been identified that the proposed Amplitel site location is seen as the preferred site location. Colocation was investigated; however, the locations are too far from the subject area to meet the coverage objectives of the project or lack the structural capacity to support a new headframe, panel antennas and other facilities.  Therefore, it has been identified that the area of land at the 62 Worsley Back Road reserve is seen as the preferred site location. As mentioned previously, the proposed Amplitel monopole will also provide other Carriers with the opportunity to co-locate their infrastructure in the future.  Overhead lines are not applicable to this application.	✓

Overall, the proposed development application is consistent with the intent and requirements of the SPP 5.2.

## 11.4 Statement of Planning Policy No. 5.2 – Telecommunications Infrastructures (WAPC)

With the gazettal of State Planning Policy 5.2, the WAPC *Statement of Planning Policy No. 5.2 – Telecommunications Infrastructure* (Statement 5.2) has been repealed. However, it is recognised that the Statement 5.2 provides a more holistic set of criteria than SPP 5.2 which largely focuses on visual impacts. Given this, an assessment of the guiding principles of Statement 5.2 is provided in **Table 6**.

**Table 6** Assessment against Statement 5.2 Guiding Principles

Principles	Comments	Complies
There should be a co-ordinated approach to the planning and development of telecommunications infrastructure, although changes in the location and demand for services require a flexible approach.	Telstra undertakes a carefully co-ordinated and planned approach to the development of their network.	✓
Telecommunications infrastructure should be strategically planned and co-ordinated, similar to planning for other essential infrastructure such as networks and energy supply.	<p>The proposed facility is strategically planned and co-ordinated to ensure that the facility will provide high level coverage to the Allanson area.</p> <p>The proposed facility will allow for future co-location by other telecommunication providers, ensuring no other similar scale facilities are required in the future to provide essential telecommunication services.</p>	✓
Telecommunications facilities should be located and designed to meet the communication needs of the community.	The proposed facility is strategically planned and co-ordinated to ensure that the facility will provide high level coverage to the Allanson area.	✓
Telecommunications facilities should be designed and sited to minimise any potential adverse visual impact on the character and amenity of the local environment, in particular, impacts on prominent landscape features, general views in the locality and individual significant views.	The proposed 40m monopole has been sited to maintain the primary use of the land whilst considering the impact to the surrounding locality. The site carefully considered environmental and visual constraints, existing and future land use characteristics, the orderly planning of the area and the design of the facility. On balance, it is considered that the location and height of the facility ensure optimal service provision to the area whilst minimising any perceived impacts. Furthermore, the proposed 40m facility will have the height to allow numerous other Carriers to co-locate in the future which helps to reduce the need for more structures to be built in the area which	✓

	in turn helps to reduce impacts upon the amenity of the area.	
Telecommunications facilities should be designed and sited to minimise impacts on areas of natural conservation value and places of heritage significance or where declared rare flora are located.	<p>The proposed telecommunications facility will not be located within an environmentally sensitive area and is approximately 250m West from Collie River Waugal (Registered Aboriginal Site ID 16713) outside the boundaries of the Aboriginal heritage site administered by DPLH.</p> <p>Minimal trimming of some tree limbs parallel to McAvoy Road near the existing firebreak may be required for the upgrade and extension of a track towards the compound for future and infrequent maintenance inspections. None of the affected flora is regulated or identified as belonging to a threatened or priority ecological community.</p> <p>The 'Bevans Dairy' municipal heritage item (Place No. 06315) overlaying the site is also no longer considered to have any cultural heritage significance, therefore neither this large curtilage area or individual heritage items further south will have their heritage significance detracted from by the proposed works.</p>	✓
Telecommunications facilities should be designed and sited with specific consideration of water catchment protection requirements and the need to minimise land degradation.	Prior to the commencement of work Telstra will undertake such measures as deemed necessary by Council to effectively protect water catchments within the immediate area.	✓
Telecommunications facilities should be designed and sited to minimise adverse impacts on the visual character and amenity of residential area.	The proposed 40m concrete monopole achieves exceptional separation from residences South of Worsley Back Road in Allanson as majority of the land within the search area was large private lots zoned as rural. The nearest rural residential zoned property is 700m South from the proposed works. The nearest house is approximately 100m East in the adjoining rural lot, however both this residence and tower will be separated by a 80m wide strip of dense shrubbery varying in height from 15m to 25m. This will significantly conceal views towards the slim neutral grey coloured monopole.	✓
Telecommunications cables should be placed underground, unless it is impractical to do so and there would be no significant effect	Overhead cabling is not proposed for this site.	N/A

on visual amenity or, in the case of regional areas, it can be demonstrated that there are long-term benefits to the community that outweigh the visual impact.		
Telecommunications cables that are installed overhead with other infrastructure such as electricity cables should be removed and placed underground when it can be demonstrated and agreed by the carrier that it is technically feasible and practical to do so.	This principle does not apply to the subject of this application.	N/A
Unless it is impractical to do so telecommunications towers should be located within commercial, business, industrial and rural areas and areas outside identified conservation areas.	The proposed site is a 'Rural' lot as identified by the <i>Shire of Collie Local Planning Scheme No. 6</i> . As the candidate search ring overlayed predominantly within a few large rural lots north of Worsley Back Road, it is considered that the siting of the prime candidate at the NE corner of the subject lot adjoining the neighbouring Rural lots effectively mitigates the proposal from being visually prominent to the nearest houses of the rural lots in the immediate vicinity. This is achieved with the aid of existing shrubbery to act as a visual buffer, as opposed to placing the structure elsewhere within many sections of the open paddocks.	✓
The design and siting of telecommunications towers and ancillary facilities should be integrated with existing buildings and structures, unless it is impractical to do so, in which case they should be sited and designed so as to minimise any adverse impact on the amenity of the surrounding area.	As per Section 7 of this report, no suitable opportunities for co-location were identified in the area and it has been identified that the proposed Amplitel site location is seen as the preferred site location. Colocation was investigated; however, the existing structures explored were either too far from the subject area to meet the coverage objectives or lacked both the structural integrity and capacity to host the new Telstra facilities proposed, let alone other future carrier co-located facilities.	✓
Co-location of telecommunications facilities should generally be sought, unless such an arrangement would detract from local amenities or where operation of the facilities would be significantly compromised as a result.	As per Section 7 of this report, no suitable opportunities for co-location were identified in the area and it has been identified that the proposed Amplitel site location is seen as the preferred site location. Colocation was investigated; however, the existing structures explored were either too far from the subject area to meet the coverage objectives or lacked both the structural integrity and capacity to host the new Telstra facilities proposed, let alone other future carrier co-located facilities.	✓



Measures such as surface mounting, concealment, colour co-ordination, camouflage and landscaping to screen at least the base of towers and ancillary structures, and to draw attention away from the tower, should be used, where appropriate, to minimise the visual impact of telecommunications facilities.	<p>The proposed 40m concrete monopole will remain unpainted (dull grey in colour) blending in with the sky, trees and powerlines from a distance as it will have a slimmer body than the typical lattice tower.</p> <p>The proposed ICS equipment shelter also will not be more than 3m high or have a base area exceeding 7.5m<sup>2</sup> and will be coloured a bland pale eucalypt shade so that it sits unremarkably among the surrounding shrubbery and blends in.</p>	✓
Design and operation of a telecommunications facility should accord with the licensing requirements of the Australian Communications Authority, with physical isolation and control of public access to emission hazard zones and use of minimum power levels consistent with quality services.	Telecommunications facilities include radio transmitters that radiate electromagnetic energy (EME) into the surrounding area. The levels of these electromagnetic fields must comply with safety limits imposed by the Australian Communications and Media Authority (ACMA, previously ACA). All Telstra installations are designed to operate within these limits.	✓
Construction of a telecommunications facility (including access to a facility) should be undertaken so as to minimise adverse effects on the natural environment and the amenity of users or occupiers of adjacent property and to ensure compliance with relevant health and safety standards.	During construction Telstra contractors will endeavour to minimise the impact of their works on the amenity of the nearest residents and on the surrounding environment. As the proposed site adjoins an access track separating a neighbouring lot and is located in a section of the rural lot surrounded by dense tall clusters of tall trees, adverse effects on the nearest properties will be minimal. Following construction, maintenance (excluding emergency repair work) activities should not interfere with the amenity of users. All Health and Safety standards will be adhered to.	✓

Overall the proposed development application is consistent with the intent and requirements of the Statement 5.2

## 12.0 LOCAL REGULATORY FRAMEWORK

The following information provides a summary of the local provisions relevant to telecommunications development proposal.

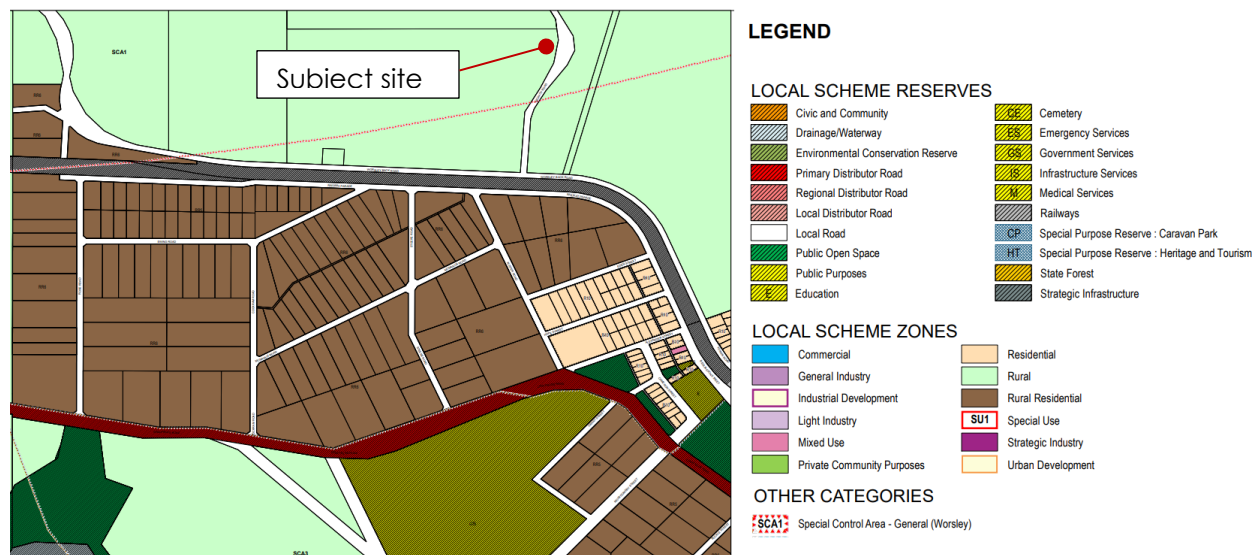
### 12.1 Shire of Collie Local Planning Scheme No. 6

The *Shire of Collie Local Planning Scheme No. 6* provides the basis for planning in the Shire of Collie local government area.

The proposed site is within the Rural Zone (**Figure )** further outlined in **section 12** of this report.

Within the Shire of Collie's Local Planning Scheme text, 'telecommunications infrastructure' is listed and defined as including a tower and several other facilities relevant to this proposal. This use and development class is assigned a 'D' if within a Rural Zone per the schemes table 4 zoning table. Under section 18 of Part 3 of the local planning scheme, category 'D' details that such an activity within this designated land use 'is not permitted unless the local government has exercised its discretion by granting development approval'. An assessment of the proposal against section 16, part 3 of the local planning schemes 'Rural Zone' objectives suggests the proposal shall comply with the general requirements and that the nature of the development should be deemed appropriate relative to the zoning controls.

While the *Shire of Collie Local Planning Strategy 2020* does not make significant mention of telecommunications facilities aside from Section 12 Infrastructure, the proposal is considered to compliment the strategies vision for a vibrant and safe community, a range of business and employment opportunities, along with infrastructure that supports the needs of the community via improved mobile coverage.



**Figure 14:** Zoning Map No. 3 Collie6 Allanson-Townsite-West Source: *Shire of Collie Local Planning Scheme No. 6*

## 12.2 Rural Zone Objectives

Development within the Rural Zone is required to demonstrate compliance with the objectives and site requirements of the zone within the local planning scheme.

As such, this proposal can therefore be assessed against the Rural Zone objectives set out in section 16 of Part 3 Zones and Use of Land of the *Shire of Collie Local Planning Scheme No. 6* in **Table 6** below.

Objectives	Comments	Complies
To provide for the or maintenance enhancement of specific local rural character.	Improved reception in the immediate vicinity and Allanson area for SMS/calls and mobile data download speeds will enhance	✓

	both the local rural character and the livelihood of locals.	
To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.	The proposed compound will comprise a small area of only 100m <sup>2</sup> and will not compromise future development within the subject landuse and adjoining landuses, or their various existing rural landuses. If required, it can be easily de-commissioned and removed in future, reinstating the area back to its original state. The proposal may also incentivise the improvement and/or addition to existing access tracks.	✓
To maintain and enhance the environmental qualities of the landscape, vegetation, soils and water bodies, to protect sensitive areas especially the natural valley and watercourse systems from damage.	<p>The proposal will see only a small amount of ground disturbance over a previously disturbed and cleared area of the lot with minimal pruning of branches near to the existing firebreak and proposed compound area. No fauna is anticipated to be disturbed and the ground surface will be adequately reinstated to its original condition following temporary construction works.</p> <p>Following construction, the site will have ample room for maintenance vehicles and temporary EWP and will not be a significant generator of vehicular and pedestrian traffic. It will operate on an unmanned basis and require maintenance visits just 2-4 times annually.</p> <p>The development will seek to draw as little attention as possible within its immediate vicinity, incorporating a modern and standardised design using bland and neutral colours to blend in with existing features.</p>	✓
To provide for the operation and development of existing, future and potential rural land uses by limiting the introduction of sensitive land uses in the Rural zone.	The proposed compound will comprise a small area of only 100m <sup>2</sup> and will not compromise future development within the subject landuse and adjoining landuses, or their various existing rural landuses. The new fibre and electrical route will not require ground excavation and the installation of new conduit through sensitive farming land, instead opting to use the existing access track, firebreak path and open paddock. Following construction, the telecommunications site will neither be a significant generator of vehicular traffic, storm water runoff or noise.	✓

To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.	The proposal will facilitate the provision of enhanced 4G and 5G telecommunications coverage to the rural area. The new telecommunications site can also be upgraded and maintained over time to align with short term, long term and temporary future coverage demands of the area.	✓
--	--	---

On the whole, the proposed development application is consistent with the intent and requirements of the *Western Australian Planning Commission SPP 5.2, Shire of Collie Local Planning Strategy 2020* and the *Shire of Collie Local Planning Scheme No. 6*.

## 13.0 GENERAL PROVISIONS

This proposal is for a new Telstra Mobile Base Station Facility in the Allanson area.

Amplitel considers that the proposal is appropriate for the locality, given its compatibility with surrounding rural landuses and separation from much of Allanson township.

Environmental considerations such as visual impact, heritage, flora and fauna, traffic, flooding, bushfire, social and economic aspects, health and safety have been discussed within the below sub sections.

### 13.1 Visual Impacts

The 62 Worsley Back Road site is within a large rural lot adjoined by other properties of a similar nature. As the subject lot contains mostly flat areas of grass highly visible and exposed from the lots principle residence, the NE section of the lot where there is a corridor of open space between trees lining McAvoy Road and a dense cluster of trees, is considered to be most suitable place for the proposed 10m x 10m compound with 40m monopole and facilities. Together, these two dense clusters of tall trees ranging 15-25m in height will significantly conceal much of the facilities and provide some visual screening against the 40m monopole tower and associated triangular headframe with antennas from the nearest two rural lot residents. Please see **Figure 16, 17 and 18** for perspective. As the proposed compound area will be over 700m from the nearest rural residential zoned lots, separated by the treelined rail reserve, Worsley Back Road and Railway Parade, the facilities are unlikely to impinge on views looking on North from the Railway Parade residences. Please see **Figure 15** as an example.

As there is the onus on Amplitel and Telstra to ensure that their structures can adequately support the future co-location of facilities by other carriers and enable them to provide a sufficient level of coverage, Amplitel must opt for a 40m height for the new concrete monopole tower. In order to develop a telecommunications site which is viably as sympathetic to its surrounds with as little disturbances possible, there are design measures which have been applied. As an example, the proposed ICS equipment shelter will not be more than 3m high or have a base area exceeding 7.5m<sup>2</sup> and will be coloured a bland pale eucalypt shade so that it sits unremarkably among the surrounding shrubbery and blends in. Neither the compound fence or equipment shelter will be visible from distant views. The proposed 40m concrete monopole will also remain unpainted (dull grey in colour) so that it blends in with the sky, trees and power lines from a distance. The overall



design proposed is growingly familiar across towns and cities in Australia and is considered to be modern, symmetrical and aesthetic with best practice spotting.

On the whole, Amplitel accepts there is a low to moderate visual impact to the nearest rural properties and a low impact to the nearby community, though considers it to be at an acceptable level in light of the above assessment and a better alternative than to develop a new greenfield tower at the other candidate sites closer to residences and areas less secluded.



**Figure 15:** View looking North towards proposal from outside 43 & 45 Railway Parade, Allanson  
Source: Google Earth



**Figure 16:** View looking East towards the proposed compounds Western face from approximately 200m West from proposed compound Source: Ventia 2022





**Figure 17:** View looking South towards Allanson town from inside proposed compound Source: Ventia 2022



**Figure 18:** View looking North towards the proposed compounds Southern face from approximately 80m South of it Source: Ventia 2022



## 13.2 Heritage

The subject lot of this application is overlaid with the 'Bevans Dairy - Site' (heritage place no. 06315) which although listed in the municipal inventory, is not binded by any statutory listings or protections under the *Heritage Act 2018*, which pertains to items featured on the state heritage register. The former 'Bevans Dairy - Site' is thought to have been located outside Allanson townsite, an area once referred to as West Collie, though due to the lack of locational data, the heritage curtilage area is therefore quite expansive and encompasses three lots.

As there is very little information at high confidence of the historic heritage site, with the site being deemed 'not considered to have cultural heritage significance' in the 1996 Shire of Collie Municipal Heritage Inventory, the proposal is therefore not considered in any way to threaten the items heritage significance, or other Allanson heritage items several hundred metres south of the site including the primary school and many listed cottage homes.

The new 40m monopole and facilities will not materially affect or visually impact any heritage items within the locality and Shire of Collie local government area.

## 13.3 Flora and Fauna

In order to determine any possible natural Flora and Fauna significance associated with the site, a search was conducted during a visit to the subject site and an online search conducted through the relevant environmental registers.

The Protected Matters Search Tool from the Department of the Environment and Energy shows matters of national environmental significance or other matters protected by the *Environment Protection and Biodiversity Conservation Act 1999*. A search using this tool found that no significant environmental matter was identified on the subject site. Further details regarding the report findings can be found in **Appendix C** which identifies 15 threatened species and 8 migratory species which may occur within the area.

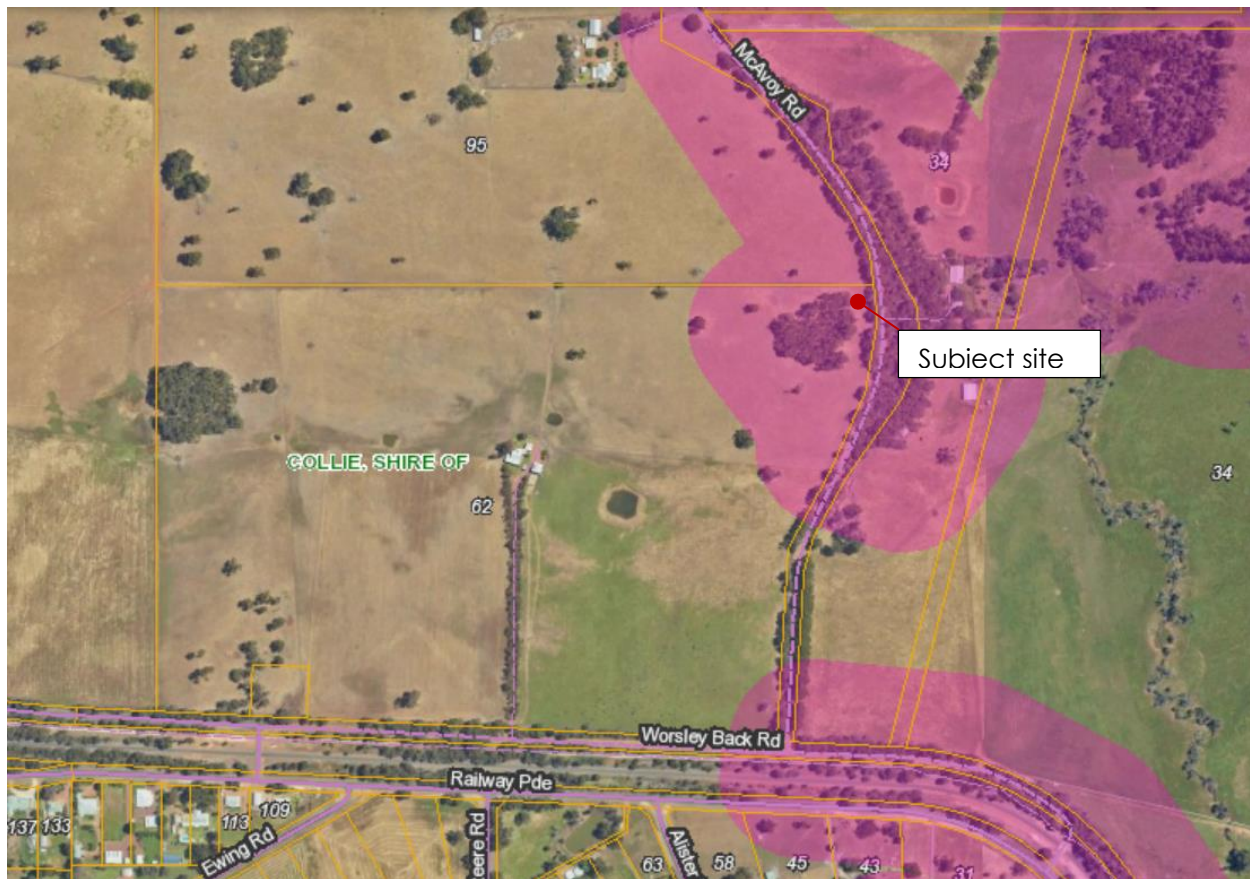
A search using the Department of Water and Environmental Regulation's 'clearing permit system map' also shows that the site is not an environmentally sensitive area or environmental conservation area, with the property not located within any threatened or priority ecological communities.

The majority of the works will be confined to the proposed 10m x 10m compound within the far NE corner of the lot adjacent to McAvoy Road. Just a few branches of unregulated trees nearest to the compound along McAvoy Road may require pruning to ensure they do not encroach over the new compound and upgraded firebreak path. Outside of the compound area, ground disturbance works will be kept to a minimum and steer clear of vegetation and tree roots, as the proposed underground fibre and electrical route will opt for existing cleared access tracks and open grass areas for the installation of new conduit and electrical and communications pits.

On the whole, very minimal disturbance to communities of flora and fauna is expected, with little pruning of vegetation required.

## 13.4 Bushfire

The specific site location is identified as being within a Bush Fire Prone Area by the Fire and Emergency Services Commissioner (**Figure 19**).



**Figure 19:** Bushfire Prone Areas Mapping Source: SLIP Map of Bushfire Prone Areas

Natural disasters, including the continuing threat of bushfires, have served to highlight the critical importance of effective telecommunications. Previous bushfire incident reviews have demonstrated effective telecommunications networks are essential for disaster response management, allowing emergency services providers to be alerted to medical or fire emergencies.

In its Communications Report 2014-2015 the Australian Communications and Media Authority reported that in 2014-15, 66.9% of calls to the 000 emergency number were made from mobile phones. Therefore, in addition to day-to-day personal and business applications, effective telecommunications networks can be the difference between life and death in disaster situations.

The entirety of the facility will be earthed in accordance with the Australian Standard. Earthing draws any lightning strike underground away from combustible material. It is submitted that contrary to being a risk factor for fires, the site in this case could reduce the risk of lightning strike causing fires, by attracting the strike and earthing it underground.

The State Planning Policy 3.7 provides the foundation for land use planning to address bushfire risk management in Western Australia. Notwithstanding the Department of Planning updated [Planning Bulletin 111/2016](#) to clarify that for telecommunications infrastructure, SPP 3.7 should be applied pragmatically.

The Planning Bulletin states:

*"Exemptions from the requirements of SPP 3.7 and the deemed provisions should be applied pragmatically by the decision maker. If the proposal does not result in the intensification of development (or land use), does not result in an increase of residents or employees; or does not involve the occupation of employees on site for any considerable amount of time, then there*

*may not be any practicable reason to require a BAL Assessment. Exemptions may apply to infrastructure including roads, telecommunications and dams; and to rural activities, including piggeries and chicken farms which do not involve employees on site for a considerable amount of time."*

With respect to the above, Amplitel believe that all necessary design measures have been undertaken to ensure the facility does not increase or affect the bushfire risk to the area. The subject site is on a flat terrain and the proposed 10m x 10m compound has been sited to ensure adequate separation from existing vegetation. The Eastern face of the proposed compound will be approximately 14m from the boundary gate and tall trees, while the distance between the proposed western compound face and the subject lots NE cluster of tall trees exceeds 10m in length. The pruning of a few overarching branches from trees lining the lots Eastern boundary next to the firebreak, together with the widening of the existing firebreak track from 2m to 3.5m will further alleviate bushfire hazard risks associated with the development. Additionally, the proposed facility will operate on an unmanned basis requiring only 2-4 maintenance visits per year. As such, the proposed works do not increase the extent of bushfire risk currently affecting the land.

## 13.5 Health and Safety

Telstra acknowledges some people are genuinely concerned about the possible health effects of electromagnetic energy (EME) from mobile phone base stations and is committed to addressing these concerns responsibly.

Telstra, along with the other mobile phone carriers, must strictly adhere to Commonwealth Legislation and regulations regarding mobile phone facilities and equipment administered by the Australian Communications and Media Authority (ACMA).

In 2003 the ACMA adopted a technical standard for continuous exposure of the general public to RF EME from mobile base stations. The standard, known as the *Radiocommunications (Electromagnetic Radiation – Human Exposure) Standard 2003*, was prepared by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA) and is the same as that recommended by ICNIRP (International Commission for Non- Ionising Radiation Protection), an agency associated with the World Health Organisation (WHO). Mobile carriers must comply with the Australian Standard on exposure to EME set by the ACMA.

The Standard operates by placing a limit on the strength of the signal (or RF EME) that any Carrier can transmit to and from any network base station. The general public health standard is not based on distance limitations or the creation of "buffer zones". The environmental standard restricts the signal strength to a level low enough to protect everyone at all times. It has a significant safety margin, or precautionary approach, built into it.

In order to demonstrate compliance with the standard, the ARPANSA created a prediction report using a standard methodology to analyse the maximum potential impact of any new telecommunications facility. Carriers are obliged to undertake this analysis for each new facility and make it publicly available.

Importantly, the ARPANSA-created compliance report demonstrates the maximum signal strength of a proposed facility, assuming that it is handling the maximum number of users 24-hours a day.

In this way, the ARPANSA requires network carriers to demonstrate the greatest possible impact that a new telecommunications facility could have on the environment to give the community greater peace of mind. In reality base stations are designed to operate at the lowest possible power level to accommodate only the number of customers using the facility at any one time. This design function is called “adaptive power control” and ensures that the base station operates at minimum, not maximum, power levels at all times.

Using the ARPANSA standard methodology, Telstra is required to complete and make available an EME report which predicts the maximum environmental EME level the facility will emit. Telstra has completed this EME report and it shows that the maximum level of EME emitted by the proposed facility is 0.41% (1/244) (**Appendix D**). To better understand the information within this EME report, an ARPANSA published *A Guide to the Environmental EME Report* (**Appendix E**).

Amplitel and Telstra rely on the expert advice of national and international health authorities such as the ARPANSA and the WHO for overall assessments of health and safety impacts.

The WHO advises that all expert reviews on the health effects of exposure to radiofrequency fields have concluded that no adverse health effects have been established from exposure to radiofrequency fields at levels below the international safety guidelines that have been adopted in Australia.

Telstra has strict procedures in place to ensure its mobile phones and base stations comply with these guidelines. Compliance with all applicable EME standards is part of Telstra's responsible approach to EME and mobile phone technology.

## 13.6 Social and Economic Impact

Reliable mobile phone coverage is important to ensure the economic growth of communities. It is not expected to have any adverse social or economic impacts as a result of the development. Indeed, it is anticipated that there would be positive impacts because of the mobile telephone coverage, and the proposed facility could also be utilised in the event of an emergency with reference to mobile phone and internet use.

The proposed development is essential to enable Carriers to remain competitive and increase the choice of mobile telephone services for consumers. Additional competition in the market will have economic benefits for individual consumers and the community as a whole. The development is consistent, with the objectives of the *Telecommunications Act 1997*, namely:

- To promote “the efficiency and international competitiveness of the Australian telecommunications industry” (s.3 (1)); and
- To ensure that telecommunications services “are supplied as efficiently and economically as practicable” (s.3 (2) (a) (ii)).

## 14.0 CONCLUSION

This application is a direct result of the community's request for reliable telecommunications to be provided to the Allanson area. There is strong State policy support for telecommunications facilities if, when balancing improved telecommunications services with environmental impacts; including for example, visual impact and flood or fire hazard, a particular proposal provides a net community benefit.



The proposed works provide the community with reliable 4G and 5G access which in turn supports the various residential customers and tourists along with rural uses in the area. This also forms part of a wider plan to ensure reliable and accessible coverage during emergency situations such as in the event of bush fires or any other natural disaster.

Ventia on behalf of Telstra and Amplitel has undertaken an assessment of the relevant matters as required by the *Telecommunications Act 1997*, State Legislation and the *Shire of Collie Local Planning Scheme No. 6*. The proposal is considered appropriate in light of the relevant legislative, environmental, technical, radio coverage and public safety requirements.

The proposed development is considered appropriate for the subject site for the following reasons:

- The proposed works will provide reliable mobile phone service to Allanson. The improved coverage is increasing access to new technologies for key regional sectors and communities, which rely on a fast, reliable and affordable mobile network.
- The proposal will not significantly encroach on views looking on towards the proposal from the nearest residences and accommodation stays.
- The proposal will not detract from the heritage significance of heritage items within Allanson or the 'Bevans Dairy' municipal inventory item (Place no. 06315) it intersects.
- The proposal achieves great separation from Allanson Primary School and is not identified as being in close proximity to any community sensitive points of interest.
- The proposal will mitigate visual impacts through various design measures employed, relating to the material and colours used, along with the size and positioning of facilities without compromising the proposal's structure and coverage objectives.
- The proposal is consistent with the relevant provisions of the *Shire of Collie Local Planning Scheme No. 6* or presents only minor conflicts with them.
- The proposal will improve Telstra 4G and 5G communications services to the area, including voice calls, video calling and Wireless Broadband, and allow or other Carriers to provide similar services.
- The proposal will require minimal pruning of some tree branches, confined only to non-environmentally significant flora.
- The proposal will not affect the existing site or adjacent sites landuses or their potential to be developed or redeveloped.
- Emissions from the proposed facility will be significantly below the Australian Radiation Protection and Nuclear Safety Agency standards adopted by the Australian Communications and Media Authority.

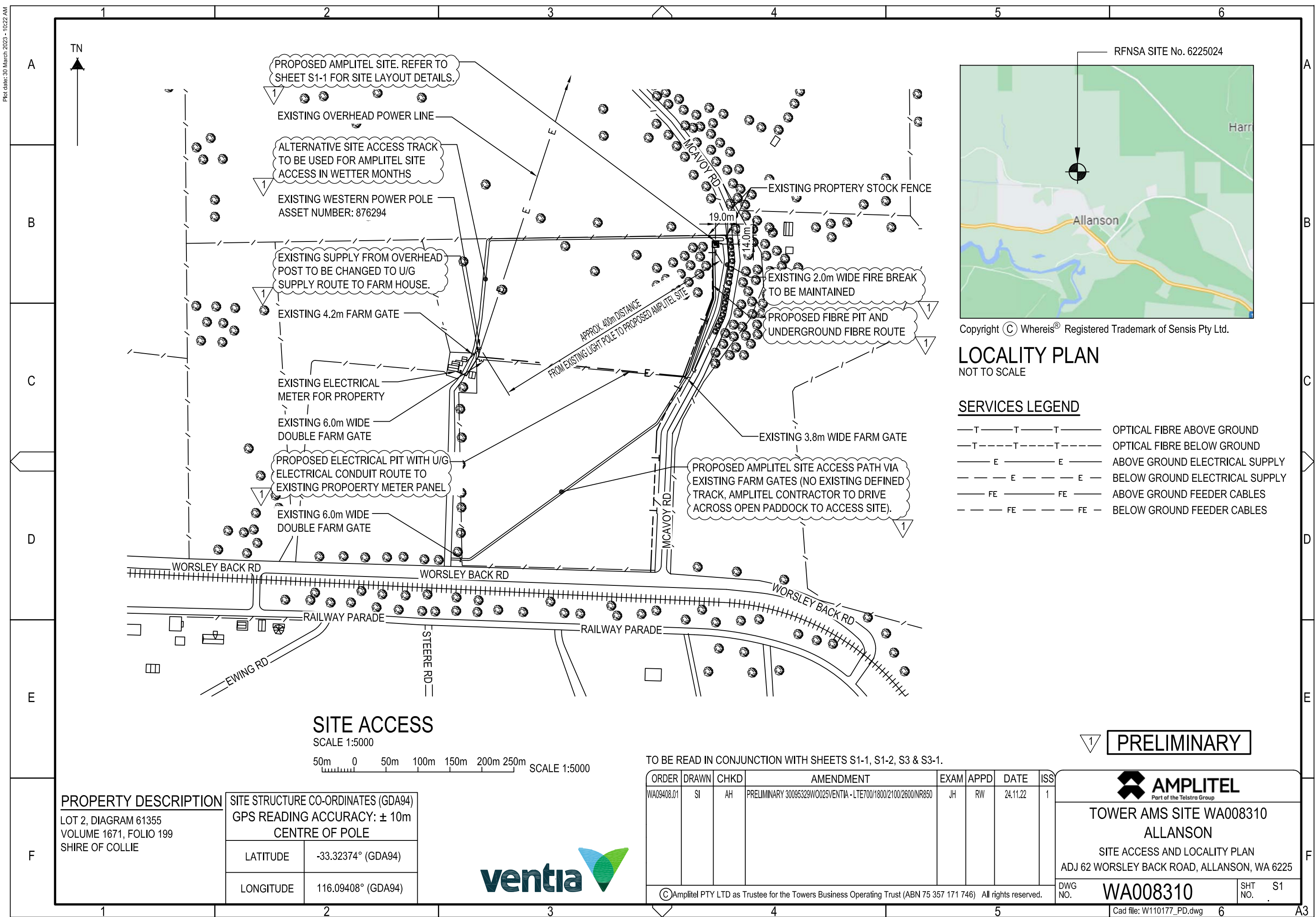
The assessment of the proposal demonstrates that the proposal represents sound and proper town planning and it is respectfully requested that consent is granted for this development application.

Should the Council have any further queries regarding the subject application, please do not hesitate to contact the nominated representative outlined within this document.

## **APPENDIX A – PLANS OF THE PROPOSAL**



Plot date: 30 March 2023 - 10:22 AM



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### LOCALITY PLAN

NOT TO SCALE

### SERVICES LEGEND

- T—T—T— OPTICAL FIBRE ABOVE GROUND
- T---T---T--- OPTICAL FIBRE BELOW GROUND
- E—E—E— ABOVE GROUND ELECTRICAL SUPPLY
- E---E---E--- BELOW GROUND ELECTRICAL SUPPLY
- FE—FE—FE— ABOVE GROUND FEEDER CABLES
- FE---FE---FE--- BELOW GROUND FEEDER CABLES

### PROPERTY DESCRIPTION

LOT 2, DIAGRAM 61355  
VOLUME 1671, FOLIO 199  
SHIRE OF COLLIE

### SITE STRUCTURE CO-ORDINATES (GDA94)

GPS READING ACCURACY: ± 10m CENTRE OF POLE	
LATITUDE	-33.32374° (GDA94)
LONGITUDE	116.09408° (GDA94)



TO BE READ IN CONJUNCTION WITH SHEETS S1-1, S1-2, S3 & S3-1.

ORDER	DRAWN	CHKD	AMENDMENT	EXAM	APPD	DATE	ISS
WA09408.01	SI	AH	PRELIMINARY 30095329WO025VENTIA - LTE700/1800/2100/2600/NR850	JH	RW	24.11.22	1
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PRELIMINARY



TOWER AMS SITE WA008310  
ALLANSON

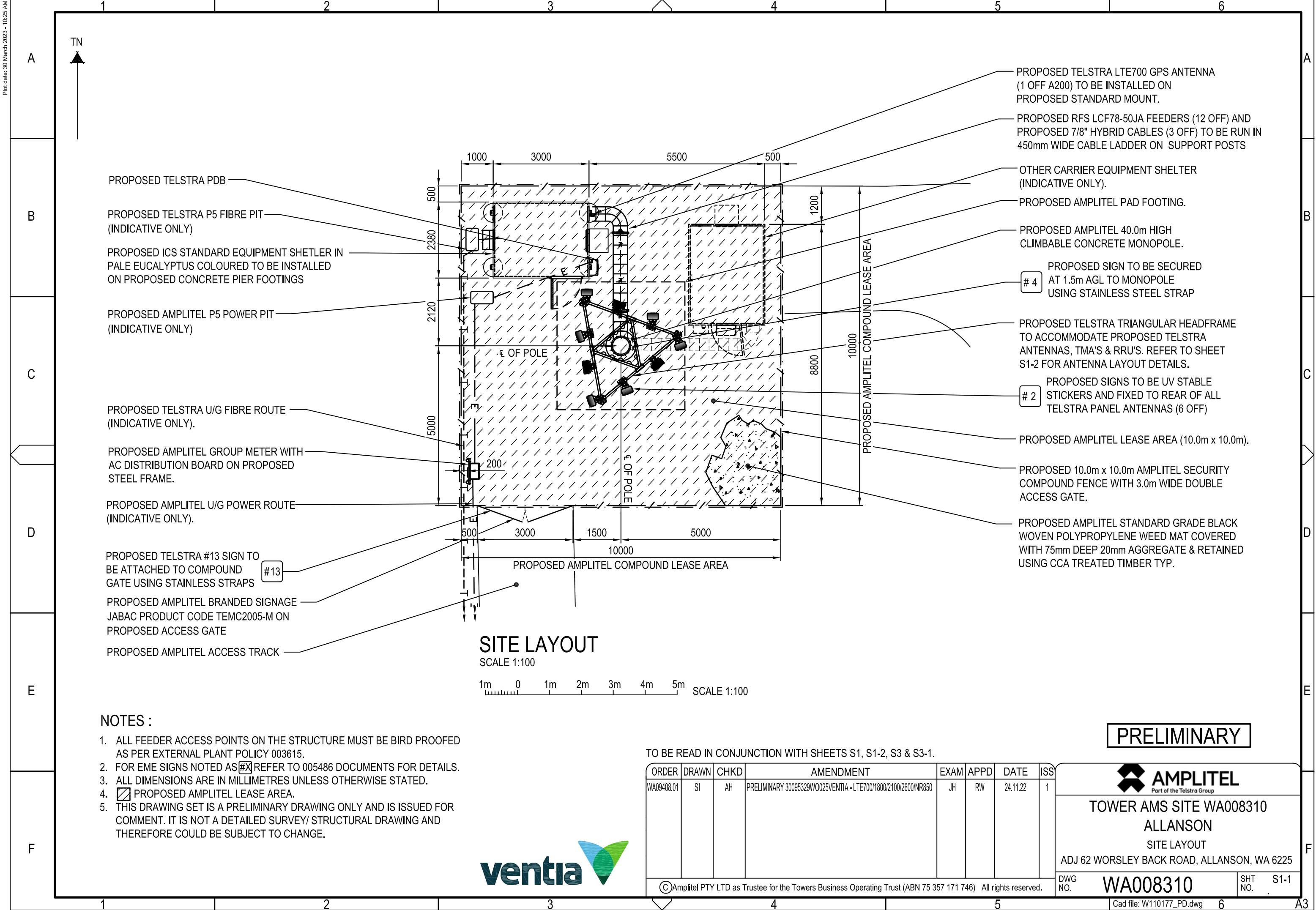
SITE ACCESS AND LOCALITY PLAN  
ADJ 62 WORSLEY BACK ROAD, ALLANSON, WA 6225

WA008310

SHT NO. S1

Cad file: W110177\_PD.dwg

Plot date: 30 March 2023 - 10:25 AM



NOTES :

1. ALL FEEDER ACCESS POINTS ON THE STRUCTURE MUST BE BIRD PROOFED AS PER EXTERNAL PLANT POLICY 003615.
2. FOR EME SIGNS NOTED AS#X REFER TO 005486 DOCUMENTS FOR DETAILS.
3. ALL DIMENSIONS ARE IN MILLIMETRES UNLESS OTHERWISE STATED.
4. ☒ PROPOSED AMPLITEL LEASE AREA.
5. THIS DRAWING SET IS A PRELIMINARY DRAWING ONLY AND IS ISSUED FOR COMMENT. IT IS NOT A DETAILED SURVEY/ STRUCTURAL DRAWING AND THEREFORE COULD BE SUBJECT TO CHANGE.

TO BE READ IN CONJUNCTION WITH SHEETS S1, S1-2, S3 & S3-1.

ORDER	DRAWN	CHKD	AMENDMENT	EXAM	APPD	DATE	ISS
WA09408.01	SI	AH	PRELIMINARY 30095329WO025VENTIA - LTE700/1800/2100/2600/NR850	JH	RW	24.11.22	1

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PRELIMINARY

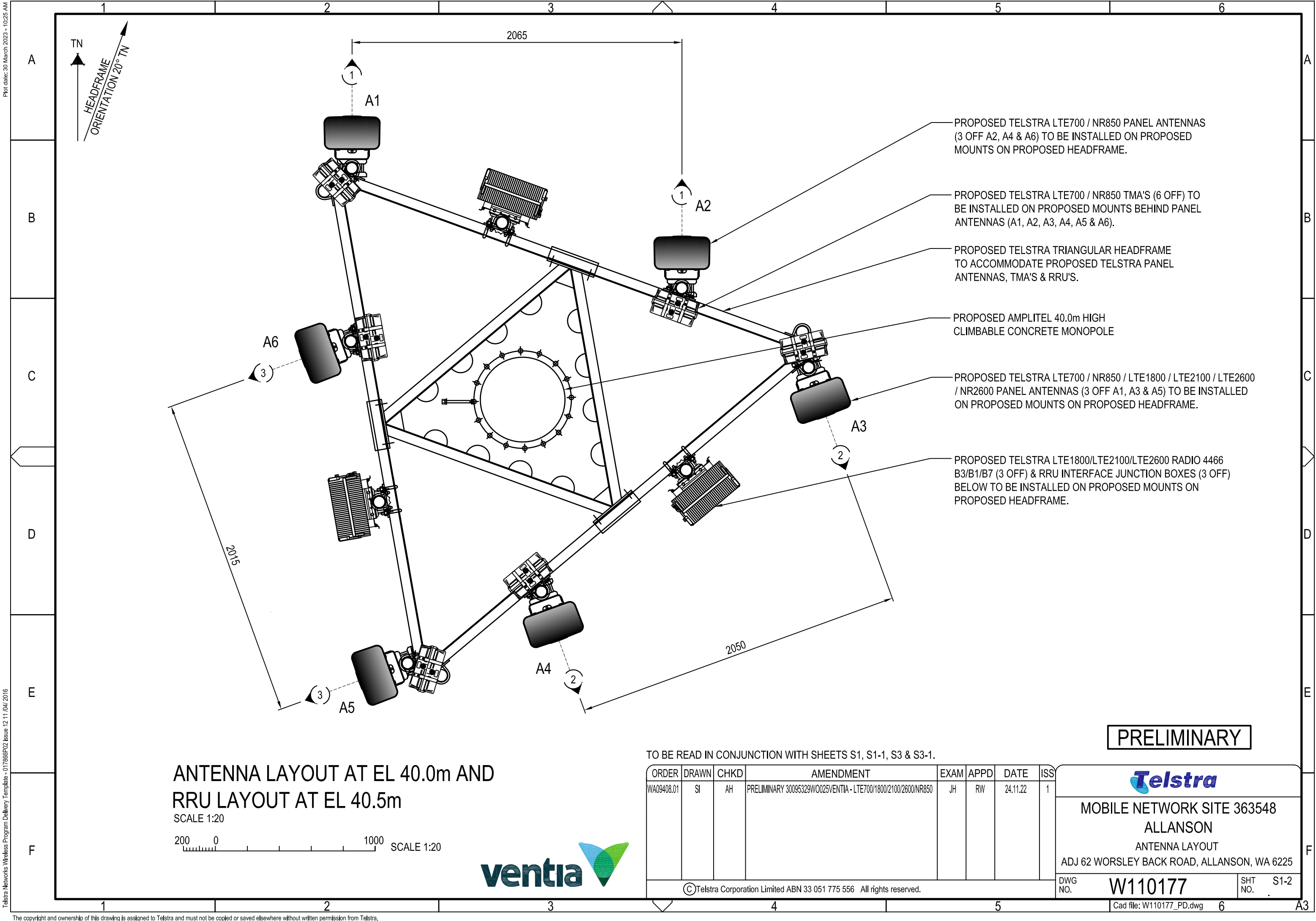


TOWER AMS SITE WA008310  
ALLANSON  
SITE LAYOUT  
ADJ 62 WORSLEY BACK ROAD, ALLANSON, WA 6225

DWG NO. WA008310 SHT NO. S1-1

Cad file: W110177\_PD.dwg

Plot date: 30 March 2023 - 10:25 AM  
Telstra Networks Wireless Program Delivery Template - 017868P02 Issue 12 11 /04/ 2016



ANTENNA LAYOUT AT EL 40.0m AND  
RRU LAYOUT AT EL 40.5m

SCALE 1:20  
200 0 1000 SCALE 1:20



TO BE READ IN CONJUNCTION WITH SHEETS S1, S1-1, S3 & S3-1.

ORDER	DRAWN	CHKD	AMENDMENT	EXAM	APPD	DATE	ISS
WA09408.01	SI	AH	PRELIMINARY 30095329WO025VENTIA - LTE700/1800/2100/2600/NR850	JH	RW	24.11.22	1

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PRELIMINARY



MOBILE NETWORK SITE 363548  
ALLANSON  
ANTENNA LAYOUT

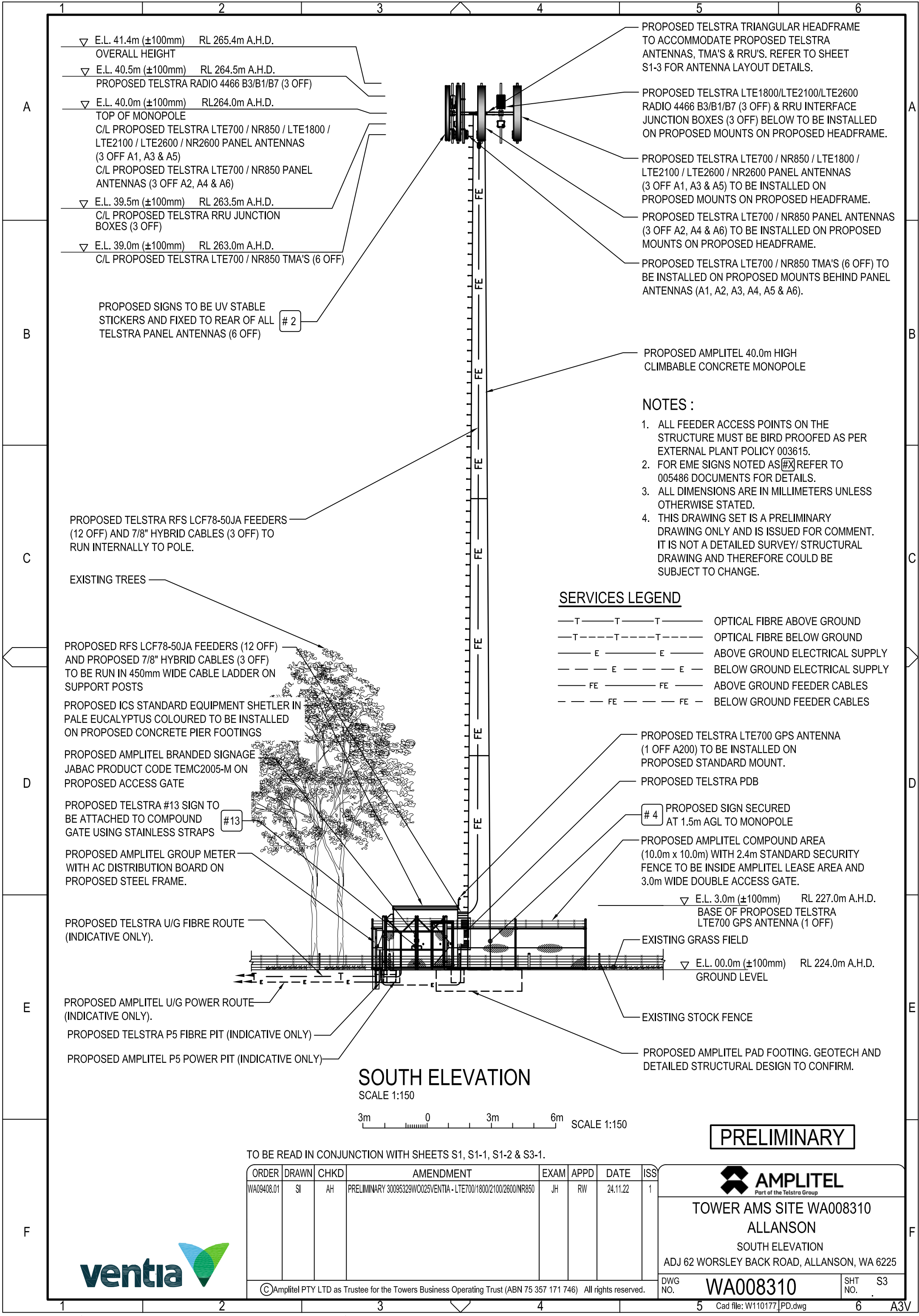
ADJ 62 WORSLEY BACK ROAD, ALLANSON, WA 6225

DWG NO. W110177 SHT NO. S1-2

Cad file: W110177\_PD.dwg 6



Plot date: 30 March 2023 - 10:26 AM



TO BE READ IN CONJUNCTION WITH SHEETS S1, S1-1, S1-2 & S3-1.

ORDER	DRAWN	CHKD	AMENDMENT	EXAM	APPD	DATE	ISS
WA09408.01	SI	AH	PRELIMINARY 30095329WO025VENTIA - LTE700/1800/2100/2600/NR850	JH	RW	24.11.22	1
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TOWER AMS SITE WA008310  
ALLANSON  
SOUTH ELEVATION  
ADJ 62 WORSLEY BACK ROAD, ALLANSON, WA 6225

DWG NO.	WA008310	SHT NO.	S3
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## **APPENDIX B – CERTIFICATES OF TITLE**





**NF**

WESTERN



## AUSTRALIA

VOL.      FOL.

Volume 106 Folio 39A

1671 199

# CERTIFICATE OF TITLE

UNDER THE "TRANSFER OF LAND ACT, 1893" AS AMENDED

**PERSONS ARE CAUTIONED AGAINST ALTERING OR ADDING TO THIS CERTIFICATE OR ANY NOTIFICATION HEREON**

N. J. Smyth

REGISTRAR OF TITLES



Dated 8th August, 1984

## ESTATE AND LAND REFERRED TO

Estate in fee simple in portion of each of Wellington Locations 1127 and 1128 and being Lot 2 on Diagram 61355, delineated and coloured green on the map in the Third Schedule hereto, limited however to the natural surface and therefrom to a depth of 12.19 metres.

**FIRST SCHEDULE** (continued overleaf)

~~Warren Douglas Forbes of 1 Bucktin Street, Collie, Businessman.~~

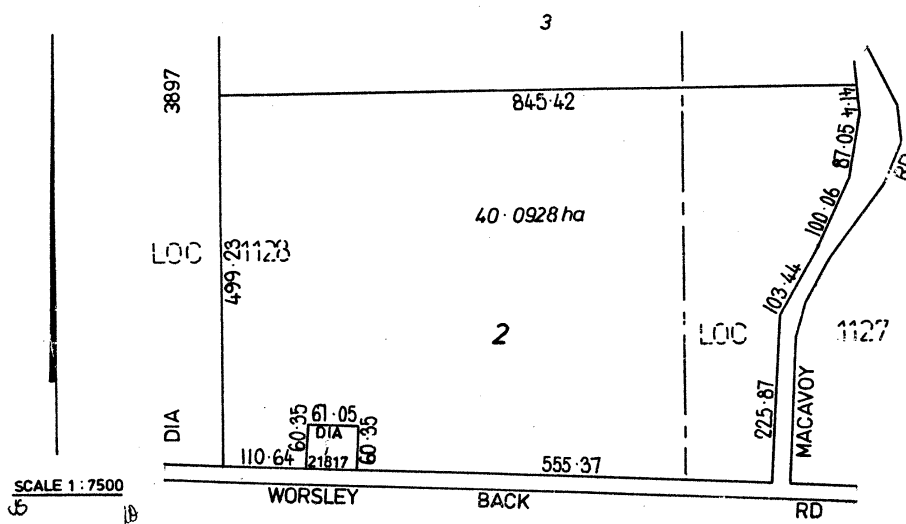
SECOND SCHEDULE (continued overleaf)

NIL

N. J. Smyth

REGISTRAR OF TITLES

### THIRD SCHEDULE



NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT.  
ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.

72009/12/77-45M-S/2860

**FIRST SCHEDULE (continued)**

**NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.**

REGISTERED PROPRIETOR

[illegible]

## SECOND SCHEDULE (continued)

**NOTE: RULING THROUGH AND SEALING WITH THE OFFICE SEAL INDICATES THAT AN ENTRY NO LONGER HAS EFFECT. ENTRIES NOT RULED THROUGH MAY BE AFFECTED BY SUBSEQUENT ENDORSEMENTS.**

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CERTIFICATE OF TITLE VOL. 1671 199

## APPENDIX C – ENVIRONMENTAL ANALYSIS REPORT



Australian Government

Department of Climate Change, Energy,  
the Environment and Water

# EPBC Act Protected Matters Report

This report provides general guidance on matters of national environmental significance and other matters protected by the EPBC Act in the area you have selected. Please see the caveat for interpretation of information provided here.

Report created: 24-Jan-2023

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# Summary

## Matters of National Environment Significance

This part of the report summarises the matters of national environmental significance that may occur in, or may relate to, the area you nominated. Further information is available in the detail part of the report, which can be accessed by scrolling or following the links below. If you are proposing to undertake an activity that may have a significant impact on one or more matters of national environmental significance then you should consider the [Administrative Guidelines on Significance](#).

<a href="#">World Heritage Properties:</a>	None
<a href="#">National Heritage Places:</a>	None
<a href="#">Wetlands of International Importance (Ramsar</a>	None
<a href="#">Great Barrier Reef Marine Park:</a>	None
<a href="#">Commonwealth Marine Area:</a>	None
<a href="#">Listed Threatened Ecological Communities:</a>	None
<a href="#">Listed Threatened Species:</a>	15
<a href="#">Listed Migratory Species:</a>	8

## Other Matters Protected by the EPBC Act

This part of the report summarises other matters protected under the Act that may relate to the area you nominated. Approval may be required for a proposed activity that significantly affects the environment on Commonwealth land, when the action is outside the Commonwealth land, or the environment anywhere when the action is taken on Commonwealth land. Approval may also be required for the Commonwealth or Commonwealth agencies proposing to take an action that is likely to have a significant impact on the environment anywhere.

The EPBC Act protects the environment on Commonwealth land, the environment from the actions taken on Commonwealth land, and the environment from actions taken by Commonwealth agencies. As heritage values of a place are part of the 'environment', these aspects of the EPBC Act protect the Commonwealth Heritage values of a Commonwealth Heritage place. Information on the new heritage laws can be found at <https://www.dcceew.gov.au/parks-heritage/heritage>

A [permit](#) may be required for activities in or on a Commonwealth area that may affect a member of a listed threatened species or ecological community, a member of a listed migratory species, whales and other cetaceans, or a member of a listed marine species.

<a href="#">Commonwealth Lands:</a>	None
<a href="#">Commonwealth Heritage Places:</a>	None
<a href="#">Listed Marine Species:</a>	13
<a href="#">Whales and Other Cetaceans:</a>	None
<a href="#">Critical Habitats:</a>	None
<a href="#">Commonwealth Reserves Terrestrial:</a>	None
<a href="#">Australian Marine Parks:</a>	None
<a href="#">Habitat Critical to the Survival of Marine Turtles:</a>	None

## Extra Information

This part of the report provides information that may also be relevant to the area you have

<a href="#">State and Territory Reserves:</a>	1
<a href="#">Regional Forest Agreements:</a>	1
<a href="#">Nationally Important Wetlands:</a>	None
<a href="#">EPBC Act Referrals:</a>	6
<a href="#">Key Ecological Features (Marine):</a>	None
<a href="#">Biologically Important Areas:</a>	None
<a href="#">Bioregional Assessments:</a>	None
<a href="#">Geological and Bioregional Assessments:</a>	None

# Details

## Matters of National Environmental Significance

Listed Threatened Species

[ Resource Information ]

Status of Conservation Dependent and Extinct are not MNES under the EPBC Act.  
Number is the current name ID.

Scientific Name	Threatened Category	Presence Text	Buffer Status
BIRD			
<a href="#">Botaurus poiciloptilus</a> Australasian Bittern [1001]	Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Calidris ferruginea</a> Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Calyptorhynchus banksii naso</a> Forest Red-tailed Black-Cockatoo, Karrak [67034]	Vulnerable	Species or species habitat likely to occur within area	In feature area
<a href="#">Leipoa ocellata</a> Malleefowl [934]	Vulnerable	Species or species habitat may occur within area	In feature area
<a href="#">Numenius madagascariensis</a> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Rostratula australis</a> Australian Painted Snipe [77037]	Endangered	Species or species habitat may occur within area	In buffer area only
<a href="#">Zanda baudinii listed as Calyptorhynchus baudinii</a> Baudin's Black-Cockatoo, Long-billed Black-cockatoo [87736]	Endangered	Species or species habitat known to occur within area	In feature area
<a href="#">Zanda latirostris listed as Calyptorhynchus latirostris</a> Carnaby's Black Cockatoo, Short-billed Black-cockatoo [87737]	Endangered	Species or species habitat known to occur within area	In feature area
FISH			



Scientific Name	Threatened Category	Presence Text	Buffer Status
<a href="#">Nannatherina balstoni</a> Balston's Pygmy Perch [66698]	Vulnerable	Species or species habitat likely to occur within area	In feature area
MAMMAL			
<a href="#">Bettongia penicillata ogilbyi</a> Woylie [66844]	Endangered	Species or species habitat may occur within area	In buffer area only
<a href="#">Dasyurus geoffroii</a> Chuditch, Western Quoll [330]	Vulnerable	Species or species habitat likely to occur within area	In feature area
<a href="#">Pseudocheirus occidentalis</a> Western Ringtail Possum, Ngwayir, Womp, Woder, Ngoor, Ngoolangit [25911]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Setonix brachyurus</a> Quokka [229]	Vulnerable	Species or species habitat known to occur within area	In feature area
OTHER			
<a href="#">Westralunio carteri</a> Carter's Freshwater Mussel, Freshwater Mussel [86266]	Vulnerable	Species or species habitat known to occur within area	In buffer area only
PLANT			
<a href="#">Diuris micrantha</a> Dwarf Bee-orchid [55082]	Vulnerable	Species or species habitat known to occur within area	In feature area
Listed Migratory Species [ Resource Information ]			
Scientific Name	Threatened Category	Presence Text	Buffer Status
Migratory Marine Birds			
<a href="#">Apus pacificus</a> Fork-tailed Swift [678]		Species or species habitat likely to occur within area	In feature area
Migratory Terrestrial Species			
<a href="#">Motacilla cinerea</a> Grey Wagtail [642]		Species or species habitat may occur within area	In feature area
Migratory Wetlands Species			

Scientific Name	Threatened Category	Presence Text	Buffer Status
<a href="#">Actitis hypoleucos</a> Common Sandpiper [59309]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Calidris acuminata</a> Sharp-tailed Sandpiper [874]		Species or species habitat may occur within area	In feature area
<a href="#">Calidris ferruginea</a> Curlew Sandpiper [856]		Species or species habitat may occur within area	In feature area
<a href="#">Calidris melanotos</a> Pectoral Sandpiper [858]		Species or species habitat may occur within area	In feature area
<a href="#">Numenius madagascariensis</a> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Pandion haliaetus</a> Osprey [952]		Species or species habitat likely to occur within area	In buffer area only

### Other Matters Protected by the EPBC Act

Listed Marine Species	[ <a href="#">Resource Information</a> ]		
Scientific Name	Threatened Category	Presence Text	Buffer Status
Bird			
<a href="#">Actitis hypoleucos</a> Common Sandpiper [59309]		Species or species habitat may occur within area	In feature area
<a href="#">Apus pacificus</a> Fork-tailed Swift [678]		Species or species habitat likely to occur within area overfly marine area	In feature area
<a href="#">Bubulcus ibis as Ardea ibis</a> Cattle Egret [66521]		Species or species habitat may occur within area overfly marine area	In feature area

Scientific Name	Threatened Category	Presence Text	Buffer Status
<a href="#">Calidris acuminata</a> Sharp-tailed Sandpiper [874]		Species or species habitat may occur within area	In feature area
<a href="#">Calidris ferruginea</a> Curlew Sandpiper [856]	Critically Endangered	Species or species habitat may occur within area overfly marine area	In feature area
<a href="#">Calidris melanotos</a> Pectoral Sandpiper [858]		Species or species habitat may occur within area overfly marine area	In feature area
<a href="#">Haliaeetus leucogaster</a> White-bellied Sea-Eagle [943]		Species or species habitat may occur within area	In feature area
<a href="#">Merops ornatus</a> Rainbow Bee-eater [670]		Species or species habitat may occur within area overfly marine area	In feature area
<a href="#">Motacilla cinerea</a> Grey Wagtail [642]		Species or species habitat may occur within area overfly marine area	In feature area
<a href="#">Numenius madagascariensis</a> Eastern Curlew, Far Eastern Curlew [847]	Critically Endangered	Species or species habitat may occur within area	In feature area
<a href="#">Pandion haliaetus</a> Osprey [952]		Species or species habitat likely to occur within area	In buffer area only
<a href="#">Rostratula australis as Rostratula benghalensis (sensu lato)</a> Australian Painted Snipe [77037]	Endangered	Species or species habitat may occur within area overfly marine area	In buffer area only
<a href="#">Thinornis cucullatus as Thinornis rubricollis</a> Hooded Plover, Hooded Dotterel [87735]		Species or species habitat may occur within area overfly marine area	In buffer area only

Extra Information

State and Territory Reserves [ Resource Information ]

Protected Area Name	Reserve Type	State	Buffer Status
Westralia	Conservation Park	WA	In buffer area only

Regional Forest Agreements [ Resource Information ]

Note that all areas with completed RFAs have been included.

RFA Name	State	Buffer Status
<a href="#">South West WA RFA</a>	Western Australia	In feature area

EPBC Act Referrals [ Resource Information ]

Title of referral	Reference	Referral Outcome	Assessment Status	Buffer Status
Controlled action				
<a href="#">Bluewaters Power Station Expansion Phases 3 &amp; 4</a>	2008/4113	Controlled Action	Proposed Decision	In feature area

Not controlled action				
<a href="#">Improving rabbit biocontrol: releasing another strain of RHDV, sthrn two thirds of Australia</a>	2015/7522	Not Controlled Action	Completed	In feature area
<a href="#">INDIGO Central Submarine Telecommunications Cable</a>	2017/8127	Not Controlled Action	Completed	In feature area
<a href="#">Realignment and upgrade of Coalfields Hwy between 15.90-26.34 SLK, Western Australia</a>	2013/6902	Not Controlled Action	Completed	In buffer area only

Not controlled action (particular manner)				
<a href="#">Construction of urea production plant and supporting infrastructure</a>	2009/5067	Not Controlled Action (Particular Manner)	Post-Approval	In feature area
<a href="#">INDIGO Marine Cable Route Survey (INDIGO)</a>	2017/7996	Not Controlled Action (Particular Manner)	Post-Approval	In feature area



# Caveat

## 1 PURPOSE

This report is designed to assist in identifying the location of matters of national environmental significance (MNES) and other matters protected by the Environment Protection and Biodiversity Conservation Act 1999 (Cth) (EPBC Act) which may be relevant in determining obligations and requirements under the EPBC Act.

The report contains the mapped locations of:

- World and National Heritage properties;
- Wetlands of International and National Importance;
- Commonwealth and State/Territory reserves;
- distribution of listed threatened, migratory and marine species;
- listed threatened ecological communities; and
- other information that may be useful as an indicator of potential habitat value.

## 2 DISCLAIMER

This report is not intended to be exhaustive and should only be relied upon as a general guide as mapped data is not available for all species or ecological communities listed under the EPBC Act (see below). Persons seeking to use the information contained in this report to inform the referral of a proposed action under the EPBC Act should consider the limitations noted below and whether additional information is required to determine the existence and location of MNES and other protected matters.

Where data are available to inform the mapping of protected species, the presence type (e.g. known, likely or may occur) that can be determined from the data is indicated in general terms. It is the responsibility of any person using or relying on the information in this report to ensure that it is suitable for the circumstances of any proposed use. The Commonwealth cannot accept responsibility for the consequences of any use of the report or any part thereof. To the maximum extent allowed under governing law, the Commonwealth will not be liable for any loss or damage that may be occasioned directly or indirectly through the use of, or reliance

## 3 DATA SOURCES

Threatened ecological communities

For threatened ecological communities where the distribution is well known, maps are generated based on information contained in recovery plans, State vegetation maps and remote sensing imagery and other sources. Where threatened ecological community distributions are less well known, existing vegetation maps and point location data are used to produce indicative distribution maps.

Threatened, migratory and marine species

Threatened, migratory and marine species distributions have been discerned through a variety of methods. Where distributions are well known and if time permits, distributions are inferred from either thematic spatial data (i.e. vegetation, soils, geology, elevation, aspect, terrain, etc.) together with point locations and described habitat; or modelled (MAXENT or BIOCLIM habitat modelling) using

Where little information is available for a species or large number of maps are required in a short time-frame, maps are derived either from 0.04 or 0.02 decimal degree cells; by an automated process using polygon capture techniques (static two kilometre grid cells, alpha-hull and convex hull); or captured manually or by using topographic features (national park boundaries, islands, etc.).

In the early stages of the distribution mapping process (1999-early 2000s) distributions were defined by degree blocks, 100K or 250K map sheets to rapidly create distribution maps. More detailed distribution mapping methods are used to update these distributions

## 4 LIMITATIONS

The following species and ecological communities have not been mapped and do not appear in this report:

- threatened species listed as extinct or considered vagrants;
- some recently listed species and ecological communities;
- some listed migratory and listed marine species, which are not listed as threatened species; and
- migratory species that are very widespread, vagrant, or only occur in Australia in small numbers.

The following groups have been mapped, but may not cover the complete distribution of the species:

- listed migratory and/or listed marine seabirds, which are not listed as threatened, have only been mapped for recorded
- seals which have only been mapped for breeding sites near the Australian continent

The breeding sites may be important for the protection of the Commonwealth Marine environment.

Refer to the metadata for the feature group (using the Resource Information link) for the currency of the information.



# Acknowledgements

This database has been compiled from a range of data sources. The department acknowledges the following custodians who have contributed valuable data and advice:

- [-Office of Environment and Heritage, New South Wales](#)
- [-Department of Environment and Primary Industries, Victoria](#)
- [-Department of Primary Industries, Parks, Water and Environment, Tasmania](#)
- [-Department of Environment, Water and Natural Resources, South Australia](#)
- [-Department of Land and Resource Management, Northern Territory](#)
- [-Department of Environmental and Heritage Protection, Queensland](#)
- [-Department of Parks and Wildlife, Western Australia](#)
- [-Environment and Planning Directorate, ACT](#)
- [-Birdlife Australia](#)
- [-Australian Bird and Bat Banding Scheme](#)
- [-Australian National Wildlife Collection](#)
- [-Natural history museums of Australia](#)
- [-Museum Victoria](#)
- [-Australian Museum](#)
- [-South Australian Museum](#)
- [-Queensland Museum](#)
- [-Online Zoological Collections of Australian Museums](#)
- [-Queensland Herbarium](#)
- [-National Herbarium of NSW](#)
- [-Royal Botanic Gardens and National Herbarium of Victoria](#)
- [-Tasmanian Herbarium](#)
- [-State Herbarium of South Australia](#)
- [-Northern Territory Herbarium](#)
- [-Western Australian Herbarium](#)
- [-Australian National Herbarium, Canberra](#)
- [-University of New England](#)
- [-Ocean Biogeographic Information System](#)
- [-Australian Government, Department of Defence](#)
- [Forestry Corporation, NSW](#)
- [-Geoscience Australia](#)
- [-CSIRO](#)
- [-Australian Tropical Herbarium, Cairns](#)
- [-eBird Australia](#)
- [-Australian Government – Australian Antarctic Data Centre](#)
- [-Museum and Art Gallery of the Northern Territory](#)
- [-Australian Government National Environmental Science Program](#)
- [-Australian Institute of Marine Science](#)
- [-Reef Life Survey Australia](#)
- [-American Museum of Natural History](#)
- [-Queen Victoria Museum and Art Gallery, Inveresk, Tasmania](#)
- [-Tasmanian Museum and Art Gallery, Hobart, Tasmania](#)
- [-Other groups and individuals](#)

The Department is extremely grateful to the many organisations and individuals who provided expert advice and information on numerous draft distributions.

Please feel free to provide feedback via the [Contact us](#) page.

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## **APPENDIX D – EME REPORT**

# Environmental EME Report

Location	62 Worsley Back Rd, ALLANSON WA 6225		
Date	09/12/2022	RFNSA No.	6225024

## How does this report work?

This report provides a summary of levels of radiofrequency (RF) electromagnetic energy (EME) around the wireless base station at 62 Worsley Back Rd, ALLANSON WA 6225. These levels have been calculated by Telstra using methodology developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA).

A document describing how to interpret this report is available at ARPANSA's website:

[A Guide to the Environmental Report.](#)

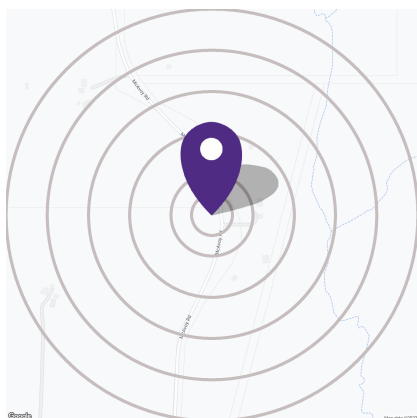
## A snapshot of calculated EME levels at this site

There are currently no existing radio systems for this site.

The maximum EME level calculated for the **proposed** changes at this site is

**0.41%**

out of 100% of the public exposure limit, 273 m from the location.



### EME levels with the proposed changes

Distance from the site	Percentage of the public exposure limit
0-50 m	0.20%
50-100 m	0.12%
100-200 m	0.30%
200-300 m	0.41%
300-400 m	0.38%
400-500 m	0.24%

For additional information please refer to the EME ARPANSA Report annexure for this site which can be found at <http://www.rfnsa.com.au/6225024>.

## Radio systems at the site

This base station currently has equipment for transmitting the services listed under the existing configuration. The proposal would modify the base station to include all the services listed under the proposed configuration.

Carrier	Existing		Proposed	
	Systems	Configuration	Systems	Configuration
Telstra			4G, 5G	LTE700 (proposed), NR850 (proposed), LTE2100 (proposed), LTE2600 (proposed), LTE1800 (proposed)

## An in-depth look at calculated EME levels at this site

This table provides calculations of RF EME at different distances from the base station for emissions from existing equipment alone and for emissions from existing equipment and proposed equipment combined. All EME levels are relative to 1.5 m above ground and all distances from the site are in 360° circular bands.

Distance from the site	Existing configuration			Proposed configuration		
	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit
0-50m				2.60	17.94	0.20%
50-100m				2.03	10.90	0.12%
100-200m				2.50	16.63	0.30%
200-300m				3.20	27.13	0.41%
300-400m				3.11	25.65	0.38%
400-500m				2.49	16.46	0.24%

## Calculated EME levels at other areas of interest

This table contains calculations of the maximum EME levels at selected areas of interest, identified through consultation requirements of the [Communications Alliance Ltd Deployment Code C564:2020](#) or other means. Calculations are performed over the indicated height range and include all existing and any proposed radio systems for this site.

### Maximum cumulative EME level for the proposed configuration

Location	Height range	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit
No locations identified				

## **APPENDIX E – GUIDE TO EME REPORT**





# A Guide to the Environmental EME Report

## What is an Environmental EME Report?

The Environmental EME Report provides calculations of the maximum levels of radiofrequency (RF) electromagnetic energy (EME) around an existing and/or proposed wireless base station that may include mobile telephony, broadband and data services. The report is generally produced by a network operator (such as a mobile phone company) or consultants working on their behalf.

All deployment of public mobile telecommunications service infrastructure in Australia, which includes wireless base stations, small cells and antennas, must be carried out according to the Industry Code C564:2020 Mobile Phone Base Station Deployment (the Code)<sup>1</sup>. The Code requires the supply of certain information as part of the consultative process with the local community and local government authority. The environmental EME report is part of this process and is produced according to a methodology developed by the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA)<sup>2</sup>. It provides objective estimates of the maximum levels of EME from a wireless base station or small cell for both existing and proposed upgrades to telecommunications systems at the site. There are two types of environmental EME report, each representing either a wireless base station or a small cell.

## Why is there an EME Report?

Wireless base stations and small cells work by sending out RF EME in the form of waves carrying information. When the RF EME reaches objects, including people and animals, some of the energy carried by the waves is deposited in the object<sup>3</sup>. This can lead to heating of the object and, if levels are too high, can cause harmful effects. The ARPANSA RF Standard<sup>4</sup> provides limits of exposure which must be complied with by all radio installations, including wireless base stations and small cells. The limits for EME exposure given in the ARPANSA Standard are intended to provide protection for people of all ages and medical conditions when exposed 24 hours per day, 7 days per week. The EME Report shows the maximum

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<sup>1</sup> The Communications Alliance Ltd Industry Code C564:2011 'Mobile Phone Base Station Deployment' is available from the Communications Alliance Ltd website, <http://commsalliance.com.au>.

<sup>2</sup> The ARPANSA methodology produces overconservative calculations for multiple-input and multiple-output (MIMO) systems

<sup>3</sup> Information on RF EME and its effects is available from ARPANSA <http://www.arpansa.gov.au/RadiationProtection/basics/rf.cfm>

<sup>4</sup> The ARPANSA RF Standard is available from <http://www.arpansa.gov.au/Publications/Codes/rps3.cfm>

calculated levels for a specific installation and compares them against the exposure limits in the ARPANSA Standard.

## What information is on the report?

The report gives the address of the installation, together with a list of the companies using the site and the types of mobile network currently installed and being proposed. It also includes details of calculated levels of RF EME. If the site already has antennas in place, the report includes separate information on the existing and the combined existing and proposed installations. The report estimates RF EME from all of the identified wireless transmitters at this site; it does not estimate RF EME from all surrounding sites. The calculated levels do not include RF EME from other types of radio transmitters (that are not subject to the industry Code) which may be installed on the same structure, e.g. AM and FM radio, TV etc.

## EME Levels

The tables of calculated EME levels on the report provide maximum levels of EME found at various distances from the base of the tower or supporting structure for wireless base stations. Within each range of distances, the highest value is given regardless of direction. For small cells mounted on light and power poles or other structures, the report shows the maximum EME level and the distance where this occurs. This provides more relevant exposure information to account for the lower overall power and the much shorter range of the transmitted radio signals from small cells.

For wireless base stations the values of EME are presented in 3 different units:

- volts per metre (V/m) – the electric field component of the RF wave
- milliwatts per square metre (mW/m<sup>2</sup>) – the power density (or rate of flow of RF energy per unit area)<sup>5</sup>
- percentage (%) of the ARPANSA Standard

In reports for small cells the EME levels are only presented as a percentage of the ARPANSA Standard.

When expressed as a percentage, a value of 100% corresponds to the general public exposure limit. For example, a typical highest value of 1% means that the total EME level from all wireless network transmitters on the site, all operating at their maximum power, will be no more than one hundredth (1/100) of the limit set by the ARPANSA Standard for members of the public.

The table below shows the actual EME limits in the ARPANSA RF Standard used for the frequency bands representing different types of mobile network. At frequencies below 2000 megahertz (MHz) the limits vary across the band and the limit values shown in the table have been determined at the Assessment Frequency indicated. The table shows the three equivalent exposure limit figures in V/m, mW/m<sup>2</sup> and % ARPANSA Standard.

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<sup>5</sup> Power density is often expressed in units other than mW/m<sup>2</sup>, other common units are watts per square metre (W/m<sup>2</sup>) and microwatts per square centimetre (μW/cm<sup>2</sup>). Where conversion is required: 1 watt per square metre (W/m<sup>2</sup>) = 100 microwatts per square centimetre (μW/cm<sup>2</sup>) = 1000 milliwatts per square metre (mW/m<sup>2</sup>).

Radio Systems	Frequency Band	Assessment Frequency	ARPANSA Standard public exposure limits at the Assessment Frequency		
			Electric Field V/m	Power Density mW/m <sup>2</sup>	% of ARPANSA exposure limits
LTE700	758 – 803 MHz	750 MHz	37.5 V/m	3750 mW/m <sup>2</sup>	100%
WCDMA850	870 – 890 MHz	900 MHz	41.1 V/m	4500 mW/m <sup>2</sup>	100%
GSM900, LTE900, WCDMA900	935 – 960 MHz	900 MHz	41.1 V/m	4500 mW/m <sup>2</sup>	100%
GSM1800, LTE1800	1805 – 1880 MHz	1800 MHz	58.1 V/m	9000 mW/m <sup>2</sup>	100%
LTE2100, WCDMA2100	2110 – 2170 MHz	2100 MHz	61.4 V/m	10000 mW/m <sup>2</sup>	100%
LTE2300	2302 – 2400 MHz	2300 MHz	61.4 V/m	10000 mW/m <sup>2</sup>	100%
LTE2600	2620 – 2690 MHz	2600 MHz	61.4 V/m	10000 mW/m <sup>2</sup>	100%
LTE3500	3425 – 3575 MHz	3500 MHz	61.4 V/m	10000 mW/m <sup>2</sup>	100%

## Effect of Landscape (topography)

The tables of calculated EME levels provide values at 1.5 m above a flat landscape. Commonly, wireless base stations and small cells are located on a high point and the assumption of flat ground provides a worst-case estimate for these situations. Sometimes, however, the ground may slope upwards away from the installation and this can cause concern that levels may be higher than calculated. In these cases the 'Calculated EME levels at other areas of interest' table should include the levels of EME at a selection of heights where maximum levels are expected.

Generally, locations very close to the base of the antenna will experience very low levels of EME compared to the surrounding areas. This may not be true if a location is both close, say within 100 m, and elevated above the height of the base of the antenna structure. This may occur because a building is located nearby or the ground rises sharply. In either of these circumstances, EME levels may actually be higher than found at the height of flat ground or a community member may have reasonable concerns that this is so. If such locations exist, carefully calculated estimates in a representative sample of such situations should be provided in the 'Calculated EME levels at other areas of interest' table. It is important to note that in many cases the location may not be in the direction of significant radiated EME and the EME levels may be very low.

## Other Areas of Interest

The Code requires the mobile network companies to take account of Community Sensitive Locations. The Code defines Community Sensitive Location to include land uses such as residential areas, childcare centres, schools, aged care centres, hospitals and regional icons which may be considered as sensitive uses in some communities. It is acknowledged that each location should be evaluated on a site by site basis to determine community sensitive locations.

The table 'Calculated EME levels at other areas of interest' on the report provides additional estimates of EME levels at a small number of such locations. These locations may be identified as being of particular concern to the community during the consultation process required by the Code. Typically, levels may be given for the closest point of a children's facility, or for a small number of other locations. It is expected that for an average report, there may be 3 to 5 additional areas of interest calculations. These should be chosen to be representative of both community concern and locations where higher levels of EME may actually be expected on technical grounds. Community Sensitive Locations would be expected to include a small number of floors of a multistorey building if it is close to the antennas and in the direction of significant radiated EME. For some sites there may be no indication for other areas of interest, such as where there is flat ground, no elevated buildings and no locations identified as being of particular community concern. In these cases, after checking:

- the Code's community consultation plan
- topography or buildings near the antennas
- other locations, such as those identified as being of significant previous community concern

no other areas of interest will have been identified. In this case, the EME Report should include the statement 'No locations identified' in the 'Calculated EME levels at other areas of interest' table.

## Can I expect to have an EME calculation done for my house?

Whilst the Environmental EME report is a basic report, members of the public are free to request (in writing) a Carrier to provide additional information under section 3.3 of the Code

The Carrier will choose how best to service that request, but it will not be considered as part of the ARPANSA EME report.

## Why do the EME levels vary with distance?

The calculations of the maximum EME levels are based on well understood principles of physics that deal with how electromagnetic waves travel and spread out. The total amount of energy emitted from the antenna is limited by the power of the amplifier used to drive the antenna. As the energy leaves the antenna, it spreads out to cover bigger and bigger areas and so gets less intense the further away it gets, this is illustrated in Figure 1 which shows a basic 2-dimensional view of what happens to the EME around a real base station.

The antenna is usually designed to direct most of the energy out towards the horizon, or a few degrees below, so that most of the energy goes where it is needed to communicate with the mobile phone handsets or other user equipment. As one moves away from a base station at ground level, the levels first increase before reaching a maximum and then get less as you move still further away. Typically, the maximum EME level at ground level will occur between 75 m and 200 m from the base of the antenna.

The mobile network companies sometimes need to adjust the angle of the antennas to obtain the best coverage and this can alter slightly the distance at which the maximum occurs and exactly what EME level is found there. Often, the ARPANSA EME Report will take likely alterations into account and include the

highest levels that might occur if the antenna is moved in the future. Some antennas use self-tilt and pan to dynamically change direction; in these situations the orientation that produces the highest maximum EME level is used for the calculation.

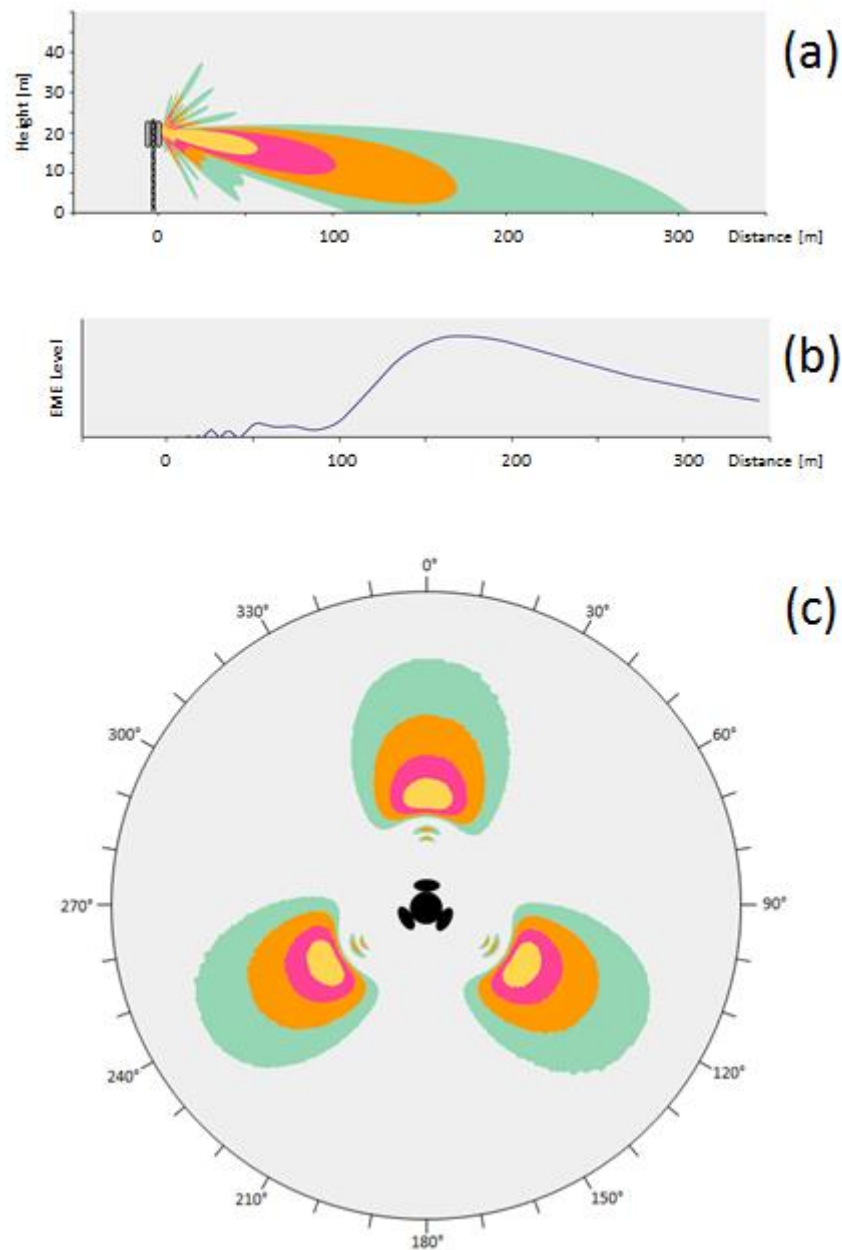


Figure 1. How the EME levels vary as you move away from a base station tower.  
(a) Side view of a single antenna pattern. (b) EME level at 1.5 m above ground.  
(c) Aerial view of three sector antenna pattern

The EME transmitted from small cells is more localised and, depending on its configuration, may not follow the same emission profile as a larger base station. Typically, the EME levels are very low and they decrease rapidly with distance away from the source much like the larger base stations.

## How Accurate are the Calculated Values?

The values of EME provided in the report are intended to be maximum levels that can almost never be exceeded when the base station is operating. The values assume, for example, that all the planned transmitters are installed and are all operating at maximum power. Some of the transmitters at a base station are only used when there are a certain number of telephone calls or data transmissions actually in progress; otherwise they are turned off. Even when a call is in progress, the power transmitted is adjusted to be only as high as necessary to communicate with the handset. If the handset is close, or in a good signal area, the base station transmitter will reduce its power automatically.

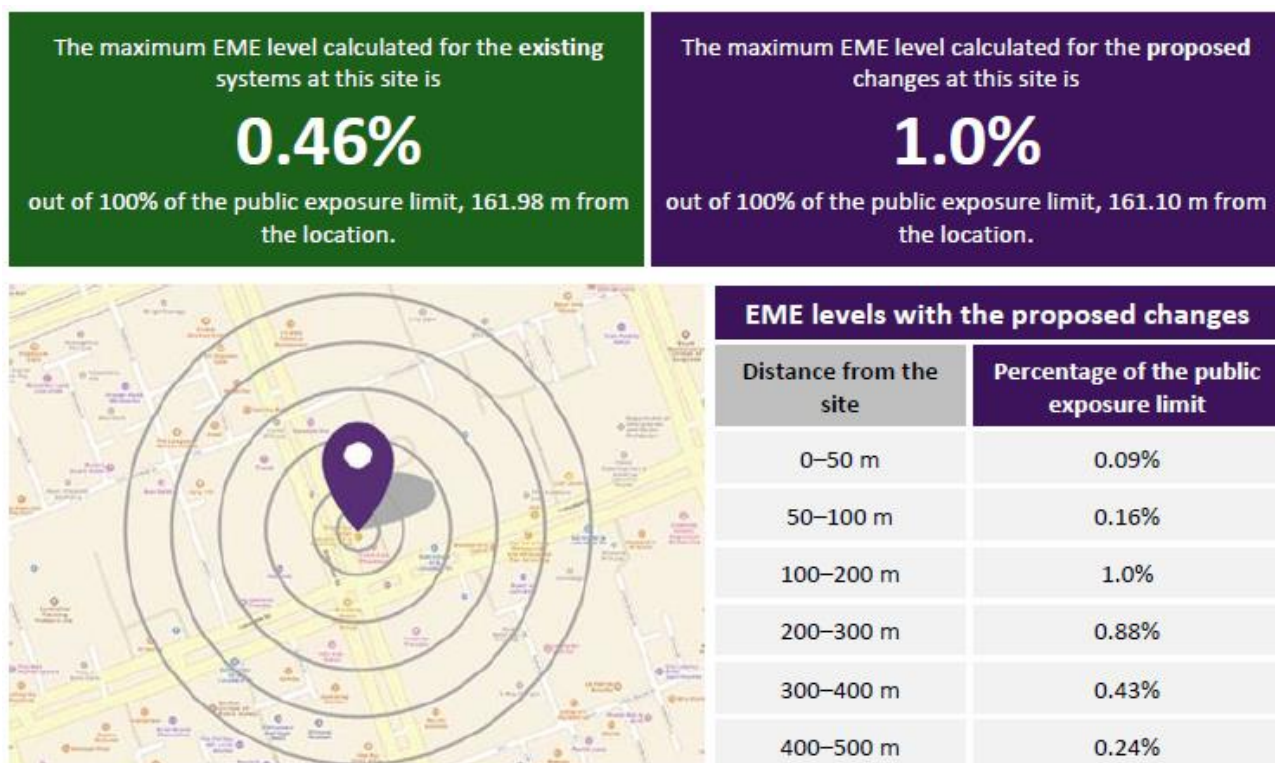
The calculations do not take into account trees, vegetation or buildings which may alter the EME levels, generally decreasing them. Some of the EME is reflected from buildings and the ground and often this signal is used by a handset when the direct signal is blocked by a building. When the reflected signal and direct signal combine the overall level can be lower or higher than the direct signal alone depending on the exact location.

Measurements around base stations have shown actual values of EME are usually less than calculation by factors of 10 to 1000 or even more. Values of EME indoors will typically be even lower as walls, windows and roofs absorb or reflect the energy.

A similar situation applies to the emissions from small cells. The EME emissions from small cells follow the same physical process and are similarly affected by surrounding objects.



## Example Snapshot of Calculated EME Levels



The example snapshot above applies to the calculated EME levels around a typical base station and provides the following information:

- The highest calculated level of RF EME coming from the existing equipment at this base station is found at a distance of approximately 161.98 m and is 0.46% or less than 1/200 of the ARPANSA Standard exposure limit.
- Subsequent to the proposed alterations to the equipment at this site, the highest calculated level of RF EME rises to 1.04%, which is found at a distance of 161.10 m from the base of the tower.

The information detailing EME levels at radial distances from the installation is not included in EME reports for small cells due to the more localised emission of the antennas. In this case, information about the highest calculated EME level at the corresponding distance associated with the small cell is included. This is reported for both existing and proposed systems at the site in the same way as wireless base stations.

## Example Table of an In-depth Look at Calculated EME Levels

Distance from the site	Existing configuration			Proposed configuration		
	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit
0–50 m	0.57	0.87	0.01%	1.7	7.2	0.09%
50–100 m	0.96	2.5	0.04%	1.9	9.2	0.16%
100–200 m	3.4	31	0.46%	5.0	66	1.0%
200–300 m	3.2	27	0.40%	4.6	56	0.88%
300–400 m	2.3	13	0.20%	3.2	28	0.43%
400–500 m	1.7	7.7	0.11%	2.4	16	0.24%

The example table above provides the following information:

- At any location on level ground within 50 m of the base of the tower, the highest calculated level of RF EME coming from the existing equipment at this base station is 0.01% or approximately 1/10000 of the ARPANSA Standard exposure limit. In physical units this is a power density of 0.87 milliwatts per metre squared (mW/m<sup>2</sup>), equivalent to an electric field strength of 0.57 volts per metre (V/m).
- Subsequent to the proposed alterations to the equipment at this site, at any location on level ground within 50 m of the base of the tower, the highest calculated level of RF EME rises to a power density of 7.18 mW/m<sup>2</sup> or an electric field strength of 1.65 V/m which is equivalent to 0.09% of the ARPANSA Standard exposure limit (or less than 1/1000 of the limit).
- The values reported here are only expected to occur when the transmitters are all operating at full power and where there is clear line-of-sight to all antennas. Levels indoors will be lower.
- At any distance within 500 m of the tower the table can be used to determine the maximum level. For example at a location 330 m from the tower, that is between 300 m and 400 m, the calculated level will be less than 0.2% of the ARPANSA Standard exposure limit for the existing equipment and 0.43% of the ARPANSA Standard exposure limit for the existing and proposed equipment. In many directions, and at most times, the actual level will be much lower than this calculated level.
- For a new wireless base station where there are no antennas already installed, the above table will only contain data under the 'Proposed Configuration' columns. Similarly, for a wireless base station that is not being upgraded, the table will only contain data under the 'Existing Configuration' columns.

This table is not included in EME reports for small cells due to the more localised emission from these installations.

It should be noted that all values quoted in the above two tables are calculated at 1.5 m above ground level in a flat landscape. As stated in the section “Effects of Landscape (topography)”, If the ground height changes enough to cause significant under estimation of the worst case environmental levels, further calculations shall be reported in the “Other Areas Of Interest” section.

## Example Table of Calculated EME levels at Other Areas of Interest

Location	Height range	Electric field (V/m)	Power density (mW/m <sup>2</sup> )	Percentage of the public exposure limit
ABC Primary School	0–6 m	2.6	18	0.29%
123 Sports Centre	0–6 m	2.4	15	0.23%
XYZ Community Centre	0–6 m	2.6	18	0.29%

The 'Calculated EME levels at other areas of interest' table provides calculated levels of RF EME at locations considered to be of special community interest or at elevated locations where there may be concern about higher levels of EME. The calculations are performed over the indicated height range and include all existing and any proposed radio systems for this site. This table is included in reports for both wireless base stations and small cells. In reports for small cells the EME levels are only presented as a percentage of the ARPANSA Standard.

## Further Information

The Australian Radiation Protection and Nuclear Safety Agency (ARPANSA) is a Federal Government agency incorporated under the Health portfolio. ARPANSA is charged with responsibility for protecting the health and safety of people, and the environment, from the harmful effects of radiation (ionising and non-ionising).

Information about RF EME can be accessed at the ARPANSA website, <http://www.arpansa.gov.au>, including:

- The procedure used for the calculations in this report is documented in the ARPANSA Technical Report; “Radio Frequency EME Exposure Levels - Prediction Methodologies”<sup>2</sup>
- The ARPANSA RF Standard<sup>4</sup>

The Australian Communications and Media Authority (ACMA) is responsible for the regulation of broadcasting, radiocommunications, telecommunications and online content. Information on EME is available at <https://www.acma.gov.au/our-rules-eme>.

The Communications Alliance Ltd Industry Code C564:2020 Mobile Phone Base Station Deployment is available from the Communications Alliance Ltd website, <http://commsalliance.com.au>.

Contact details for the Carriers (mobile network companies) operating in Australia and the most recent version of each site's Environmental EME Report are available online at the Radio Frequency National Site Archive, <http://www.rfnsa.com.au>.

1. The Communications Alliance Ltd Industry Code C564:2020 Mobile Phone Base Station Deployment is available from the Communications Alliance Ltd website, <https://www.commsalliance.com.au/Documents/all/codes/c564>
2. The ARPANSA methodology produces overconservative calculations for multiple-input and multiple-output (MIMO) systems. ([Radio frequency EME exposure levels - prediction methodologies technical report.](#))
3. Information on RF and its effects is available from ARPANSA <https://www.arpansa.gov.au/understanding-radiation/what-is-radiation/non...>
4. The ARPANSA RF Standard is available from <https://www.arpansa.gov.au/regulation-and-licensing/regulatory-publications/radiation-protection-series/codes-and-standards/rpss-1>
5. Power density is often expressed in units other than  $\text{mW/m}^2$ , other common units are watts per square meter ( $\text{W/m}^2$ ) and microwatts per square centimetre ( $\mu\text{W/cm}^2$ ). Where conversion is required:  
 $1 \text{ watt per square metre (W/m}^2) = 100 \text{ microwatts per square centimetre (}\mu\text{W/cm}^2) = 1000 \text{ milliwatts per square metre (mW/m}^2)$ .

## APPENDIX F – ALLANSON GOOGLE EARTH MARKUP



existing Over head power lines

360 degree photos location 1

Proposed Telstra 10m by 10m compound

Access point 1 - proposed 4m Gate

This access route can be used by light vehicles and small truck to access the site via existing tracks and gates - no upgrade of tracks required

Power pole 876294

Aprox 400mm distance from this light pole to proposed site

360 degree photos location 2

360 degree photos location 2

Existing 4.2m farm gate

Existing electrical meter for property

Large existing 6m double Farm gate

Access route if Access point 2 is used - this would require upgrading and widening the existing fire break ( aprox 150m of existing track) - then approximately 20m of new track in front of proposed new gate ( to allow trucks to reverse onto fire break track) - then another 20m of new track where we come off the fire break track to get to the site - level and compacted 10m by 10m area needs to allow for EWP setup and for trucks to turn around and also cutting of low lying tree branches on existing fire track

Access point 2 - proposed 4m Gate - crossover from existing road and drainage culvert to be installed

Existing 3.8m farm gate

for large trucks / cranes / EWP / concrete trucks ETC - L/O advised either path shown in green could be used to access the site via existing gates - there are no tracks when using this path and we would be driving through open paddocks - which L/O advised is possible for at least 10months of the year - but would not be possible in winter after many consecutive days of rain

Access point 3 - existing 6m double farm gate

Worsley Back Rd

Railway Parade

Worsley Back Rd

Google Earth







Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.4.C**



**Item Description:** Planning Application – Telecommunication Infrastructure at Lot 62 Worsley Back Road Allanson

**Closing Date:** March 3 2023

**Submitter Name:** Alexander Jones

**Submitter Address:** 34 McAvoy Road Allanson

**Comments:**

I am in favour of the installation of the proposed infrastructure. However, I have serious issues with this Planning Application due to factual inaccuracies in the application, the proposed location of the infrastructure and the failure to comply with “best practice”.

**8.2 Candidates considered: Table 2: Summary of non co-location candidates considered**

1. The comments for the Candidate A site (the preferred site) states that “The subject site keeps great separation from the nearest residences”. This statement is not true as my residence, as noted on **page 11**, is 100m from the proposed 40m infrastructure. This is not “great separation” and is a cause for concern regarding Electro Magnetic Emissions (EME) levels, particularly as it is stated in many sections that “the proposed 40m facility will have the height to allow numerous other Carriers to co-locate in the future”, thus increasing the EME levels to many times that specified in **Appendix D: EME Report**.

The Candidate B site offers greater separation to the nearest residence and has the advantage of being 11.7m higher than the preferred site. Though 350m further from the target area of south of Worsley Back Road the Candidate B site offers “line of sight” to the target area and a larger reception area due to the higher location. Where the height of the transmitting aerials is discussed in **6.0 Mobile Telecommunications Networks** it states “the higher the antennas of a base station the greater the range of coverage and the ability to relieve capacity issues”.

2. The comments for Candidate B stating that “there were landowner approval constraints” is not true. When approached, I stated that my preference was for the proposed compound to be adjacent to McAvoy Road, which is the highest point on my farm and the logical site for the installation. Siting the infrastructure at Candidate B site offers **all weather access** to the site off McAvoy Road without the need for removal of native vegetation from the road reserve, the installation of a culvert, internal road works or the installation of over 500m of underground electrical cable. A transformer would have to be installed to power the site from transmission lines located immediately adjacent to the site.

**Appendix A: SITE ACCESS DWG No WA008310:**

Access to the preferred site is problematic:

**a) Secondary Access Option 1**

The boundary fence is located 1.5m higher than McAvoy Road, with the ground rising away further from the access point on the boundary, making the installation of the access point not practical unless the height of McAvoy Road is raised at least one metre. Further to that, it is located on an equiangular bend in the road with trees lining the road reserve so that there is extremely limited visibility of McAvoy Road (less than 30m in both directions). Even if the native vegetation was cleared from the road reserve for a distance of 100m in both directions, the constant bend in the road and it being on the side of a hill which slopes significantly downwards from north to south, ensures there will be extremely limited visibility of oncoming traffic. This is not a viable access point.

**b) Secondary Access Option 2:**

This is located at a point where there is road visibility of approximately 120m in both directions due to bends in the road in both directions, making the use of this access point only marginally safe. Also, the topography of the land collects run off at this point and dictates that this access point would not be useable in wet weather without the installation of an all weather access point, turning area and track from the access point to the compound in order to navigate the increase in elevation of 14.6m to the proposed site.

c) **Proposed Primary Access across open paddock:**

After the ground has been wet by Autumn and Winter rains it is not possible for non 4WD vehicles or trucks to access the site by travelling across the paddock. This paddock remains boggy until the start of Summer.

Access to the site would be possible at all times by using the main access laneway to the farm buildings and the existing farm tracks.

**10.2 Telecommunications Code of Practice 2018**

The Code emphasises “best practice”, one of the provisions being the installation “maximizes separation to residential and other sensitive uses”. The preferred site, Candidate A, will see the antennae installation 100m from my residence. This cannot comply with “best practice” when there are alternative sites which ensure greater separation from the nearest residence to the installation.

**10.4 Communication Alliance Ltd. Industry Code C564: 2020 – Mobile Base Station Deployment**

The Code is to ensure Carriers follow a ‘precautionary approach’ to the siting of infrastructure away from sensitive land uses. As my residence is 100m from the installation I do not believe a ‘precautionary approach’ as specified by the requirements of the Deployment Code has been adhered to.

**Other Factual Inaccuracies in the Proposal**

1. **Page 8 of 49 8.2 Candidates considered** states that “the target coverage area .. rural lots North of Worsley Back Road. The target area is South of Worsley Back Road.
2. **Page 12 of 49 8.5 Site details** states under **Topography** that the preferred site is relatively flat. This may be so but it is misleading as the site slopes significantly from North to South and from West to East as depicted in Figures 6, 9, 12 and 18. This site is on the side of a hill, not the top of the hill
3. **Page 16 of 49 9.2 Access, traffic and parking** does not state that the paddock access (**Figure 11**) is not navigable from June to December and if either Secondary Access Points are not used the access is via the laneway past the farm buildings and existing farm tracks. **Figure 10**

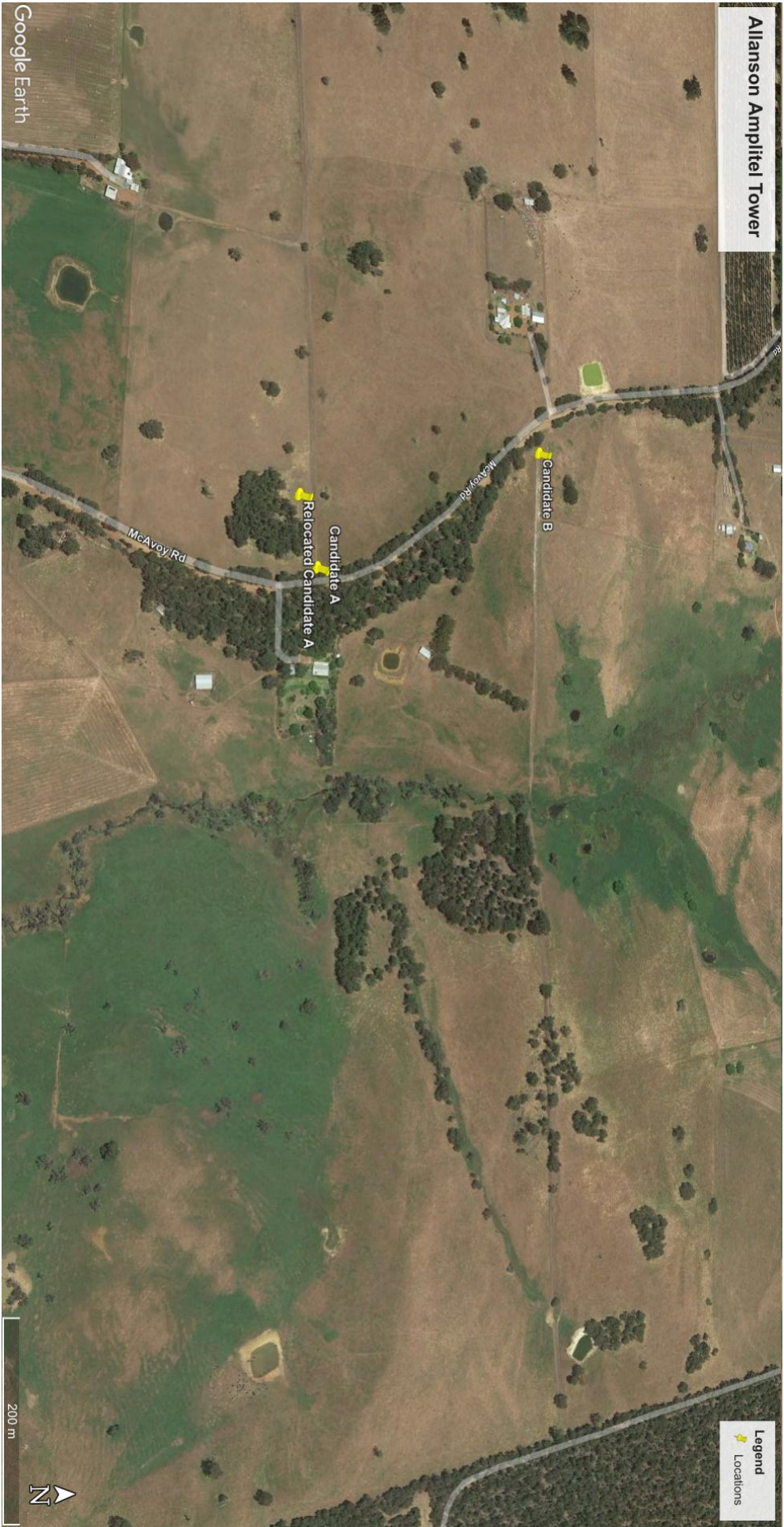
**EME and Location of Infrastructure**

I do acknowledge that the emissions from the proposed facility will be significantly below the Australian Radiation and Protection and Nuclear Safety Agency standards. However, as stated many times, it is intended that the facility “will allow numerous other Carriers to co-locate in the future”. As such, the EME levels radiated from this installation will be many times higher than those levels predicted in the EME Report. With my residence being 100m from the installation I am concerned about the EME levels as, in the near future, there will be a child (and subsequent children) living here making my residence a “sensitive” location. I believe the installation should be relocated to another site with greater separation from my residence.

There are two options which would increase the separation of the installation to my residence:

1. Install the infrastructure on the Candidate B site.  
This would increase the distance to the closest residence, facilitate a larger reception area (as discussed in **6.0 Mobile Telecommunications Networks**) and be a far more cost effective installation as there would be no need for the expense of the installation of a culvert, an all weather access point, internal road works or the installation of over 500m of underground electrical cable
2. Relocate the preferred site 80m West, as depicted in the Google Earth Markup attached.  
This would:
  - a) increase the distance to my residence to more than the distance to the closest residence if the Candidate B site was used.
  - b) exceed all the provisions of the visual impact and meet all other criteria specified for the current preferred location.
  - c) reduce the angle of incidence between the antennae location and my residence from 27.5 degrees to 17 degrees. This will decrease the EME level at my residence by having much more vegetation as a barrier between my residence and the antennae.
  - d) be a more cost effective installation due to reducing the length of underground electrical cable needed.
  - e) facilitate a safer, easier installation due to the ground in the area being much more level than the proposed site.
  - f) facilitate similar impact to the proposed site with regard to land use.









24 March 2023

Statutory Planning  
Shire of Collie  
87 Throssell Street  
Collie WA 6225

Email sent to [colshire@collie.wa.gov.au](mailto:colshire@collie.wa.gov.au) & CC [isabel.fry@collie.wa.gov.au](mailto:isabel.fry@collie.wa.gov.au)

Dear Sir/Madam,

**Re: Submission - Telecommunication Infrastructure at Lot 62 Worsley Back Road Allanson**

Thank you for sharing with me the one submission with regards to the development application for the proposed mobile phone base station at the above address. We understand that there have been a number of concerns expressed, particularly with the location of the proposed base station, EME and Health concerns, the sites accessibility and adherence by Ventia and Amplitel to the relevant legislative instruments and industry code. As such, we provide the following:

**Availability of sites and site selection:**

During the preliminary stages of the project, a number of sites were investigated for their potential to host the proposed telecommunications facilities. Following a review of candidate sites **A**, **B** and **C** between a team of specialists, **Candidate A** on balance was considered to be the best as our prime site and subject site for this development application.

During our internal assessment, **Candidate B** did not rank as well as **Candidate A**, because despite the possibility the site would offer superior year-wide heavy and light vehicular access, it would not support the Telstra coverage objectives as effectively as **Candidate A** which is approximately 300m south closer to the target coverage area south of Worsley Back Road. **Candidate B** too, would also require a greater amount of costly civil underground trenching, boring and hauling works to connect the site with fibre and power.

Another major determining factor, which put **Candidate A** as a preferred site over **Candidate B**, was the level of anticipated visual impact to the surrounding Rural lot residences. Despite **Candidate B** being approximately 160m from the nearest residence at 95 McAvoy Road, versus **Candidate A**'s closer proximity at 100m from the residence at 34 McAvoy Road, it is believed **Candidate B** would yield a far greater visual impact. This is due to the lack of existing shrubbery that surrounds it and separates it from nearest 95 McAvoy Road residence, as opposed to the two denser and taller corridors of shrubbery (15-25m ranging in height) surrounding **Candidate A** that would better partially conceal a 40m tower from 34 McAvoy Road and 62 Worsley Back Road residences.

The issue too with the suggested **alternative Candidate A** siting, which would be re-located approximately 80m West, is there would be very little existing vegetation screening between the 40m tower and the 95 McAvoy Road residence, with terrain only 10-20m higher in altitude from

**Ventia Pty Limited**  
ABN 51 603 146 676  
**ventia.com**



the tower. With this siting, it's visibility would also be greatly increased from the 62 Worsley Back Road landowners' residence.

### **EME and Health:**

Prior to consultation, Telstra engaged an assessor to produce a report of the Environmental EME levels. This report calculates the worst-case cumulative EME levels as a percentage of the Australian standard and considers any existing and proposed mobile services. The Environmental report, the template, methodology and underlying assumptions, are strictly defined by the authority on EME- the Australian Radiation Protection and Nuclear Safety Agency (ARPANSA). As such Telstra does not have the freedom to deviate from this report. Furthermore, it is worth noting that measured EME levels are always found to be considerably less than these worst-case predictions. For an understanding of this difference and EME measurements results done on a large number of 5G base stations, please visit the ACMA (Australian Communications and Media Authority) [EME Checker website](#).

As you will see, the first page of the report shows a maximum predicted EME level for the proposed facility at 0.41% out of the allowable 100% ARPANSA safety standard limit at a height of 1.5 metres above ground level. Additionally, as the nearest resident was concerned regarding EME impacts towards his premise, we have since conducted an assessment of the predicted maximum potential EME level at the 34 McAvoy Road residence and have included it in the new report appended with this letter. As the proposed Telstra antennas are oriented facing away from the property, the EME reading has been found to be very low. The property is listed as 'Residence 1' within the report and shows a maximum potential EME reading of < 0.01% as it has been assessed between 0-3m above ground level. The predicted maximum EME level at this location is below 0.01% which is over 10,000 times lower than the maximum allowable limit (100%).

This worst-case scenario reading is calculated assuming the following extreme and unrealistic parameters:

- The facility would be running at full power and capacity 24 hours a day, 7 days a week.
- All residents (includes all ages and sizes per ARPANSA standards) would be at the property 24 hours a day, 7 days a week.
- Neither natural features (ie trees and shrubbery) or physical features (such as exterior and interior features of buildings) of the property and those in the vicinity could act as a barrier against EME waves.

Other than the potential EME impact of this proposal, the resident has also raised concern regarding the cumulative affect of EME with the potential future upgrade of this proposal as other mobile carriers co-locate their antennas on to the structure. Should any future upgrades occur, carriers will ensure they conduct the appropriate level of consultation per the 'industry code' and update the EME report to factor all carrier technologies included, antenna models, heights, power outputs, etc. As proven by the difference in EME reading between 'Allanson Primary School' and 'Residence 1', EME exposure is not always increased for a point of interest closer to telecommunication facilities than another. The orientation of the point of interest from the antennas is a very important factor.



### **Accessibility:**

As the proposal is for a stand-alone, unmanned operating 40m monopole, which would require only infrequent maintenance visits 2-4 times a year, the existing dirt access route from the 6m double gate off Worsley Back Road will be sufficient year wide for light vehicles and small trucks to access the proposed structure and facilities. While the submission states access across the LOT 2 paddock is not possible between June and December, the landowner has advised that paddock access for large trucks, cranes, EWP and concrete trucks is possible for at least 10 months of the year.

### **Regulatory and industry code compliance:**

Ventia/Amplitel maintain that the proposal and **Candidate A** location complies with the *Telecommunications Code of Practice 2018* federal legislative instrument and that the site selection approach has adhered with section 4.1 and 4.2 of the *Communications Alliance Ltd. Industry Code C564: 2020 – Mobile Phone Base Station Deployment*, also known as the 'industry code'. The submission states that the proposal 'cannot comply' with "best practice" measures and that Ventia/Amplitel have not adhered to the 'precautionary approach' due to the nearest residence being 100m away. It is noted however that the **Candidate B** site would only be 60m further from a nearest residence at 160m. As there is very little difference of separation between the two candidates and no precise legal requirement featured in any Australian instrument which legislates a telecommunications structure and facility must exceed a certain measure of distance (ie 100m or 200m) from a residence, **Candidate A** is considered to be a very acceptable and reasonable location complying with the *Telecommunications Code of Practice 2018*.

With the target coverage area being Allanson township, south of Worsley Back Road, comprising predominantly Rural Residential and some Residential zoned lots per the local planning scheme, Ventia/Amplitel consider that the **Candidate A** location, achieves excellent separation from Allanson town residences as a whole and community sensitive places of interest such as 'Allanson Primary School'. Amplitel/Ventia are therefore confident they have adequately adhered to the 'Industry code' "precautionary approach", optimising existing vegetation buffers to reduce visual impact. Ventia/Amplitel do not believe in maximizing the distance of structures and facilities as far from residences as possible if it means compromising a visual amenity appreciated by the community and nearest residents and/or unnecessarily impacting the landuse and lot development potential of landowners.

### **Conclusion**

Amplitel and Ventia recognise the importance of notifying and consulting with the community and appreciate the opportunity to address the concerns about this proposal.

Amplitel maintain that the proposed structure and facility at 62 Worsley Back Road, represents the most appropriate location for its siting, having regard for the coverage requirements and any associated impacts on the surrounding environment.



I believe I have appropriately addressed the submission, however if Council wish to discuss any aspect of the above, please do not hesitate to contact me on (02) 6124 4423.

Kind regards,

**Marc Bays**

Town Planner

Ventia

Ph: (02) 6124 4423

Email: [marc.bays@ventia.com](mailto:marc.bays@ventia.com)

Postal address: Level 8, 80 Pacific Hwy, North Sydney NSW 2060

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11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.5.A**







Legend

☐ Cadastre



1: 54,271



2.8 0 1.38 2.8 Kilometers

Date produced: 02-Aug-2021

This map is a user generated static output from an Internet mapping site and is for reference only. Data layers that appear on this map may or may not be accurate, current, or otherwise reliable.

THIS MAP IS NOT TO BE USED FOR NAVIGATION

Notes





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.5.3**





Stuart Devenish  
Chief Executive Officer  
Shire of Collie  
colshire@collie.wa.gov.au and isabel.fry@collie.wa.gov.au

Attention: Isabel Fry

Dear Isabel

**Development Application: Seeking retrospective approval for tourist development, proposed expansion of facilities for the management of the development and on-site facilities for guests, retrospective approval for seven free-standing pagodas (patios), proposed camping ground and proposed assembly building/shelter/multiple use space – Lot 2826 on Deposited Plan 90250, No. 708, Yourdamung Road, Palmer**

## 1.0 INTRODUCTION

I refer to previous correspondence and discussions regarding the above.

Edge Planning & Property act on behalf of Russell Tierney who owns and operates the Yourdamung Road Retreat. This correspondence reflects the amended proposal and the modifications to the planning framework since the Development Application was originally submitted. Various plans originally submitted continue to apply.

In support of this amended Development Application, please find enclosed:

- A Bushfire Management Plan, incorporating a Bushfire Emergency Evacuation Plan, by Envision Bushfire Protection (October 2022);
- An updated site plan; and
- Floor plan and elevations for the proposed assembly building/shelter/multiple use space, to be called 'assembly building/multiple use space' in this correspondence.

This correspondence outlines the site's context and characteristics, the planning framework and the development proposal and sets out planning considerations and planning justification. This correspondence demonstrates that the proposed development is consistent with the planning framework and the principles of orderly and proper planning.

It is highlighted the applicant does not wish to hold events on the site or operate a reception centre.



Planning  
Institute  
Australia



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ABN: 51 473 192 534



## 2.0 BACKGROUND

### 2.1 Context

The application site (to be called the 'site') is Lot 2826 (No.708) Yourdamung Road, Palmer.

The site is approximately 18 kilometres north-east of the Collie townsite. The locality is characterised by State Forest and Nature Reserves and a handful of freehold properties. The site adjoins State Forest managed by the Department of Biodiversity, Conservation and Attractions (DBCA).

### 2.2 Physical characteristics

In summary, the site:

- Is 7.1559 hectares in area;
- Is parkland cleared and contains predominantly Marri and Jarrah trees and associated understorey. It was subject to clearing decades ago and now contains regrowth vegetation;
- Is gently sloping with a height of around 215 metre Australian Height Datum (AHD);
- Is dissected by drainage lines and contains two dams;
- Is near the Bingham River which forms part of the Collie River/Wellington Dam catchment. There are associated clearing restrictions in the catchment;
- Contains predominantly gravelly soils;
- Is not within a Sewerage Sensitive Area and is not classified as a registered contaminated site; and
- Contains a dwelling, buildings used for visitor accommodation (bed and breakfast use) and supporting facilities, gazebos and various sheds.

The site's physical features present no constraints to the Development Application.

### 2.3 Services

The site adjoins the unsealed all-weather Yourdamung Road which is approximately 8.4 metres wide. The site is provided with on-site water supply with on-site sewerage disposal. Power and telecommunication services are available to the site.

### 2.4 Heritage

The Department of Planning, Lands and Heritage's Aboriginal Heritage Inquiry System reveals there are no Registered Aboriginal Sites applying to the subject land. While noting this, land developers have an obligation under the *Aboriginal Heritage Act 1972* to protect places and objects in Western Australia that are important to Aboriginal people because of the connections to their culture.

The site does not contain any structure or place of non-indigenous heritage significance on the Shire of Collie Municipal Inventory (heritage survey) or on the Shire's Heritage List.

### 2.5 Client details

Our client established and has operated the Yourdamung Road Retreat since 2016. Our client is passionate about Collie and the region and seeks to further enhance and expand the range of accommodation and facilities at the Yourdamung Road Retreat.

### 3.0 PLANNING FRAMEWORK

#### 3.1 Overview

This section will outline how the proposal suitably addresses relevant legislation, planning policies, strategies, plans and the *Shire of Collie Local Planning Scheme No.6 (LPS6)*. These documents consider key planning, environmental, servicing and economic development matters.

#### 3.2 State planning framework

The following legislation, strategies and policies are of relevance to the Development Application:

- *Planning and Development Act 2005*;
- *Planning and Development (Local Planning Schemes) Regulations 2015*;
- *Caravan Parks and Camping Grounds Act 2005*;
- *Caravan Parks and Camping Grounds Regulations 1997*;
- *Rights in Water and Irrigation Act 1914*;
- *State Planning Strategy 2050* - sets a broad strategic plan for Western Australia built on sustained growth and prosperity. The Strategy supports tourist development highlights the importance of job creation, economic diversity, value-adding and supports developing strong and resilient regions. Figure 17 shows Collie is within an 'economic activity area' while Figure 21 includes Collie within Western Australia's key tourism areas;
- *State Planning Policy 1 State Planning Framework Policy*;
- *State Planning Policy 2 Environment and Natural Resources*;
- *State Planning Policy No. 2.9 Water Resources*;
- *State Planning Policy 2.5 Rural Planning*;
- *State Planning Policy 2.7 Public Drinking Water Source*;
- *State Planning Policy 3.4 Natural Hazards and Disasters*;
- *State Planning Policy 3.7 Planning in Bushfire Prone Areas*;
- *Planning Bulletin 8.3 – Planning for Tourism*;
- *Guidelines for Planning in Bushfire Prone Areas*;
- *Government Sewerage Policy*;
- *Visual Landscape Planning in Western Australia Manual*;
- *Environmental Protection Authority Guidance Statement 33 – Environmental Guidance for Planning and Development*;
- *Nature Based Parks: Guidelines for Developers and Local Governments*; and
- *Tourism Planning Taskforce Report* - endorsed by Cabinet in January 2006. The report highlights the importance of tourism to the Western Australian and regional economies. In terms of the future development needs of the tourism industry, the report notes (page 10) that 'A successful tourism industry requires a particular combination of attractions, facilities and services to meet the needs of tourists. Tourism planning can be considered in terms of five groupings – attractions, access, accommodation, amenities and activities.'

#### 3.3 Regional planning framework

##### 3.3.1 South West Regional Planning and Infrastructure Framework

The Framework addresses the scale and distribution of future population growth and opportunities for economic development and associated infrastructure priorities in the region. The Framework promotes economic development, diversification and value adding. The Framework recognises the importance of tourism development and job creation.

### 3.3.2 South West Regional Blueprint

The Blueprint establishes priorities for economic development and growth in the South West region and provides an analysis of local, regional, national and global factors influencing the region. A strategic economic growth plan and proposed transformational projects are set out. The Blueprint supports a growing economy and economic diversification (including tourism).

## 3.4 Local planning framework

### 3.4.1 Shire of Collie Local Planning Scheme No. 6

The site is zoned 'Rural' in LPS6. There are various sections of LPS6 which are relevant to the Development Application. Section 5.10 of this correspondence outlines key sections and assesses how the proposal addresses LPS6.

### 3.4.2 Shire of Collie Local Planning Strategy (2020)

The Local Planning Strategy identifies the site as 'Rural'. Relevant sections include 3.2 Goals 'A strong and diversified economic base driven by a range of business and employment opportunities' and Action 49 'Non-rural land uses such as low-key tourism including accommodation and cafes supported if they are incidental and compatible with the agricultural use.'

In summary, the Local Planning Strategy sets out that tourism uses will be supported if relevant planning considerations are appropriately addressed.

### 3.4.3 Local Planning Policies

The Shire of Collie has endorsed several Local Planning Policies of relevance to the development of the site, including, but not restricted to signage.

### 3.4.4 Shire of Collie Strategic Community Plan 2017 - 2027

The Strategic Community Plan sets the community's vision for the future and it is the principal strategic guide for the Council's future planning and activities. The Plan:

- Notes the Shire of Collie is in a period of significant change, and the global shift in energy generation is having an impact on the Shire. This is reflected in the strategic priority of 'Developing tourism products, infrastructure and the capacity of operators' (page 2);
- States 'Collie also has exciting potential in other sectors such as intensive agriculture and tourism, the latter based particularly on the Shire's outstanding natural environment, recreational and adventure tourism attractions, heritage and culture, and the creative industries' (page 12);
- Sets a strategic priority of 'Developing tourism products, infrastructure, and the capacity of operators Branding and marketing Collie' (page 16);
- Outlines Council Goal 2: Our Economy is 'A strong and diversified economic base driven by a range of business and employment opportunities' (page 19); and
- A key outcome is 'A growing tourism industry' (page 23)

### 3.4.5 Other

There are various other strategies and documents of relevance. This includes the *Collie Economic Development Task Force Report* and the *Bunbury Wellington Boyup Brook Tourism Strategy*. These documents seek a broadening of the visitor and tourist accommodation offering and promoting tourism to diversify, grow and sustain the economy.

### 3.4.6 Development and other approvals

The Shire has previously issued development and associated approvals on the site for a dwelling, outbuildings, bed and breakfast use, function hall, ablution block, kitchen and stage.

### 3.5 Planning framework implications for the Development Application

Common themes of the legislation, policies, strategies, plans and LPS6 and their implications for the Development Application include:

- Addressing bushfire and other fire risks;
- Addressing land use compatibility;
- Addressing key environmental assets and landscape impact;
- Appropriate servicing;
- Promoting tourism; and
- Supporting sustained growth, job creation and economic development.

Based on the above, the Development Application is consistent with the planning framework and is consistent with the principles of orderly and proper planning.

## 4.0 DEVELOPMENT PROPOSAL

Development approval is sought for the following:

- Retrospective approval for a tourist development;
- Expansion of the management of the development and on-site facilities for guests;
- Retrospective approval for seven free-standing pagodas (patios);
- Proposed camping ground (12 campsites). The camp is proposed to be a 'nature based park'; and
- Proposed assembly building/multiple use space (includes a games room, kitchen, ablutions and laundry).

In support of the amended application, an updated site plan along with a floor plan and elevations of the assembly building/multiple use space are provided. Various plans originally provided continue to apply.

In relation to the proposed assembly building/multiple use space:

- A key part of addressing the acceptable solutions in the *Guidelines for Planning in Bushfire Prone Areas* is providing a 'suitable destination' (establishing and maintaining a low fuel area and a suitably constructed assembly building);
- The assembly building is given a practical purpose in addition to it being the shelter, it will additionally be a games room and camp kitchen; and
- The assembly building will be provided with water and a toilet as amenities for people sheltering.

In addition to obtaining development approval, there is a separate requirement to gain necessary building permits and septic system approvals. Additionally, there is a need to obtain a camping licence from the Shire.

At the Building Permit stage, various matters need to be addressed for the assembly building/multiple use space including:

- Fire hose reels to be installed to provide 10m perimeter coverage to the refuge. To comply with AS 2441 for flow/pressure, a fire pump to be provided;

- Emergency power supply to provide power for lighting and mechanical ventilation;
- Suitable means of internal communication with Local Incident Control Centre to be provided; and
- Detailed specifications and sign-off/certification by a fire engineer.

At the Building Permit stage, there is expected to be a need to reclassify the use of some of the existing buildings as per the *National Construction Code*. Amongst matters, there may be a need to address fire separation, upgrade/install smoke alarms, energy efficiency, emergency lighting and universal access. Details relating to structural adequacy and a Certificate of Inspection were provided with the original application. At the Building Permit stage, the full extent of required upgrading works will be addressed.

## **5.0 PLANNING CONSIDERATIONS AND PLANNING JUSTIFICATION**

### **5.1 Overview**

This section brings together an assessment of the site's attributes and the planning framework in considering key planning matters and justifying the Development Application.

### **5.2 Planning suitability for tourist development and camping ground**

The site is suitable for the tourist development and camping ground for reasons including:

- It is consistent with the planning framework;
- The Development Application is consistent with LPS6 requirements for the Rural Zone including objectives, standards and land use permissibility (see section 5.10 of this correspondence);
- The existing uses are complementary to adjoining and surrounding uses;
- All impacts associated with the development will be contained on the site;
- The proposed camping ground is located on cleared land and key environmental assets, including water resources, can be suitably addressed;
- Traffic impacts will be modest, and traffic can readily be accommodated on Yourdamung Road;
- Vehicles can enter and leave the site in a forward gear;
- The development will be appropriately serviced;
- There are minimal landscape considerations noting the site's context, the buildings are existing and that there are significant number of trees;
- The proposal will complement Collie and the district, increasing its overall viability, vitality and prosperity, increasing the economic viability of existing services and adding to the range of services that can be provided;
- The proposal will promote further tourism and increase tourism capacity in the district;
- It will support the local economy by providing employment opportunities;
- It supports the provision of value for money accommodation in the district;
- Bushfire protection measures can comply with the Planning for Bush Fire document, as set out in the Bushfire Management Plan (BMP) and the Bushfire Emergency Evacuation Plan (BEEP);
- The site is attractive affording a pleasant outlook over the dams, vegetated areas and State Forest;
- The site is small and cannot sustain a viable agricultural pursuit. The site is also separated from other agricultural land by roads and State Forest;
- The site caters to wide ranging people seeking different experiences;
- The site is close to the Bibbulmun Track; and
- There are limited environmental and servicing constraints.

Further details relating to the site's suitability for tourist/visitor accommodation and associated facilities are outlined in this section.

### **5.3 Meeting the needs of tourists and visitors**

The Tourism Planning Taskforce Report (pages 10 – 12) set out the five "A's" of tourism planning which are accommodation, access, activity, attractions and amenities. Significantly, the development appropriately addresses the key tourism criteria:

*Accommodation* - a range of accommodation is and will be available on the site with an emphasis on affordability/value for money. The site caters for wide ranging people and/or groups seeking different forms of accommodation than what is currently provided in Collie. It will complement other accommodation offerings in Collie.

*Access* - the property has access from Yourdamung Road which directly comes off the Williams Collie Road.

*Activity* – In addition to the nearby Bibbulmun Track, there are other alternative opportunities for land and water-based activities. The Collie townsite and the district provide a range of tourism and recreational opportunities, nature experiences and other activities.

*Attractions* – There are a range of nature and adventure-based assets in Collie and near the site including the Bibbulmun Track, Yourdamung Lake, Lake Kepwari, Lane Poole Reserve, Collie Motorplex and wildflowers. Collie contains popular tourist attractions including national parks, vineyards along with Aboriginal and European heritage assets.

*Amenities* – In addition to amenities on the site, there are a wide range of facilities, services and amenities in the Collie townsite.

### **5.4 Compatibility with adjoining and nearby land uses and addressing amenity**

The Development Application is compatible with adjoining and nearby land uses/development. The reasons include:

- The site is well separated from off-site dwellings and 'sensitive uses'. The landowner is not aware of issues with the long established development. Due to this distance, it is not expected that any noise issues will arise from this development;
- It is a long standing operation and the landowner is not aware of DBCA issues;
- There is substantial mature vegetation on the site which assists to mitigate noise and other impacts;
- There is a requirement for operators to appropriately manage their operation and control their impacts on their own property in accordance with standard practice and legal principles;
- Lighting and light spill can be controlled to the satisfaction of the Shire. The significant vegetation assists to minimise off-site impacts; and
- Conditions imposed by the Shire, through the development approval, will assist to control the impacts of the development.

The on-going management role of DBCA in managing land in the adjoining State Forest is acknowledged, including their controlled burns, spraying etc. Compatibility between tourist development and the DBCA estate will be promoted through measures including:

- The existing buildings having generous setbacks from the DBCA estate;
- A system of well-maintained firebreaks around the perimeter of the site; and
- The operator notifies visitors regarding the range of DBCA management activities.



Various measures will be required to assist in maintaining the amenity of the area and on the site. These include:

- The landowner/operator lives on the site. This will assist in ensuring there is effective on-going management;
- The likely requirement to prepare a Management Plan, as a condition of the development approval, to address relevant matters; and
- Implementing rules, which all occupants are required to abide by, including behaviour standards.

Given the above, the development will provide for the safety and amenity of surrounding land uses. Accordingly, the site is suitable and capable of accommodating tourist/visitor accommodation and supporting facilities based on the context, zoning and site characteristics.

### 5.5 Bushfire management

A key State Government document is *Guidelines for Planning in Bushfire Prone Areas*. The Guidance sets out that short stay accommodation is a vulnerable land use and a Bushfire Management Plan (BMP) is required to support a Development Application.

Envision Bushfire Protection have assessed bushfire risks and have prepared a BMP and a BEEP for the site. The BMP and BEEP address *State Planning Policy 3.7 Planning in Bushfire Prone Areas*, the *Guidelines for Planning in Bushfire Prone Areas* and the relevant requirements of the Shire's Annual Fire Break Notice. The BMP outlines responsibilities for implementation and management of the bushfire measures, while the BEEP outlines actions, responsibilities, the need for training and preparedness.

The BMP outlines the following with respect to the proposed development at the site:

- The proposal has been assessed against all applicable legislation, policy, standards and guidelines including the five elements of the Bushfire Protection Criteria which concluded that the proposal complies with all applicable bushfire related legislation, policy, standards and guidelines;
- The proposed development is classed as other short term accommodation under Element 5. It is able to satisfy the listed Acceptable Solutions. The site can provide a 'suitable destination' as described in the Guidelines, in turn satisfying the vehicle access requirement A5.7a, and space is available to accommodate an onsite assembly in accordance with A5.7f and 5.7g. Yourdamung Road is an unsealed road but is compliant (A5.8.2d) with Table 6, column 1 (IPWEA 3.3.1.2);
- The proposed assembly building is sufficiently sized to accommodate all overnight visitors on the site including from the existing and proposed tourist development and the camping grounds;
- The assembly building to be designed and constructed as 10kWm<sup>2</sup> at 1200K, internal capacity 1.2m<sup>2</sup> per person, constructed to an FRL 60/60/60 and tenable conditions in accordance with the Design and Construction of Community Refuges;
- There is sufficient space on the site to achieve a 'suitable destination'. Vegetation is required to be modified and distributed and maintained as low threat;
- The assessed bushfire risk is manageable and will be achieved by the identified stakeholders implementing and maintaining the bushfire risk management measures that are presented within the BMP;
- An Asset Protection Zone and minimum separation distances need to be maintained; and
- All buildings and camp sites can attain BAL-29 or below.

The solutions described in the BMP and BEEP will ensure the development conforms to all relevant policies and standards for the safety of staff and visitors, as required by State Planning Policy 3.7.

The Development Application and supporting BMP and BEEP seek to formalise existing low-key uses and works and which importantly assist to lower bushfire risks from the current situation.

It is proposed that the assembly building is not constructed upfront as part of formalising retrospective approvals for existing 'legacy' development. Instead, the assembly building is required to be constructed and certified by a fire engineer before the 12 camping sites are occupied.

## **5.6 Landscape**

The locality is characterised by State Forest and a handful of freehold lots.

Most development subject to this Development Application is existing and there are also a significant number of mature trees on the site.

Yourdamung Road is not classified as a tourist drive.

Accordingly, the site is discrete within its setting due to its context and characteristics. In particular, the proposed camping ground may be only partially visible from Yourdamung Road.

## **5.7 Environmental and public health impact**

It is expected there will be no or minimal off-site environmental impacts associated with the development. For instance:

- Most of the development is existing and the camping ground will be located on cleared land;
- There are appropriate buffers to sensitive land uses;
- It is appropriately serviced;
- Noise, dust and stormwater can be effectively managed;
- It is not a contaminated site; and
- The operator appropriately collects waste and recycling and takes these to the Shire's waste disposal/recycling area.

In terms of public health, a key consideration relates to bushfire risks and emergency management (see section 5.5). There is a need to address potential impacts on human health through reviewing risks and setting out mitigation strategies/actions to avoid adverse impacts on human health. This could relate to matters such as mosquito borne diseases such as Ross River virus. These matters can be addressed in further detail through relevant environmental health applications and through licencing of the camping grounds.

## **5.8 Traffic and carparking**

Yourdamung Road, which is unsealed, provides access to the site.

There is an existing vehicle access (crossover) to the site. The site plan shows a secondary access (emergency access way). Vehicles will enter and leave the site in a forward gear.

The level of traffic to and from the site will be modest and the development will have minimal impacts on Yourdamung Road. Yourdamung Road has sufficient capacity to address traffic generation from the development.

All parking will be contained on site in the generous parking areas.

### **5.9 Services**

The site contains relevant services for existing and proposed development.

The development is provided with on-site sewerage disposal. There is sufficient space to appropriately accommodate on-site sewage disposal, which is appropriately setback from water bodies, to the satisfaction of the Shire. It is understood there is a need to obtain septic approvals from the Shire.

Potable water is provided by rainwater tanks. The site has 300,000 litres of water tank storage. This will be reviewed to ensure the water supply is in accordance with Shire standards. In addition to the tanks are two dams.

The proposed camping area will be appropriately serviced for a nature based camp.

### **5.10 Shire of Collie Local Planning Scheme No. 6**

As outlined in section 3.4.1, the site is zoned 'Rural' in LPS6. The below section assesses the proposed development against relevant LPS6 aims, objectives and provisions.

<b>Assessment of proposal against LPS6 provisions</b>							
<b>Aims, objectives and provisions</b>	<b>Compliance</b>						
<b>Clause 9 Aims of Scheme</b>  (c) provide sufficient zoned land to support business growth and diversification to promote a resilient economy; (f) promote the sustainable use of rural land for agricultural purposes ensuring its protection from ad hoc fragmentation; (g) protect, conserve and enhance the natural environmental values and resources and promote ecologically sustainable land use and development;	Yes Yes Yes						
<b>Clause 16 – Rural zone objectives</b>  To protect broad acre agricultural activities such as cropping and grazing and intensive uses such as horticulture as primary uses, with other rural pursuits and rural industries as secondary uses in circumstances where they demonstrate compatibility with the primary use.  To provide for a range of non-rural land uses where they have demonstrated benefit and are compatible with surrounding rural uses.	Yes  Yes						
<b>Clause 17 - Zoning Table</b>  <table border="0"> <tr> <td>Use Class</td><td>Rural</td></tr> <tr> <td>Camping ground</td><td>A</td></tr> <tr> <td>Tourist development</td><td>A</td></tr> </table>	Use Class	Rural	Camping ground	A	Tourist development	A	The proposed uses and works (and related uses) are permissible in the Rural zone.
Use Class	Rural						
Camping ground	A						
Tourist development	A						
<b>Clause 32.8 – Holiday accommodation</b>  (a) Holiday accommodation in the Rural zone shall be: <ul style="list-style-type: none"> <li>(i) Limited to a maximum of 2 holiday accommodation dwellings on a lot size smaller than 5ha;</li> <li>(ii) Limited to a maximum of 4 holiday accommodation dwellings on a lot size of 5-20ha;</li> <li>(iii) Limited to a maximum of 6 holiday accommodation dwellings on a lot size greater than 20ha;</li> <li>(iv) Setback from property boundaries to ensure that existing, future and potential rural land uses are not adversely affected, to the satisfaction of the local government;</li> </ul>	Yes  There will be a maximum of 4 holiday accommodation dwellings along with the caretaker dwelling.  Yes						
<b>Clause 33.2 Rural Zone requirements</b>	Yes						
<b>Schedule 1 Zone Development</b>							
Front boundary setback ((30m)	No, buildings are existing						
Side boundary setback (15m)	Yes						
Rear setback (30m)	Yes						
Maximum site coverage – as determined by Shire	Yes						
Landscaping – no standard outlined	Not applicable. There are generous existing trees.						

### 5.11 Camping ground (nature based park)

The Development Application seeks approval for a proposed camping ground for 12 campsites with associated vehicular access. This is to be progressed following resolution of necessary approvals for existing works. Assuming up to 4 people per bay, on occasions, this would provide a maximum of 48 people. Through much of the year, the number of campers on the site would be well below this.

The camp sites and the proposed vehicular access will be located and aligned on cleared land. There is appropriate separation between campsites. The proposed secondary access will assist with emergency management.

The 12 camping sites are located within the low fuel area of BAL-29 or below and are distributed around the assembly building. The campsites are proposed to be at least 30 metres from a property boundary.

The camp is proposed to be a 'nature based park'. The *Caravan Parks and Camping Grounds Regulations 1997* (the 'Regulations') define a nature based park as follows:

**nature based park** means a facility in an area that —

- a) is not in close proximity to an area that is built up with structures used for business, industry or dwelling-houses at intervals of less than 100 m for a distance of 500 m or more; and
- b) has been predominantly formed by nature; and
- c) has limited or controlled artificial light and noise intrusion;

The site clearly addresses point (a). Given the site's context and that much of the site contains native trees, it meets point (b). Point (c) is addressed through the site's context and can be further addressed through managing lighting and managing noise on the site.

Once the development approval is obtained, the landowner/operator is required to address the Regulations and obtain a licence from the Shire. This includes preparation of a Management Plan. The Management Plan will require the operator to provide details on how the proposed nature based park is to be designed and operated, addressing the level of amenities to be provided and the mitigation of risks.

The Management Plan for nature based parks will need to address:

- Market segment being targeted;
- Amenities proposed to be provided, or not provided (considering the market);
- Site planning;
- Environmental impact and sustainability;
- Waste management;
- Traffic management;
- Risk management; and
- Length of stay of occupiers.

As outlined in *Nature Based Parks: Guidelines for Developers and Local Governments*, nature based parks are low-cost, small-scale tourist accommodation. The Guidelines set out:

'When determining whether a nature based park is the appropriate licence category, the prime consideration is whether it is in a primarily undisturbed natural setting surrounded by vegetation. The impact of artificial light and noise should be taken into consideration. A natural landscape can include an agricultural setting if the other criteria are met. The development should be consistent with the surrounding landscape character. The impact of artificial light and noise should be taken into consideration and it must be in a non-urban setting. A natural landscape can include an agricultural setting if the other criteria are met' (page 6).

'A nature based park will often have limited facilities. This should be linked to the targeted market segment and their needs, and the location or remoteness of the nature based park which makes provision of a higher level of facilities unreasonable' (page 8).

## 5.12 Supporting the local economy

The Yourdamung Road Retreat contracts people as required to assist along with employing the owner/manager. While not a part of this Development Application, additional contractors are appointed to assist with events including providing security services.

The Shire promotes employment and economic growth as outlined in publications such as the Strategic Community Plan, LPS6 and in economic development strategies.

Approval and implementation of the tourist development and camping ground will have various economic benefits including supporting local employment, supporting local services, assisting in a more sustainable local economy and it will add to Collie's overall viability, vitality and prosperity.

A growing and more diverse economy will provide an important foundation for the future economic base of Collie. This is consistent with the planning framework which promotes employment and economic growth.

The development will provide benefits to the local community through direct and indirect employment opportunities and multiplier effects from the economic benefits flowing from the development.

Approval of the Development Application will assist to encourage upgrading and investment on the site. The approval will formalise existing tourist development uses and support a new camping ground.

## 6.0 CONCLUSION

This correspondence confirms that the Development Application is consistent with the planning framework, the site is both suitable and capable of accommodating the proposed uses and works and the proposal represents orderly and proper planning.

Implementation of the approval will provide a range of benefits to Collie as outlined in this correspondence.

## 7.0 NEXT STEPS

We trust that the above and attached provides sufficient information to assess this application. Please contact me on 0409107336 or [steve@edgeplanning.com.au](mailto:steve@edgeplanning.com.au) should you have any questions, seek clarification or require additional information.

On behalf of our client, Edge Planning & Property trust the Shire will positively consider this amended Development Application and we look forward to receiving conditional approval.

Yours sincerely

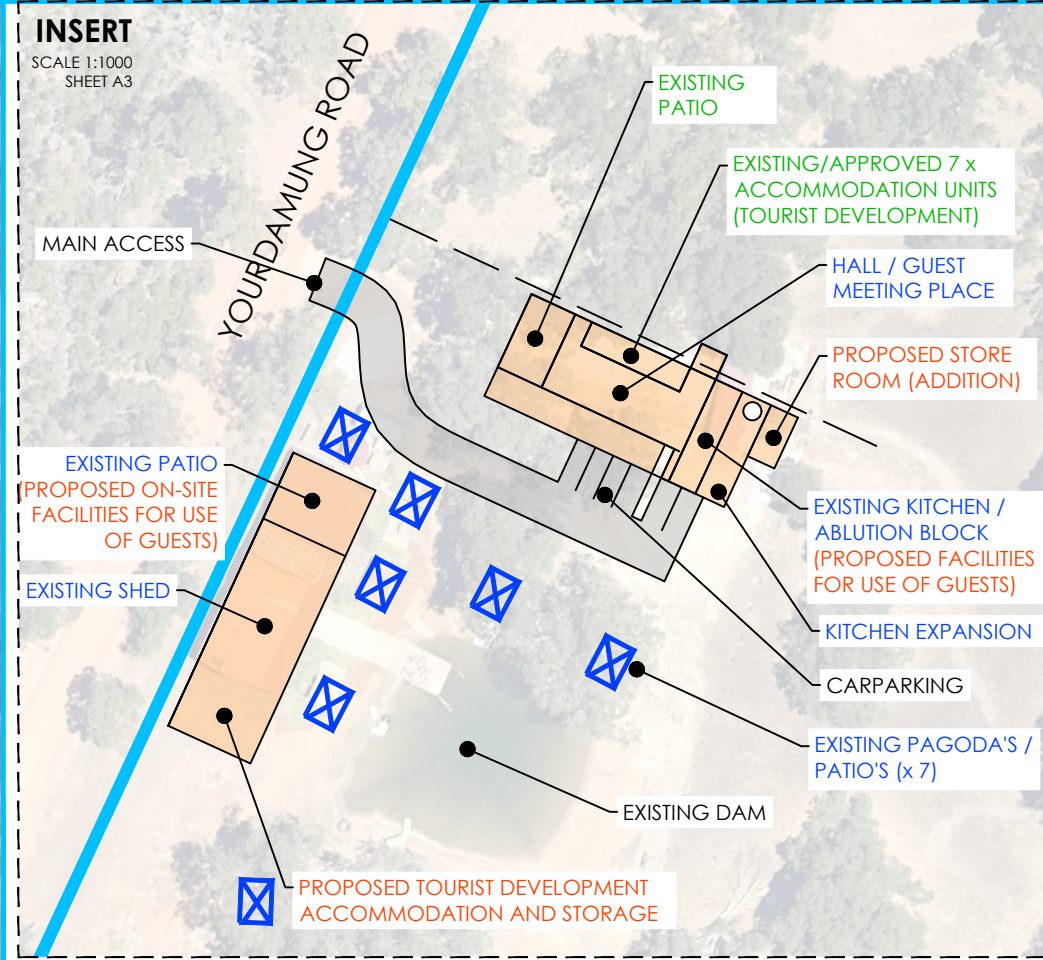
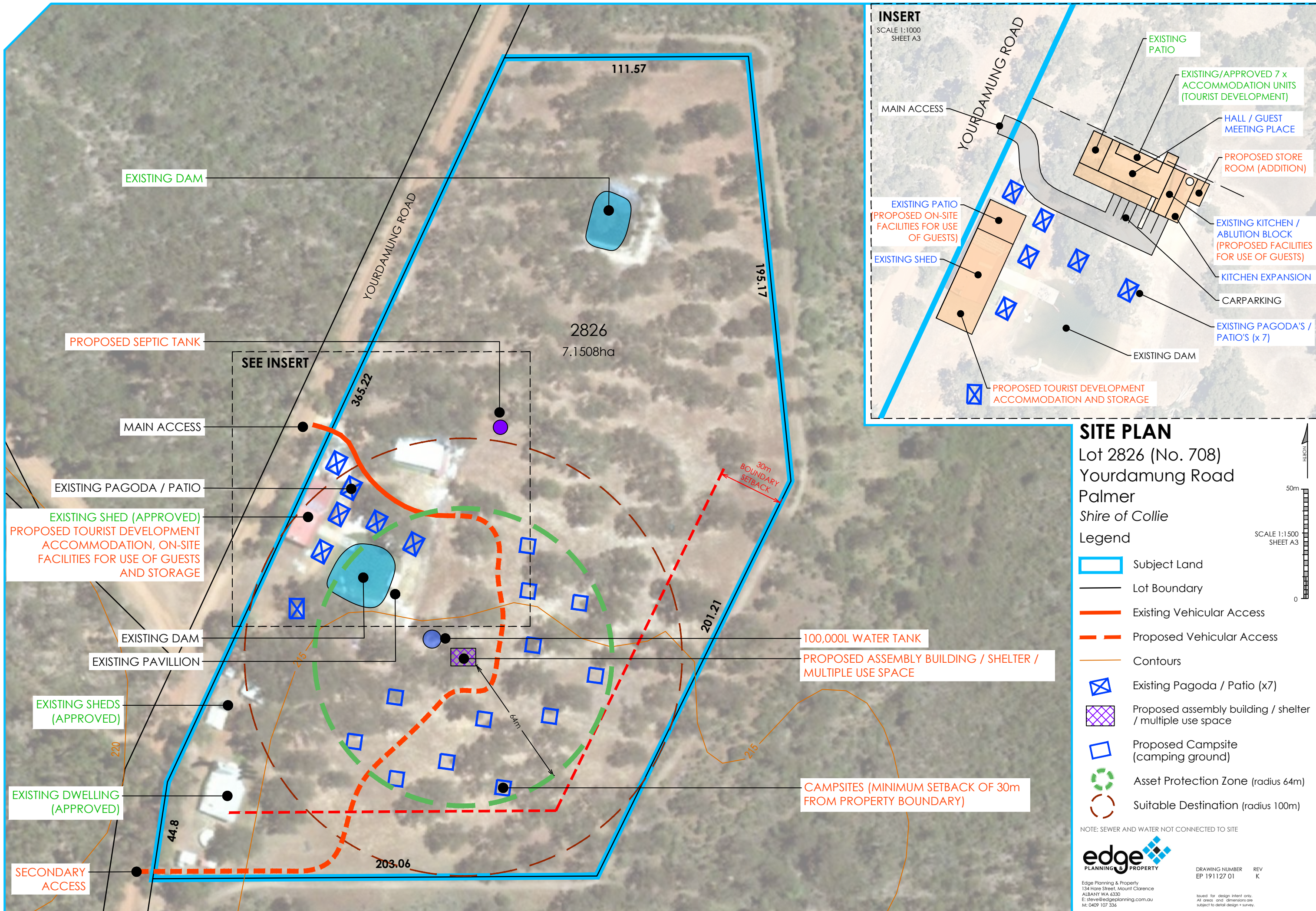


Steve Thompson  
**SENIOR PARTNER**

25 October 2022

Enc.





### SITE PLAN

Lot 2826 (No. 708)  
Yourdamung Road  
Palmer  
Shire of Collie

Legend

- Subject Land
- Lot Boundary
- Existing Vehicular Access
- Proposed Vehicular Access
- Contours
- Existing Pagoda / Patio (x7)
- Proposed assembly building / shelter / multiple use space
- Proposed Campsite (camping ground)
- Asset Protection Zone (radius 64m)
- Suitable Destination (radius 100m)

NOTE: SEWER AND WATER NOT CONNECTED TO SITE

edge  
PLANNING & PROPERTY

134 Hare Street, Mount Clarence  
ALBANY WA 6330  
E: steve@edgeplanning.com.au  
M: 0409 107 336

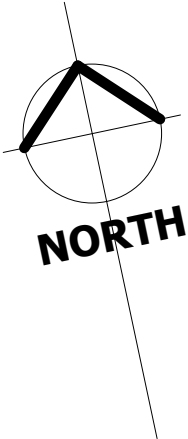
DRAWING NUMBER  
EP 191127 01

REV  
K

Issued for design intent only.  
All areas and dimensions are  
subject to detail design + survey.

SCALE 1:1500  
SHEET A3





Lot Plan  
1 : 2000

General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

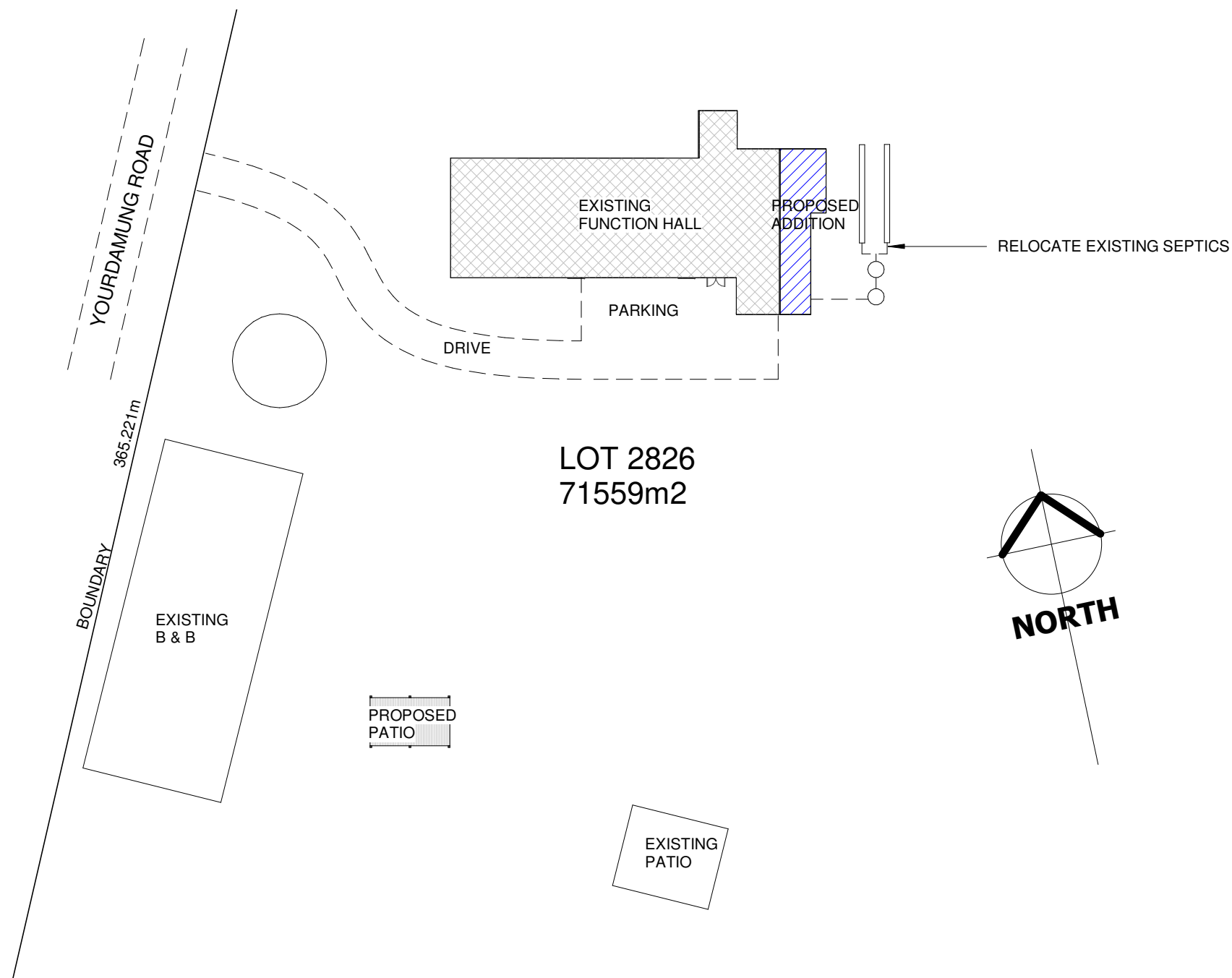
Proposed Additions

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Lot Plan	
REV	DATE	DESCRIPTION	Sheet number:	A01
1	22.4.20	ISSUED FOR CLIENT	Project number:	220-1
			Date:	1/4/20
			Drawn by:	GG
			Scale:	1 : 2000



Phone : 97217471    Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street    Bunbury WA 6230



Site Plan  
1 : 500

General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

### Proposed Additions

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

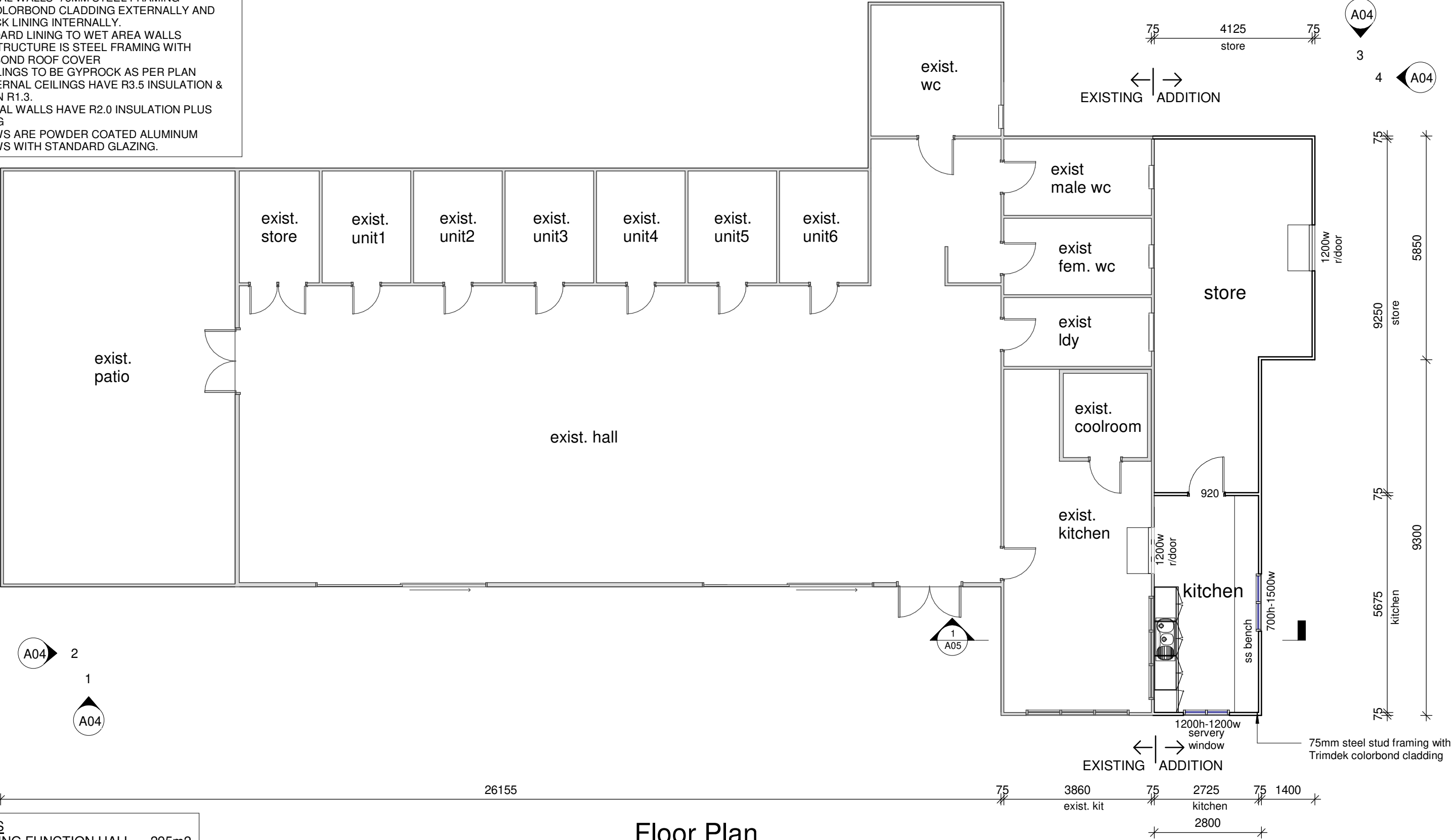
		REVISION SCHEDULE	Site Plan	
REV	DATE	DESCRIPTION	Sheet number:	A02
1	22.4.20	ISSUED FOR CLIENT	Project number:	220-1
			Date:	1/4/20
			Drawn by:	GG
			Scale:	1 : 500



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Address : 9b Wittenoom Street Bunbury WA 6230

CONSTRUCTION NOTES

EXTERNAL WALLS 75MM STEEL FRAMING WITH COLORBOND CLADDING EXTERNALLY AND GYPROCK LINING INTERNALLY.  
VILLABOARD LINING TO WET AREA WALLS  
ROOF STRUCTURE IS STEEL FRAMING WITH COLORBOND ROOF COVER  
ALL CEILINGS TO BE GYPROCK AS PER PLAN  
ALL INTERNAL CEILINGS HAVE R3.5 INSULATION & ANTICON R1.3.  
EXTERNAL WALLS HAVE R2.0 INSULATION PLUS SARKING  
WINDOWS ARE POWDER COATED ALUMINUM  
WINDOWS WITH STANDARD GLAZING.



AREAS	
EXISTING FUNCTION HALL	= 295m2
ADDITION	= 50.6m2

Floor Plan  
1 : 100

General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Additions

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

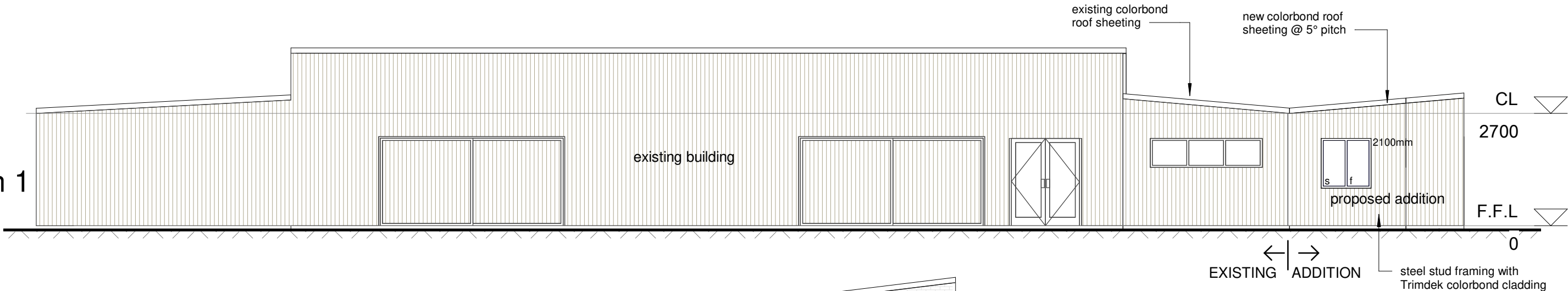
REVISION SCHEDULE			Proposed Floor Plan	
REV	DATE	DESCRIPTION	Sheet number:	A03
1	22.4.20	ISSUED FOR CLIENT	Project number:	220-1
			Date:	1/4/20
			Drawn by:	GG
			Scale:	1 : 100



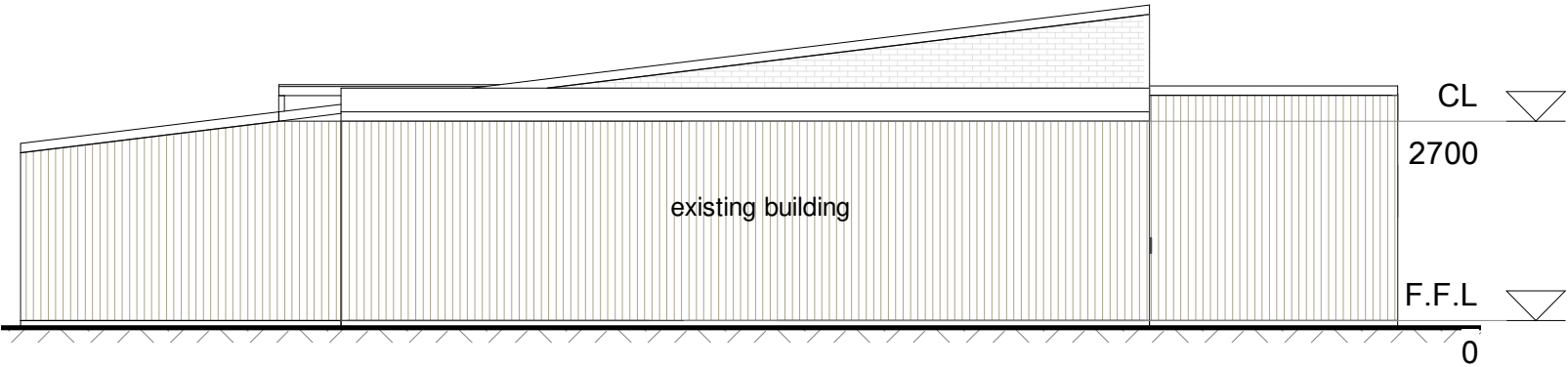
Phone : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



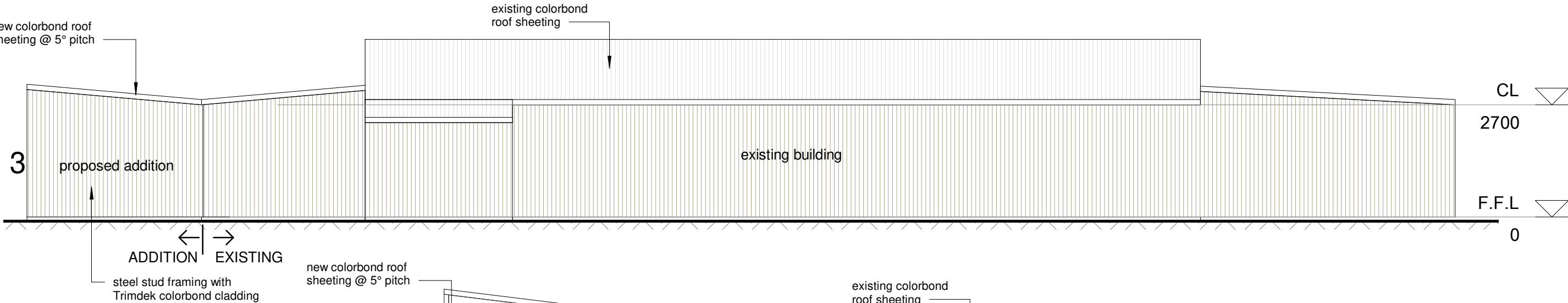
Elevation 1  
1 : 100



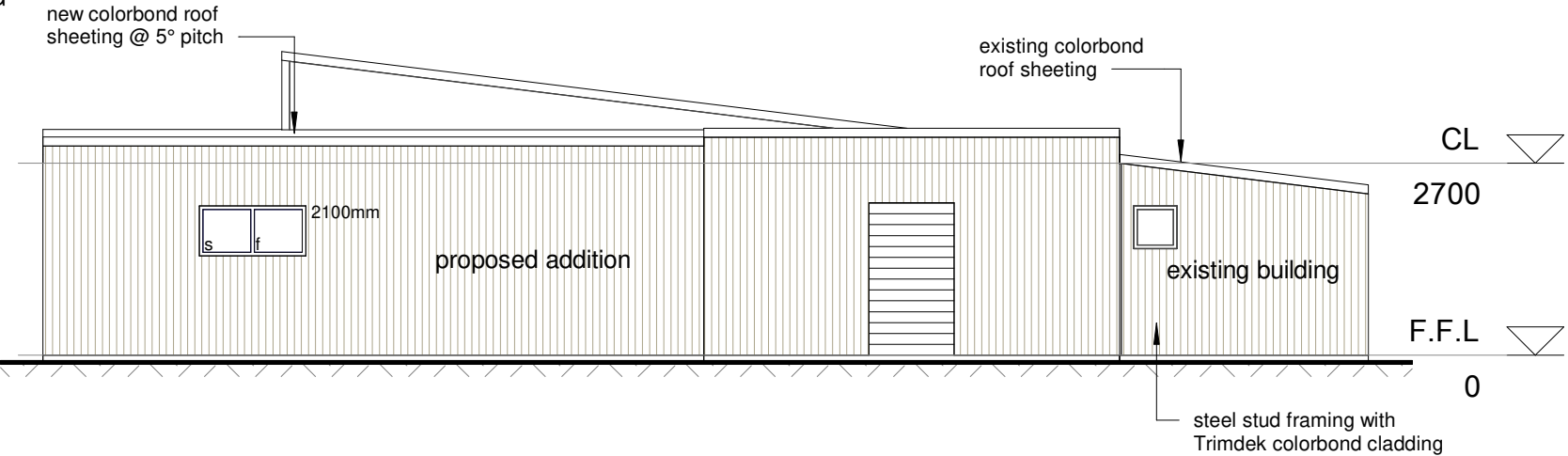
Elevation 2  
1 : 100



Elevation 3  
1 : 100



Elevation 4  
1 : 100



General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
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The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Additions

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Elevations	
REV	DATE	DESCRIPTION	Sheet number:	A04
1	22.4.20	ISSUED FOR CLIENT	Project number:	220-1
			Date:	1/4/20
			Drawn by:	GG
			Scale:	1 : 100



Phone : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



Site Plan  
1 : 2000

General Notes  
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All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shed Conversion to B & B Accommodation.  
  
Lot 2826 (#708)Yourdamung Road  
Yourdamung For R. Tierney

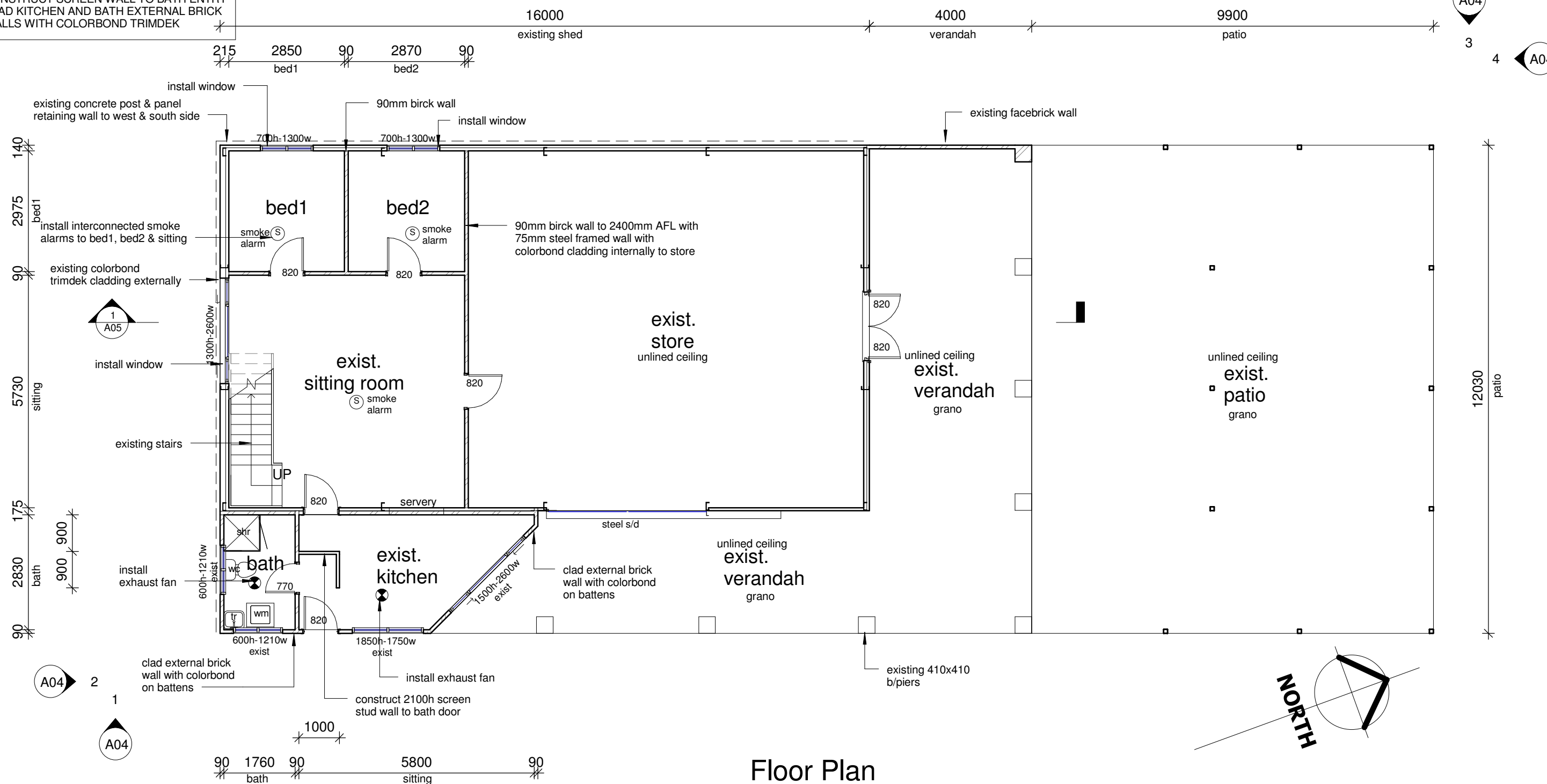
REVISION SCHEDULE			Site Plan	
REV	DATE	DESCRIPTION	Sheet number:	A01
1	24.4.19	ISSUED FOR CLIENT	Project number:	424-1
2	26.4.19	ISSUED FOR CLIENT	Date:	24/4/2019
			Drawn by:	GG
			Scale:	1 : 2000



Phone : 97217471 Fax : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



**CONSTRUCTION NOTES:**  
LINE CEILINGS IN SITTING AND  
BEDROOMS @ 2440.  
INSTALL SMOKE ALARMS TO AS3786  
AS SHOWN ON PLAN  
INSTALL WINDOWS TO BED1,2 & SITTING.  
INSTALL EXHAUST FANS TO BATH & KITCHEN  
CONSTRUCT SCREEN WALL TO BATH ENTRY  
CLAD KITCHEN AND BATH EXTERNAL BRICK  
WALLS WITH COLORBOND TRIMDEK



Floor Plan  
1 : 100

**General Notes**  
All materials and work practices shall comply with the Building Code of Australia 2016 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shed Conversion to B & B Accommodation.

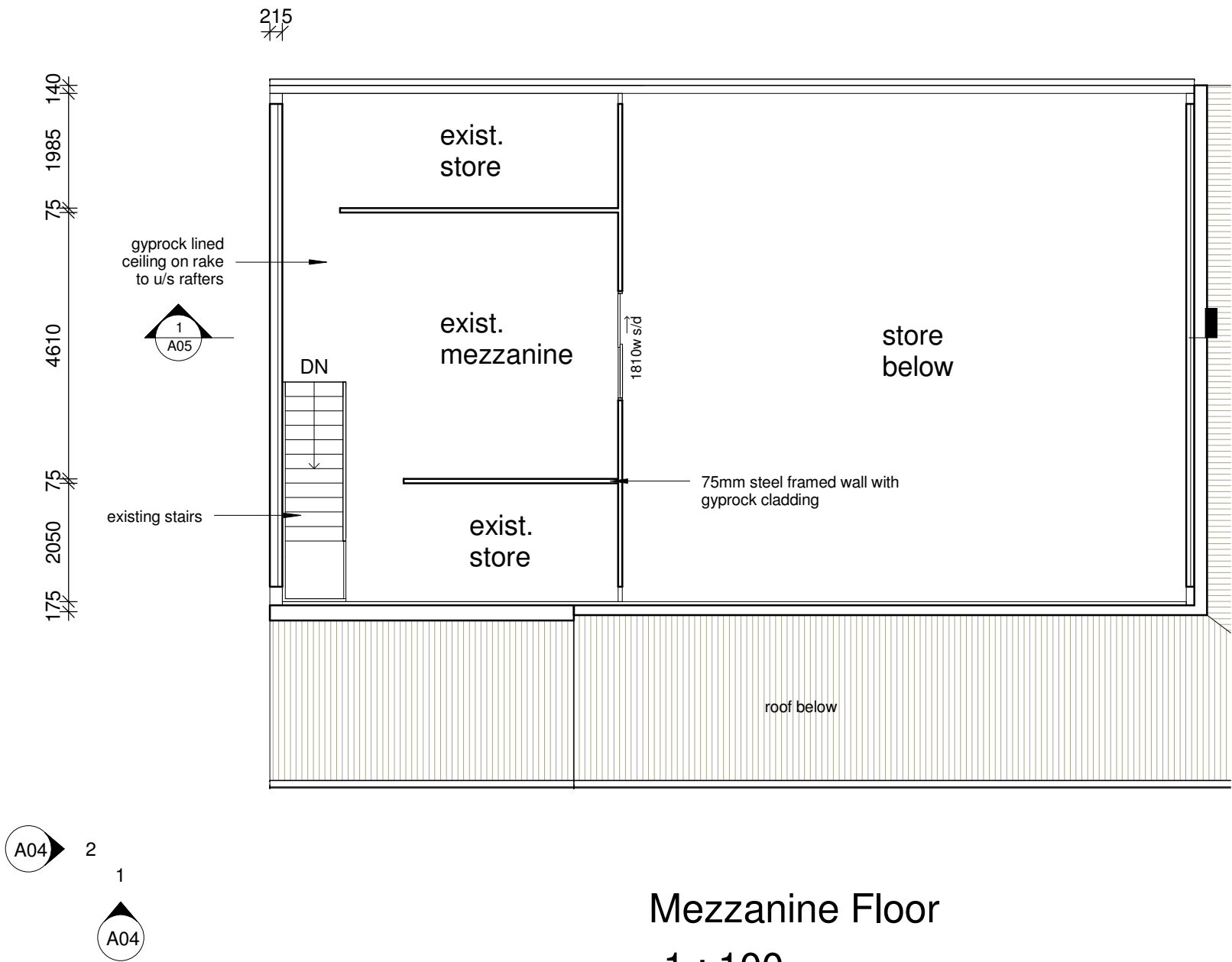
Lot 2826 (#708)Yourdamung Road  
Yourdamung For R. Tierney

		REVISION SCHEDULE	Floor Plan
REV	DATE	DESCRIPTION	Sheet number: A02
1	24.4.19	ISSUED FOR CLIENT	Project number: 424-
2	26.4.19	ISSUED FOR CLIENT	Date: 24/4/2019
			Drawn by: GC
			Scale: 1 : 100



Phone : 97217471 Fax : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230

CONSTRUCTION NOTES:  
LINE CEILINGS IN SITTING AND  
BEDROOMS @ 2440.  
INSTALL SMOKE ALARMS TO AS3786  
AS SHOWN ON PLAN  
INSTALL WINDOWS TO BED1,2 & SITTING.  
INSTALL EXHAUST FANS TO BATH & KITCHEN  
CONSTRUCT SCREEN WALL TO BATH ENTRY  
CLAD KITCHEN AND BATH EXTERNAL BRICK  
WALLS WITH COLORBOND TRIMDEK



Mezzanine Floor  
1 : 100

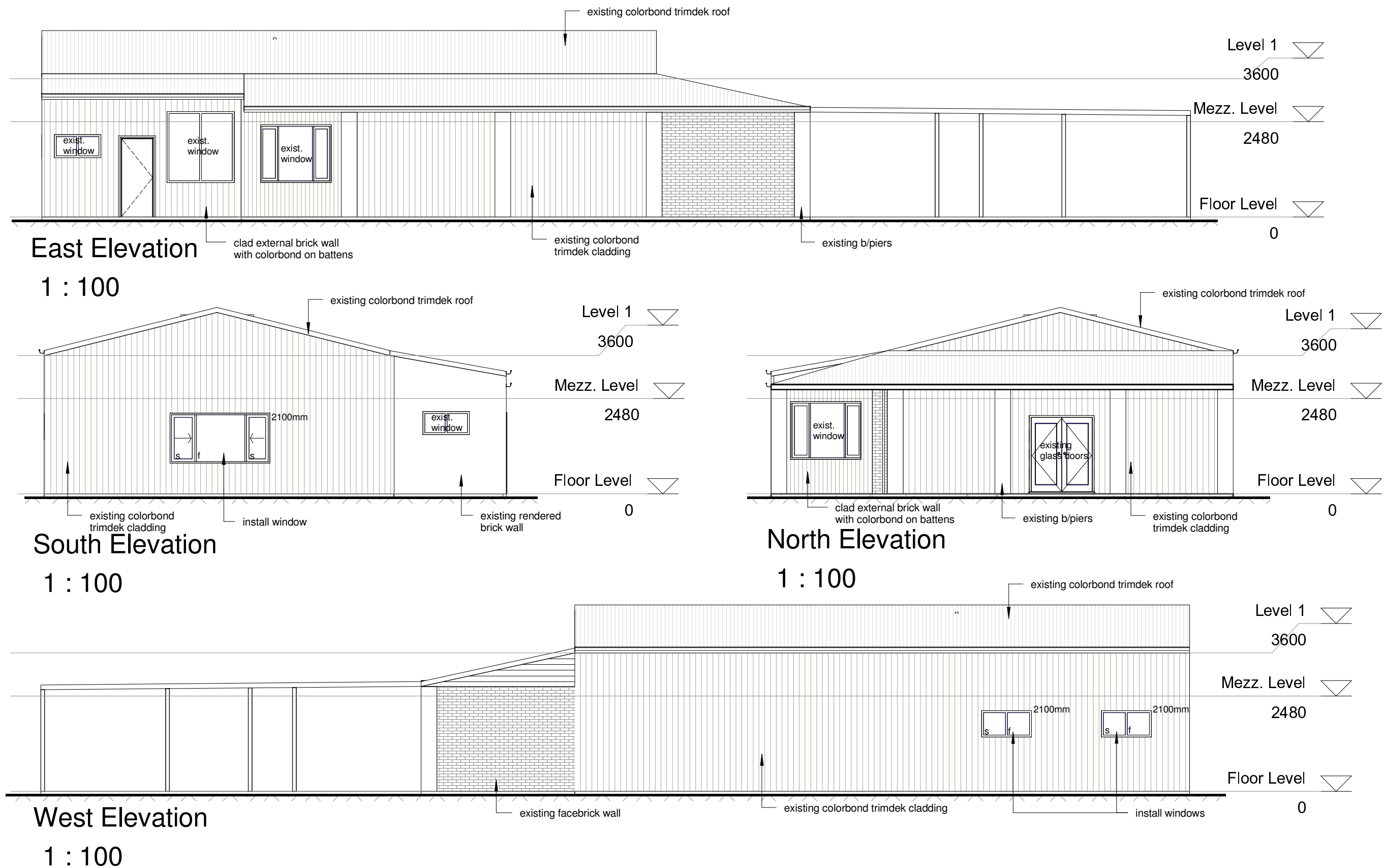
General Notes  
All materials and work practices shall comply with the Building Code of Australia 2016 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurments onsite.

Proposed Shed Conversion to B & B Accommodation.  
  
Lot 2826 (#708)Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Mezzanine Floor	
REV	DATE	DESCRIPTION	Sheet number: A03	
1	24.4.19	ISSUED FOR CLIENT	Project number: 424-1	
2	26.4.19	ISSUED FOR CLIENT	Date: 24/4/2019	
			Drawn by: GG	
			Scale: 1 : 100	



Phone : 97217471 Fax : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



General Notes  
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The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

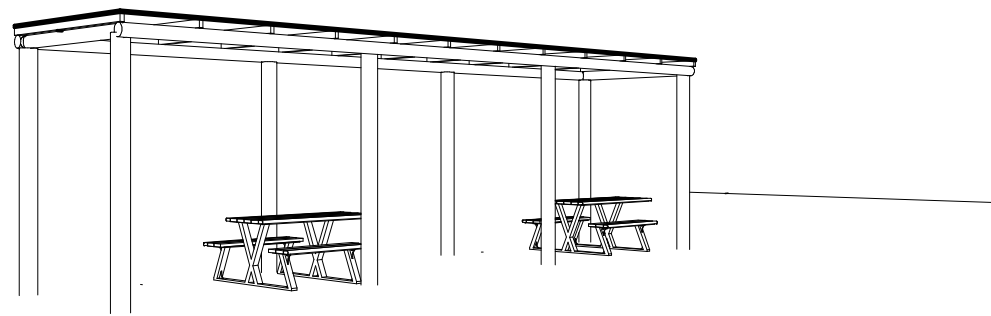
Proposed Shed Conversion to B & B Accommodation.

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Elevations	
REV	DATE	DESCRIPTION	Sheet number:	A04
1	24.4.19	ISSUED FOR CLIENT	Project number:	424-1
2	26.4.19	ISSUED FOR CLIENT	Date:	24/4/2019
			Drawn by:	GG
			Scale:	1 : 100



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Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



A00	COVER SHEET
A01	LOCATION PLAN
A02	SITE PLAN
A03	GROUND FLOOR G1 - G6
A04	GROUND FLOOR G7
A05	STANDARD ELEVATIONS
A06	ROOF LAYOUT
A07	CONSTRUCTION NOTES

1

YOURDAMUNG RETREAT - GAZEBO NO. 7





Lot Plan  
1 : 2000

General Notes  
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All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
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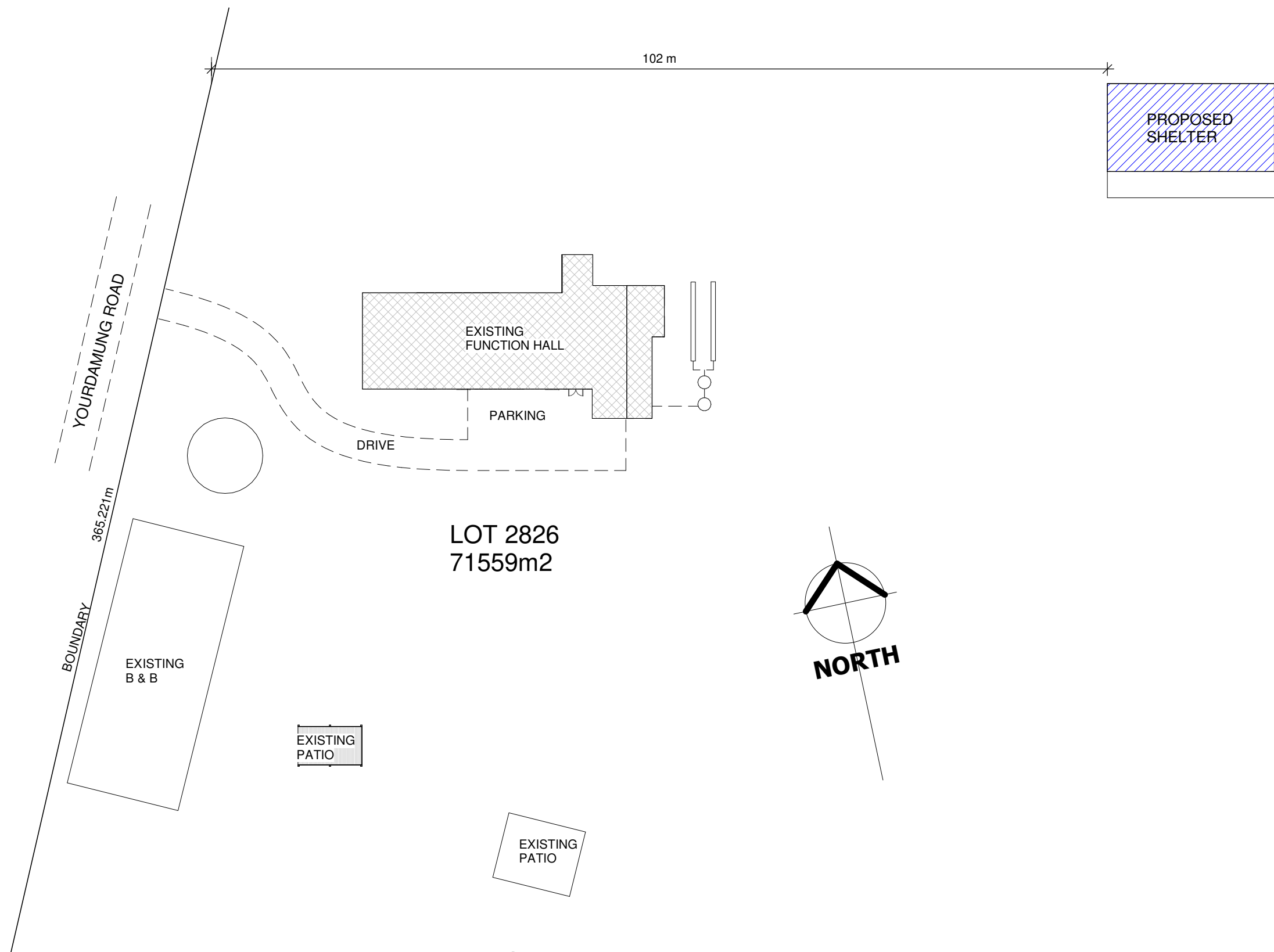
Proposed Shelter/Multiple Use Space

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

		REVISION SCHEDULE	Lot Plan	
REV	DATE	DESCRIPTION	Sheet number: A01	
1	17.10.22	ISSUED FOR CLIENT	Project number: 1013-1	
			Date: 13/10/22	
			Drawn by: GG	
			Scale: 1 : 2000	



Phone : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



Site Plan  
1 : 500

General Notes  
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All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shelter/Multiple Use Space		REVISION SCHEDULE		Site Plan	
		REV	DATE	DESCRIPTION	Sheet number: A02
		1	17.10.22	ISSUED FOR CLIENT	Project number: 1013-1
					Date: 13/10/22
					Drawn by: GG
Lot 2826 (#708) Yourdamung Road Yourdamung For R. Tierney					Scale: 1 : 500

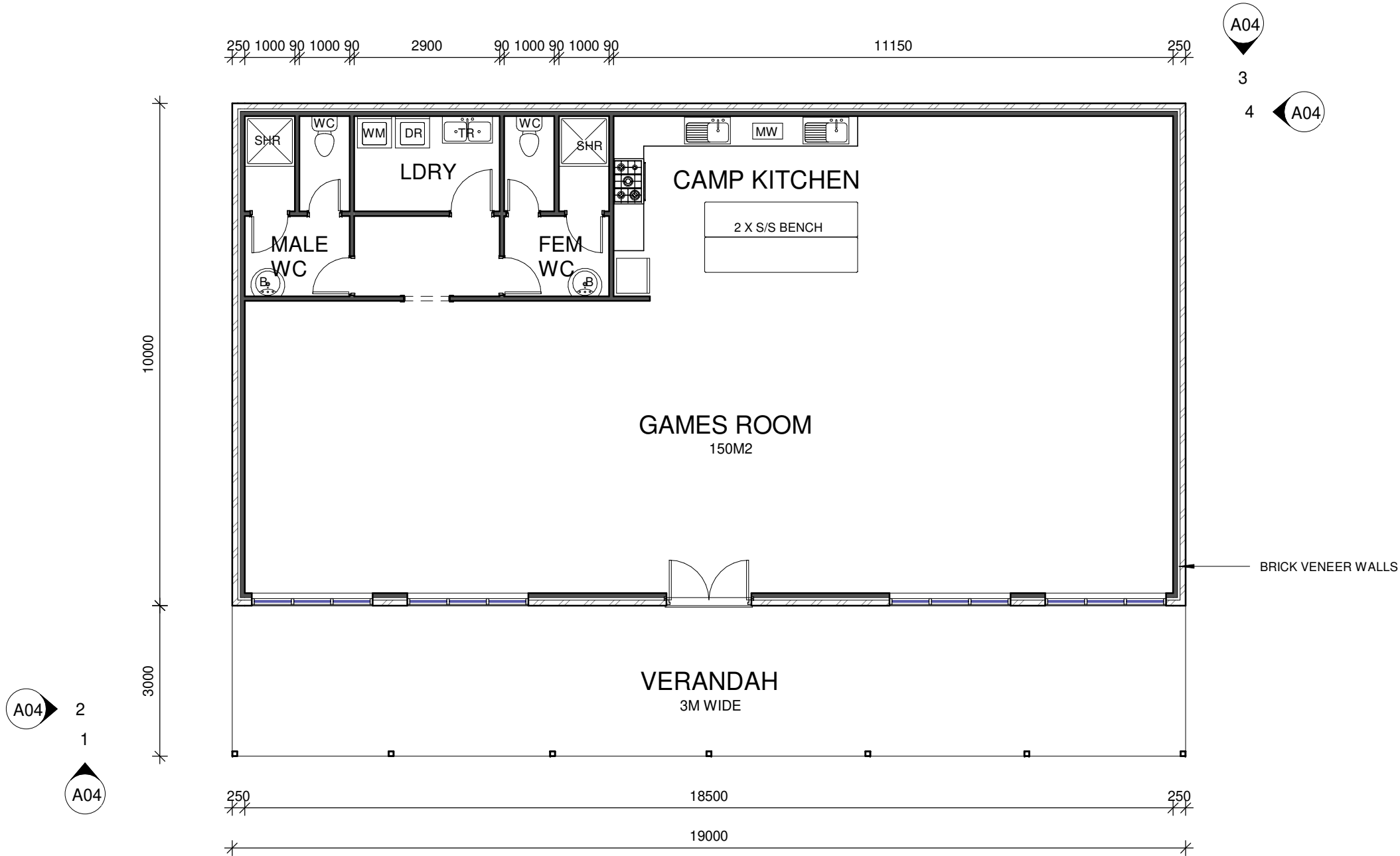


**GHASSEB  
DRAFTING**  
DESIGN & DRAFTING PRACTICE

Phone : 97217471    Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street    Bunbury WA 6230



NOTE:  
CONSTRUCTION DETAILS FOR  
THE SHELTER WILL BE ADDRESSED  
AT THE BUILDING PERMIT STAGE.



Floor Plan  
1 : 100

AREAS  
FIRE SHELTER = 190m2  
VERANDAH = 57M2

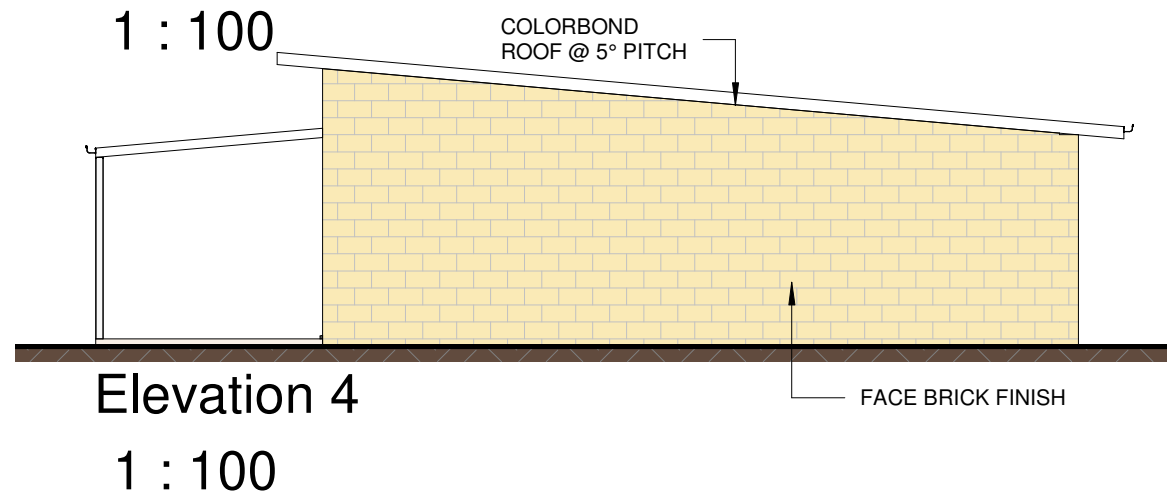
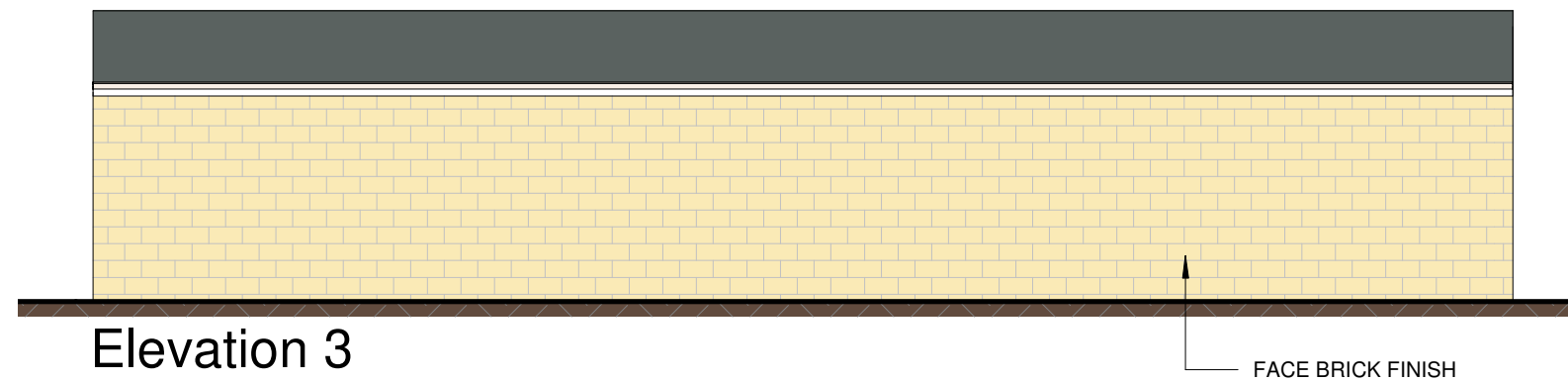
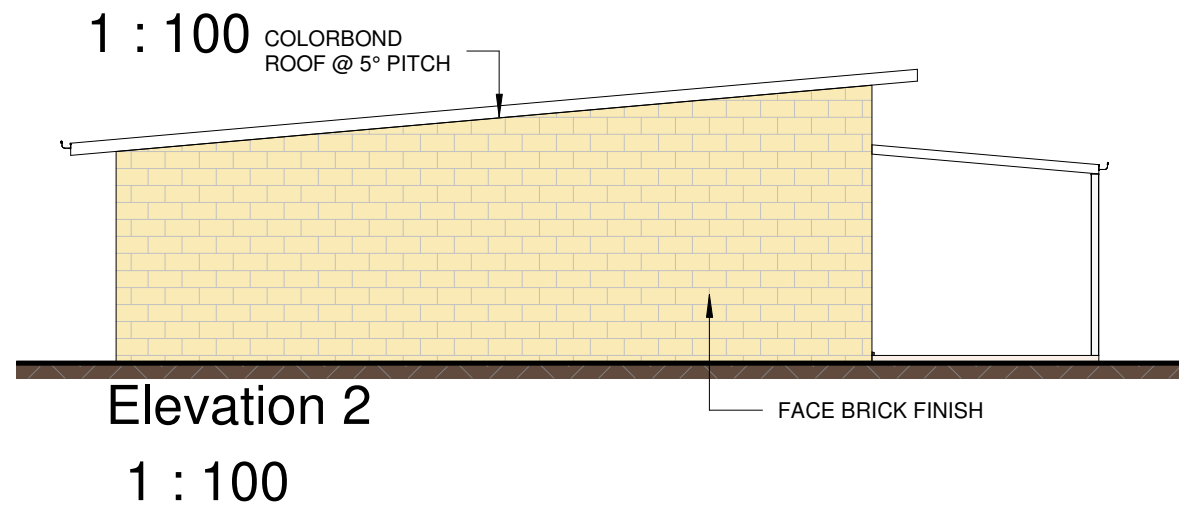
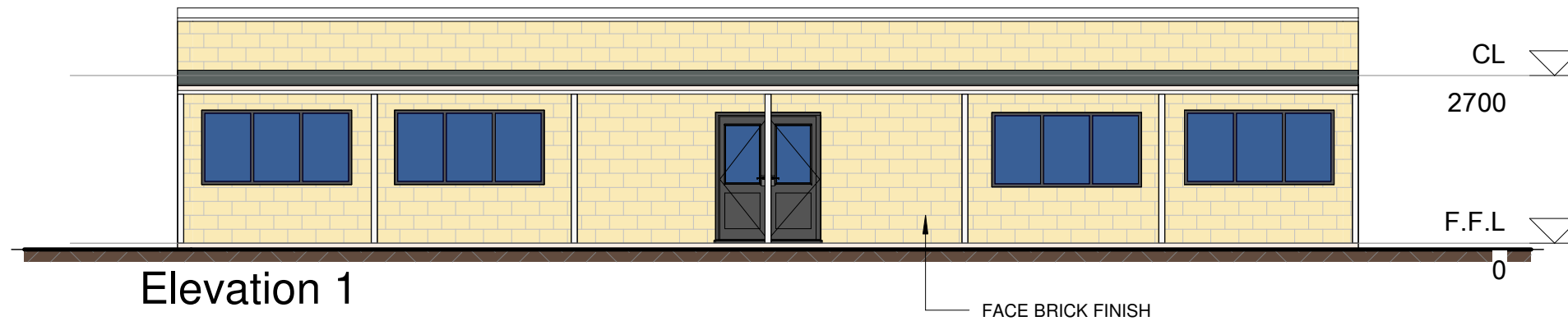
General Notes  
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All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shelter/Multiple Use Space		REVISION SCHEDULE	Proposed Floor Plan	
REV	DATE	DESCRIPTION	Sheet number:	A03
1	17.10.22	ISSUED FOR CLIENT	Project number:	1013-1
			Date:	13/10/22
			Drawn by:	GG
			Scale:	1 : 100



**GHASSEB  
DRAFTING**  
DESIGN & DRAFTING PRACTICE

Phone : 97217471    Mobile : 0418945793  
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General Notes  
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The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shelter/Multiple Use Space

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Elevations	
REV	DATE	DESCRIPTION	Sheet number:	A04
1	17.10.22	ISSUED FOR CLIENT	Project number:	1013-1
			Date:	13/10/22
			Drawn by:	GG
			Scale:	1 : 100



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Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.5.3**



# Bushfire Management Plan

Yourdamung Road Retreat  
708 Yourdamung Road Palmer WA

Client – R Tierney  
March 2023





## -LIMITATIONS STATEMENT

This Bushfire Management Plan ('BMP') has been solely prepared for tourist accommodation at 708 Yourdamung Road Palmer WA.

### Envision Bushfire Protection

ABN: 90958370365

PO Box 7209 SHENTON PARK WA 6008

P: 0428 066 147

Email: [admin@envisionbp.com.au](mailto:admin@envisionbp.com.au)

### Version Control

708 Yourdamung Road Palmer WA			
Version	Date	Author	
V1	18 October 2022	Anthony Rowe	Draft
V2	18 February 2023	Anthony Rowe	Revision to implement a shelter in accordance with A5.8.2e
V3	23 March 2023	Anthony Rowe	Modification following DFES comments, photos, Map 3b retitled to post development and Evacuation diagram and clarification of maximum over night occupancy

### Copyright

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### Disclaimer

In undertaking this work, the authors have made every effort to accurately apply the available information at the time of writing following the instructions of the regulatory authorities and applying best practice as described by the Fire Protection Association Australia. Any conclusions drawn or recommendations made in the report are made in good faith, and the consultants take no responsibility for how this information and the report are subsequently used.

Envision Bushfire Protection accepts no liability for a third party's use of, or reliance upon, this specific report.

Envision Bushfire Protection accepts no liability for the inaction of the owner to provide or maintain the bushfire protection measures identified in this report. Vegetation is dynamic, building materials may distort, and the accumulation and the location of flammable materials near the building may affect the potential for damage or loss of a building to occur.

Failure to maintain the property and/or building to these standards may compromise an insurance policy if currently covering any of your assets or those of any third party that may be consequentially affected due such failure. If not insured, and if you are seeking insurance, this report may not influence the decision of any insurer not to offer cover.

Importantly the measures contained in this report cannot guarantee human safety or an absence of harm or that the building will not be damaged or would survive a bushfire event on every occasion. This is due to the unpredictable nature of fire behaviour (knowledge in this field continues to develop) and the unpredictable nature of extreme weather conditions.

### Scope of this report

Envision Bushfire Protection has been engaged to provide expert bushfire safety and planning advice.

The scope of the advice has been to assess the proposal for compliance with the policy measures described in State Planning Policy 3.7 and identify appropriate mitigation measures to be considered by the determining authority. This is described in a Bushfire Management Plan and prepared with regard to the Department of Planning Lands and Heritage templates.

The investigations and mitigation measures identified in the BMP, has, in turn, formed the basis for the preparation of a Bushfire Emergency Evacuation Plan.

### Client relationship

I was engaged to provide expert bushfire safety and planning advice. My relationship with the client is a standard commercial contract, and no private, personal, or other matter has influenced the content of the BMP or my findings.

STATEMENT OF CONFORMITY – PLANNING AND DEVELOPMENT ACT 2005



**Anthony Rowe Level 3 - BPAD36690**

### Principal



The signatory declares that this Bushfire Management Plan meets the requirements of State Planning Policy 3.7 and the Guidelines for Planning in Bushfire Prone Areas V1.4.

## SUMMARY

### 1. Introduction

#### Preface

The applicant is seeking approval for short stay accommodation at 708 Yourdamung Road Palmer WA 6111 ('the site').

The site is within a declared bushfire prone area. Accordingly, the proposal is to be assessed for compliance with State Planning Policy 3.7 *Planning in Bushfire Prone Areas* ('SPP 3.7') "***the intent of this policy is to implement effective risk based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure***" in meeting the supporting elements described in the Guidelines V1.4.

#### Proposal details (addressed in Section 1)

The site is located within an area (5 km landscape context) state forest, over gently undulating hills (0.0° - 5.0° degrees).

The site is located within a valley adjacent an undefined watercourse (flood plain) that is part of the Bingham River catchment.

The proposal is short stay accommodation comprising:

- A reaffirmation of the guesthouse with seven accommodation units - 14 persons (formerly an approved workers accommodation)
- An ancillary dwelling - 4 persons
- 12 camp sites - 48 persons.

In addition to the accommodation for up to 66 guests, the site contains an existing dwelling for up to 4 persons; a total of 70 persons can be accommodated on site.

The proposal includes an Assembly building (kitchen and toilets servicing the campsites) which is to be sited and constructed in accordance with the acceptance criteria described in the *Design and Construction of Community Bushfire Refuges* (ABCB 2014). It will have capacity to accommodate 125 persons.

### 2. Environmental considerations (addressed in Section 2)

The portion of the lot that is subject to the proposed land use, has been modified and consists of scattered trees and slashed grasses (Woodland).

No clearing beyond the site is proposed. Roadside vegetation adjacent to the existing dwelling and ancillary dwelling comprises managed verge which will continue to be maintained, see Photos 1.4 and 1.8)

An area with a diameter of 200 m will be maintained as a Hazard Separation Zone, with grass maintained less than 100 mm tall. As requested by the Shire's Firebreak & Fuel Hazard Reduction Notice 2021-2022.

The Assembly Building and campsites are located within the Hazard Separation Zone area.

The Assembly Building is centrally located within the Hazard Separation Zone area and has a calculated radiant heat flux at the building of 5.7 kWm<sup>2</sup>, which is below the national maximum requirement of 10 kWm<sup>2</sup> that meets the Acceptance Criteria for a constructed shelter.

### 3. Bushfire assessment results (addressed in Section 3)

Subject to maintaining the road verge adjacent to the ancillary dwelling and the Existing Dwelling, all habitable buildings and campsite will be located within an area exceeding BAL-29. No campsite is to be located closer than 30 m from a boundary.

The BAL levels across the site and the location of habitable buildings and the campsite are shown at Figure 5.

Figure 5 assumed that land adjacent to the site has been revegetated into a Forest classification, for the purpose of determining a worst-case circumstance, most intense fire, for the purpose of developing the bushfire management strategies on site.

#### **4. Identification of bushfire hazard issues** (addressed in Section 4)

The existing landuse is within an area (5 km) characterised as forest over gently undulating land with slopes up to 4.0°. The area is classified as an extreme bushfire hazard (level) due to the presence of forest vegetation, characteristic of the Darling Ranges that extends from the Moore River (north) to Bridgetown (south) (200km). The site is not unique.

The prevailing wind directions during the fire season have a strong bias from the east in the mornings and from the south east in the afternoons but a fire can occur from any direction. Fire is planned to arrive from any direction for the purpose of devising risk treatments.

The fire history in the area and typical of the Darling Range<sup>1</sup> are fires moving initially in an easterly direction, for up to 3 hours. Fires that run over an extended period can interact with the atmosphere and become unpredictable. The Waroona 2016 fire (40 km north of the site) produced a pyrocumulonimbus cloud formation that produced thunderstorms and lightening and the collapse of the convective column (simultaneous downdrafts reported) dispersing winds in many directions resulting in unpredictable fire behaviour. An unstable atmosphere can also promote escalating fire behaviour, drawing more air from the base and raising material from high above the fire that can create spotting with firebrands over long distances, (up to 5-9 km) making the safety of evacuation routes uncertain.

Yourdamung Road is a dirt road. Whilst evacuation should always occur if it is safe to do so, a reduction in visibility due to smoke and road dust (up to a minute to settle) can slow vehicles speeds and increase the required interval (distance) between vehicles, increasing the required time for safe evacuation (RSET).

A two minute separation between evacuating vehicles is therefore recommended and upon an assumed number of 50 vehicles the required safe egress/evacuation time is 180 minutes; (whole route) from the site and for the last vehicle to reach the township of Collie.

The site is large and can be managed to avoid direct flame contact from a fire in the adjoining land, but it would still be subject to a high radiant heat, convective heat, smoke and ember attack / ember showers as the fire front approaches. These are all bushfire attack mechanisms that warrant evacuation but if it is not safe to evacuate then the ability to take shelter avoids human exposure to the bushfire attack mechanisms affecting the site.

The site is able to provide a building that is designed in compliance with the national standard in the Design and Construction of Community Bushfire Refuges (ABCB Handbook).

#### **5. Assessment against the bushfire protection criteria** (addressed in Section 5)

The proposal was compared with the Bushfire Protection Criteria for Element 5 *Other short-term accommodation – including motel, serviced apartments, tourist development (includes cabins and chalets)*,

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<sup>1</sup> Kelmscott 2011, Parkerville 2014, Waroona 2015, and Wooroloo 2021. The Waroona Fire 40 km North of the site is the closest recent landscape scale fire over similar topography and subject to similar climatic conditions

holiday accommodation and caravan park (which incorporates camping grounds) (5.4), Access (5.5), and Water (5.6).

### **Acceptable Solution**

Element 5.7 Siting and Design – (summarised) requires that a planning application should demonstrate habitable buildings will not be exposed to a BAL greater than BAL-29.

The site on completion will contain a large area of low threat to be affected only by vegetation external to the site. The analysis of the Bushfire Attack Levels across the site has identified (Figure 5) that no habitable building or campsite will be located within an area exceeding BAL 29.

The Assembly Building has been sited within an area of 10kWm<sup>2</sup>, calculated with a flame temperature of 1200 K. The building is to be certified by a Fire Engineer, as compliant with the Acceptance Criteria described in the *Design and Construction of Community Bushfire Refuges*. And seasonally the owner is responsible for providing a certification from a Fire Engineer that the Assembly Building is compliant with the Acceptance Criteria described in the *Design and Construction of Community Bushfire Refuges*.

This satisfies the requirement of A5.8.3.7 and A5.7e, A5.7f and A5.7g

Element 5.8 Vehicle Access – (summarised) public road access is to be provided in two different directions to at least two different suitable destinations.

The site is accessed from Yourdamung Road which provides access to the township of Collie, from one destination.

An exception (A5.8.3.7e) to the through road requirement is provided if the site is able to establish an onsite, by provision of a shelter compliant with National standards.

*“A5.8.2e Where A5.8.2a, A5.8.2b and A5.8.2c (if required), cannot be achieved, and the proposed development has a capacity of up to a maximum of 100 guests and staff at any one time, an on-site shelter is to be provided in accordance with A5.7e, A5.7f and A5.7g Siting and Design”*

The proposal includes a shelter designed in compliance with the Acceptance Criteria described in the *Design and Construction of Community Bushfire Refuges* (ABCB Handbook 2014). The shelter is designed to be provided in accordance with A5.7e, A5.7f and A5.7g, and in turn the proposal is compliant with (A5.8.3.7e).

The proposal will also be evacuated and closed on days forecast to be Extreme, Catastrophic or a total fire ban day.

Element 5.9 Water – requires the availability of water for firefighting purposes.

The site does not have access to a reticulated water supply. The proposal will install a 100 000 L standalone tank compliant with Schedule 2 *Water Supply Dedicated for Bushfire Firefighting Purposes*, unless DFES and the Shire is satisfied the existing on-site dam can provide water of acceptable quality and a reliable quantity for firefighting purposes. Either the tank, or an approved alternative water supply, is to be installed prior to the operation of the ancillary dwelling or campsite.

In accordance *Caravan and Camping Regulations 1997* each campsite will be provided with a reticulated water supply and a fire hose reel for firefighting purposes.

### **Additional Bushfire Management Strategies** (addressed in section 5.2)

Additional Bushfire Management Strategies (risk treatments in addition to those addressed in Elements 1-5) includes the Bushfire Emergency Evacuation Plan (Attached at Appendix 2) prepared in compliance with 5.5.4

in the Guidelines v1.4 and the identification of practical building construction measures that affect the bushfire response options. The practical measures are listed in section 6 below.

**Spatial representation of the bushfire management strategies** (Figure EX 1)

The key features demonstrating compliance with the bushfire protection measures are identified on the *Spatial representation of the bushfire management strategies*.

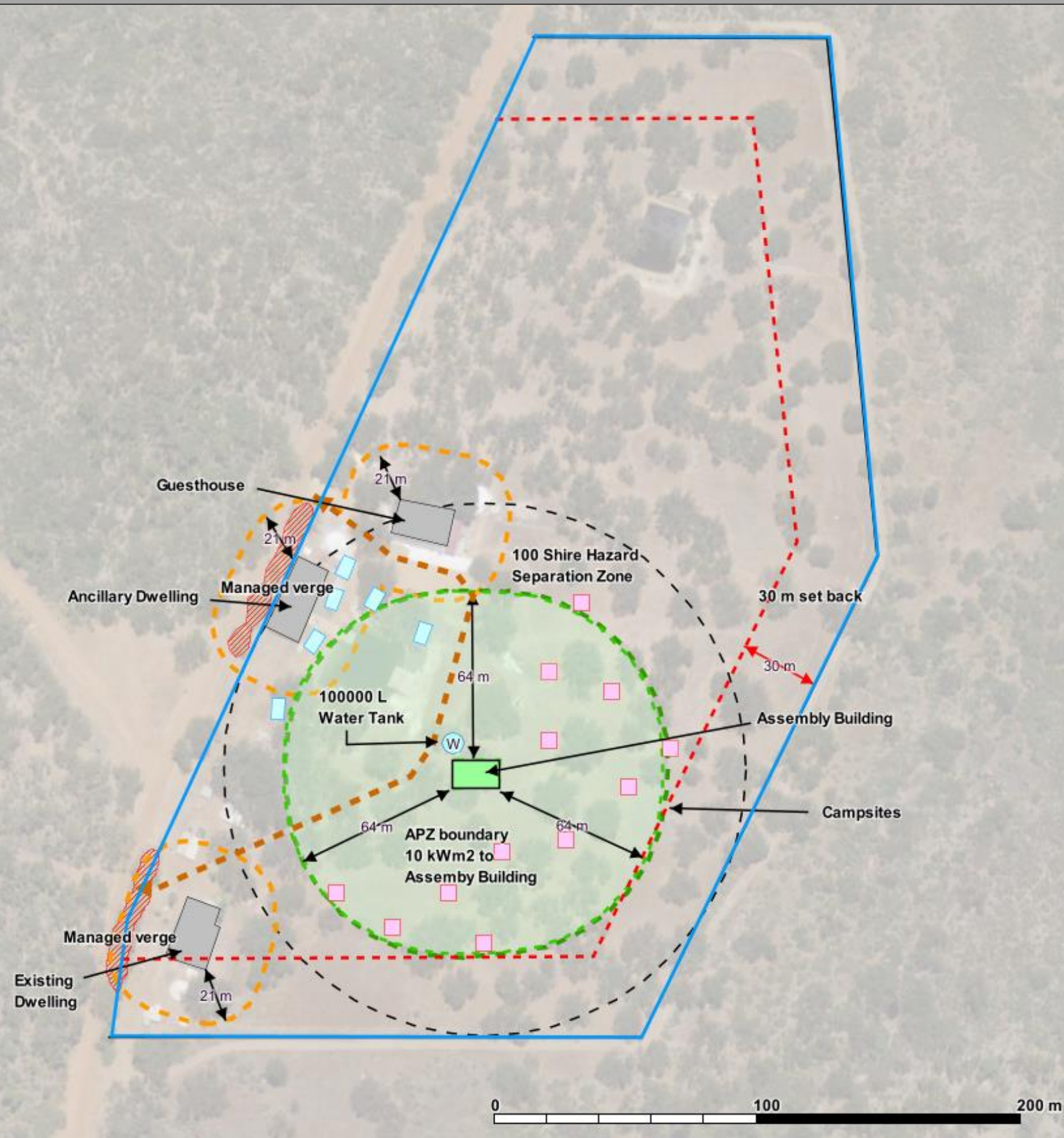
These actions are reflected in the following *Responsibilities for implementation and management of the bushfire measures*.

**6. Responsibilities for implementation and management of the bushfire measures**

The Owner responsibilities (Guidelines 4.6.3) identify the bushfire management measures necessary to achieve compliance with the bushfire protection criteria are provided at **section 6** in this BMP and summarised in Figure Ex1.



Figure Ex 1 - Spatial representation of the proposed risk management strategies -708 Yourdamung Road Palmer



**Responsibilities for implementation and management of the bushfire measures**

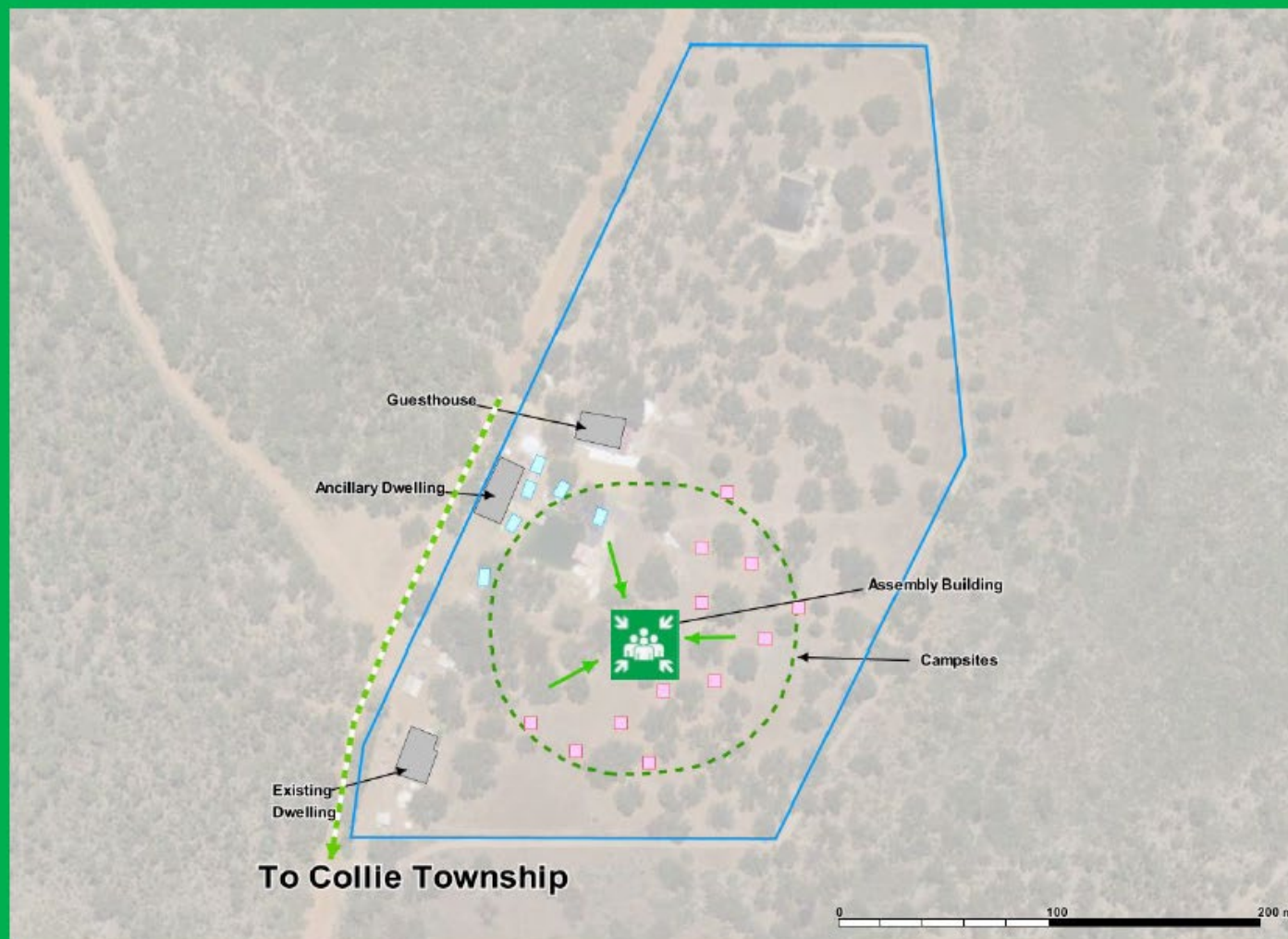
1. The adoption of the Bushfire Emergency Evacuation Plan including:
  - a) Closure on notice of forecast extreme, catastrophic and total fire ban conditions, and evacuation of all guests.
  - b) Evacuation from the site if safe to do so or refuge as a place of last resort in the Assembly Building
2. The maximum number of guests accommodated overnight is not to exceed 100.
3. The Assembly Building is to be sited and designed following the Acceptance Criteria described in the *Design and Construction of Community Bushfire Refuges* (ABCB 2014)
4. The Asset Protection Zone (APZ) around the Assembly Building is a minimum of 64 m extending from the face of the building and maintained following the Standards for Asset Protection Zones (Schedule 1 Guidelines for Planning in Bushfire Prone Areas v1.4).
5. The Asset Protection Zone (APZ) around the habitable buildings, shown, is a minimum of 21 m extending from the face of the building, and maintained following the Standards for Asset Protection Zones (Schedule 1 Guidelines for Planning in Bushfire Prone Areas v1.4).
6. A bushfire Hazard Reduction Zone is to be established and maintained following Shire's Firebreak & Fuel Hazard Reduction Notice 2021-2022
7. All Internal roads are to comply with in Table 6 Column 4 Element 3 Guidelines V1.4 – Private driveways
8. A stand-alone 100 000 L water tank in accordance with Schedule 2 Water supply Dedicated for Bushfire Firefighting Purposes is to be provided or an alternative water supply is provided as agreed and subject to the satisfaction of DFES and the Shire
9. A fire hose is to be provided at each campsite and in accordance Caravan and Camping Regulations 1997. Division 10 – Firefighting equipment 33

**LEGEND**

- Site Boundary
- Asset Protection Zone - 21 m
- Shire Hazard Separation Zone (grass < 100 mm)
- 10 kWm<sup>2</sup> measured from the Assembly Building at 1200K – 64 m
- Private Driveway
- Campsite



# EMERGENCY EVACUATION DIAGRAM



## On hearing the alarm

- Go to Assembly Building
- Take full cover clothing, and closed shoes

If shelter is to be taken

- take a sleeping bag, minimum toiletries, bath towel, and a change of clothes

## Bushfires are Terrifying

Expect:

- The sky to go black.
- Thick smoke.
- Hot air.
- Roaring noise.
- Strong winds and objects blown.
- Ember showers across the site.
- Burning objects left after the fire front passes.
- The firefront (peak fire) may last up to five minutes.

## What to do

- Move to avoid heat.
- Keep low out of smoke.
- Wet towels, cover head and breath through the towel if smoke is thick.
- Keep hydrated.

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ATTACHMENT 1 – Emergency Evacuation Plan

ATTACHMENT 2 – Assembly Building

ATTACHMENT 3 - APZ Guidelines

ATTACHMENT 4 – Vehicle Access Private Driveway Requirements

ATTACHMENT 5 – Firefighting water supply

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# 1. PROPOSAL DETAILS

## 1.1 Preface

The proposal is for the authorisation of short-term accommodation at 708 Yourdamung Road Palmer WA 6111 ('the site').

The site is in the South West region of Western Australia (**Plate 1**). It is located within the Shire of Collie (the decision maker) and is within a bushfire prone area (OBRM 2019) **Plate 2**.

All development and landuse proposals (not exempted) that are located within a bushfire prone area, are now required to demonstrate compliance with the requirements of State Planning Policy 3.7.

The policy intent SPP 3.7 is ***"the intent of this policy is to implement effective risk based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure"***. Compliance with SPP 3.7 is achieved where a proposal incorporates the Acceptable Solutions as described under each Element in the Bushfire Protection Criteria or where it can satisfy the intent of each Element by performance principle and the Precautionary Principle.

This document presents an assessment of a proposed vulnerable class of development "visitation uses that may involve people who are unaware of their surroundings" with the requirements of State Planning Policy 3.7 and *Guidelines for Planning in Bushfire Prone Areas* (WAPC, V1.4 December 2021) including assessment against each of the Bushfire Protection Criteria and the requirement for an Emergency Evacuation Plan.

For the purpose of the Guidelines v1.4 the proposal is classified as: *Other short-term accommodation – including motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park (which incorporates camping grounds).*

## 1.2 Background

A tourist facility Bed and Breakfast converting an approved workers accommodation into 7 accommodation units was approved (2012). It provided the accommodation units with an adjoining function room and ablutions. An application was later made for a change of landuse to a Bed and Breakfast tourist facility.

The description of the proposal applied for by the applicant was:

*"We are planning to build a short term bed and breakfast, with function room ,weddings, 40ths,50ths and 60ths, camping 1 or 2 nights, summer swimming, it will have paraplegic access and amenities, looking at starting up the one hundred club that was at Caddiff Hall but not looking to get alcohol licence, will be looking at Perth people wanting to experience country life."*

The 30 July 2015 approval issued by the Shire provided the following clarification through condition 13.

13. This planning approval does not include the use of the land as a reception centre as defined in Local Planning Scheme No. 5. The applicant is responsible for ensuring all addition permits and approvals (such as camping, liquor and public health) are acquired prior to hosting once off events.

The planning approval also required:

12. A Fire and Emergency Management Plan is to be prepared and submitted for the Shires approval.

Whilst the approval made clear the authorisation did not include a reception centre it did not narrow the applicants request and left unclear the expectations for one off events and camping.

Since the approval the applicant has also sought approval for an ancillary dwelling and to formalise a 60 person camping ground. Each iteration (expansion of the proposal) has deferred the initially requested Fire and Emergency Management Plan, to be resolved with subsequent iterations, which in turn have to date not succeeded.

The general confusion between authorised and unauthorised development has resulted in a need to define the authorisation once and for all.

On 14 January 2021 the applicant lodged an application for a Kitchen/ Restaurant, expansion of kitchen and storeroom, ancillary dwelling and campground.

The application was declined approval by the Shire on 17 December 2021. The applicant subsequently appealed the decision.

Since the Shire decision has been made The Guidelines for Planning in Bushfire Prone Areas v1.4 has become operational (as of the 31 March 2022). It introduced a stand-alone Element explicitly for the consideration of Vulnerable Tourism Land Uses, inclusive of Acceptable Solutions for various categories of tourism development including: *Other short-term accommodation – including motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park (which incorporates camping grounds)*.

Given the matter is subject to appeal with the West Australian Administrative Appeals Tribunal, the policies that are applicable, are the policies applicable at the time of its decision.

The applicant has therefore revised the Bushfire Management Plan to demonstrate the proposal's compliance with the Acceptable Solutions identified under *Other short-term accommodation – including motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park (which incorporates camping grounds)*.

### 1.3 Proposal details

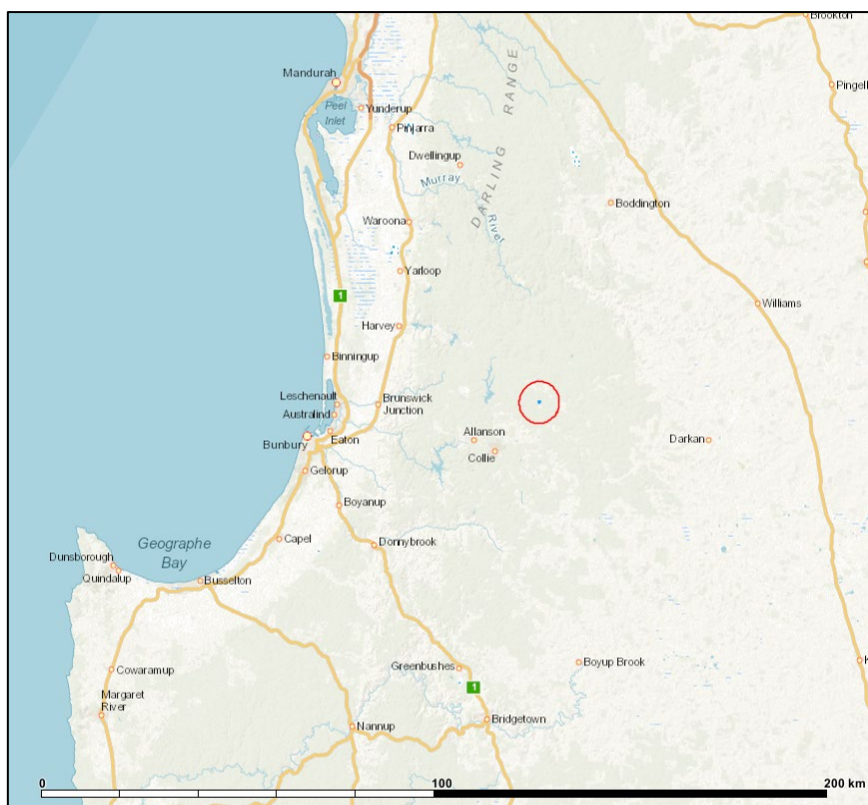
The proposal and its context comprises:

Landowner	Russell Tierney
Address	708 Yourdamung Road Palmer WA, the site, is located 14.3 km northeast of the township of Collie. <b>(Plate 3)</b>
Local Government Area	Shire of Collie
Local Planning Scheme Zone	Local Planning Scheme No 5
Bushfire Season	1 December – 31 May each year
Development proposal	<p>The site contains an existing dwelling – 4 persons.</p> <p>The development proposal is for:</p> <ul style="list-style-type: none"> <li>• Ancillary dwelling - 4 persons</li> <li>• Guesthouse with seven accommodation units - 14 persons (formerly an approved workers accommodation)</li> <li>• 12 camp sites - 48 persons.</li> </ul> <p>The proposal will provide overnight accommodation for up to 66 persons. The Assembly building is constructed to a National shelter standard with an open area compliant to accommodate a maximum of 125 persons.</p>
Building class	<p>Class 1 Ancillary dwelling</p> <p>Class 3 Guest house</p> <p>Class 9 Assembly building/shelter</p> <p>The Campground/campsite is not a building class</p> <p>(the existing dwelling is a Class 1 building, included in total numbers only for evacuation purposes)</p>
Lot size	7.3 ha
Landscape context (5 km) Topography	The surrounding landscape (within 5 km) is gently undulating with slopes of 0.0 <sup>0</sup> -4.0 <sup>0</sup> , predominantly consisting of Jarrah forests (high fuel loads: propensity for ember distribution) and few breaks in the continuity of the bushfire fuel.

Vegetation Bushfire hazard level	<p>The site, and Yourdamung Road, is located in a valley floor that runs north-south. The undulating land, hills, rise with a slope 1-5<sup>0</sup> and the area (5 km) is dominated by forest.</p> <p>The site is joined by State Forest, Lane Poole Reserve, and Muja State Forest under the management of the State Department of Biodiversity, Conservation, and Attractions <b>(Plate 5)</b></p> <p>The land immediately east of the site is a flood plain for the head of Bingham River watercourse. It supports a shrubland and scrub vegetation, whereas the area is otherwise typified by Jarrah forests.</p>			
	North	East	South	West
	Lane Poole Reserve	Muja State Forest	Muja State Forest	Harris River State Forest
Land description site Existing buildings Topography Site Vegetation	<p>The site is located 14.3 km northeast of the township of Collie.</p> <p>The site is 7.3 ha; it contains an existing dwelling, water tanks, various outbuildings, short-stay accommodation (single building with function room), converted outbuilding (ancillary accommodation) a small stage on the lake, and campsite area shade canopies (for approval as a campground)</p> <p>The site is level and predominantly consists of trees &gt;10 m high over slashed grasses.</p>			
Adjoining Landuses	North	East	South	West
	Forest	Scrub	Forest	Forest
Road Access Road compliance Destination 1 Destination 2	<p>The site is serviced by Yourdamung Road (Plate 5) a mineral surface road (dirt), wide &gt; 8.2 m) and smooth with no sharp bends. It is suitable for 2 WD, but its surface produces a dense dust that remains suspended for up to five minutes.</p> <p>Yourdamung Road is a dead-end road, single access. Yourdamung Road terminates at two large grazing primary production properties to the north of the site.</p> <p>The site is 6.8 km from the nearest intersection offering the option of two destinations.</p> <p>Yourdamung Road runs along a gentle valley floor, predominantly through forest (3.4 km) with trees lining the carriageway and open pastoral pursuits.</p> <p>Various fire tracks extend from Yourdamung Road, but none provide safety to traverse by 2 WD vehicle.</p> <p>No emergency signage was observed along the route between the township of Collie and the site.</p>			
Nearest town centre	Town of Collie			
Water supply	The site does not have access to a reticulated water supply or a hydrant network. No strategic firefighting tankage was observed within 2 km of the site.			
Tele communications	The site is within the Telstra network 4 G, but it may require a network extension amplifier at the site. Coverage is intermittent along Yourdamung Road			



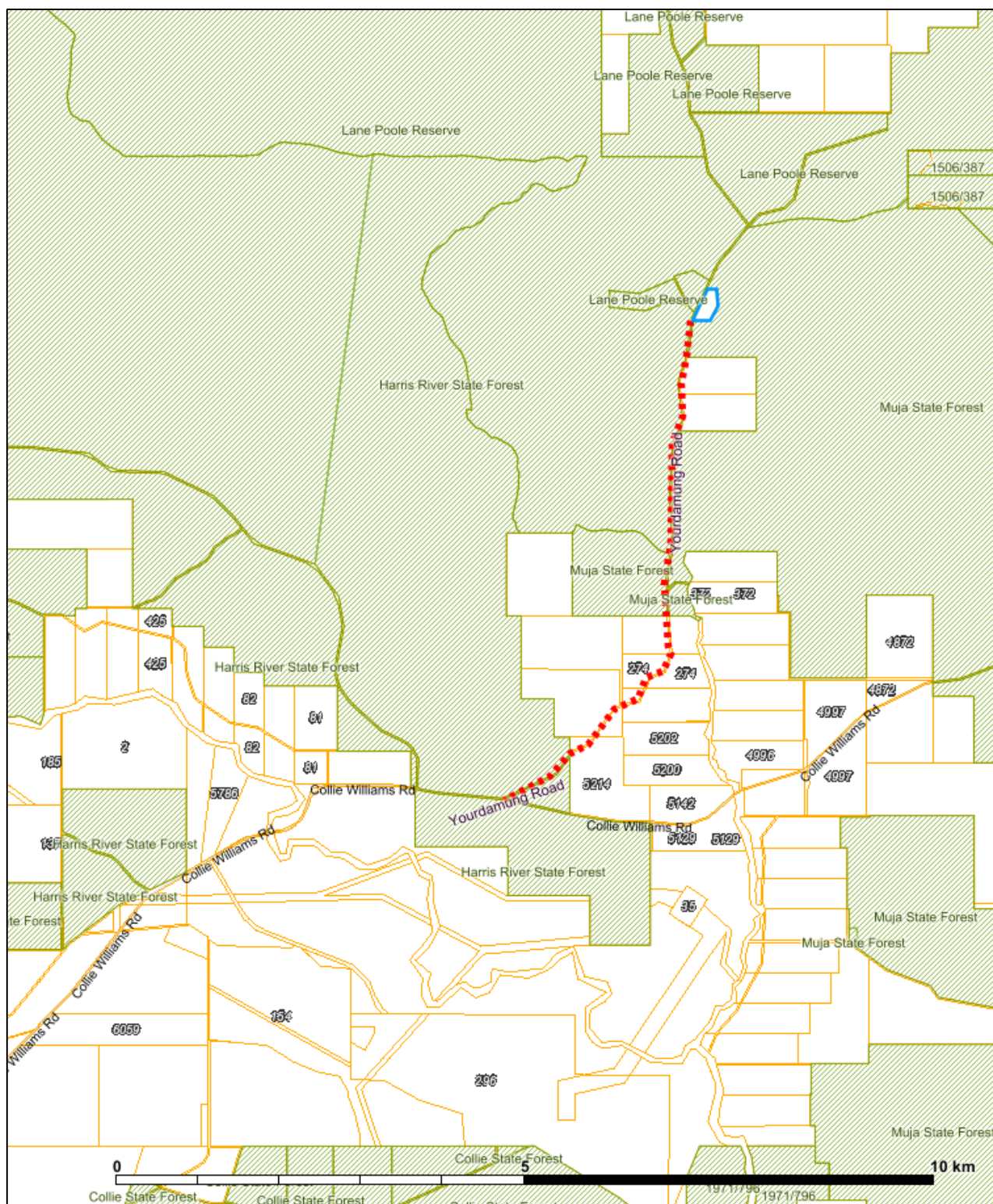
Emergency services	The nearest rural fire brigade is located in the Collie township (14.3km).
Minor Development	N/A
Unavoidable development	N/A
Vulnerable Development	Yes
High risk land use	N/A



*Plate 1: Site in Locality*



*Plate 2: OBRM Bushfire Prone Area (Pink area)*



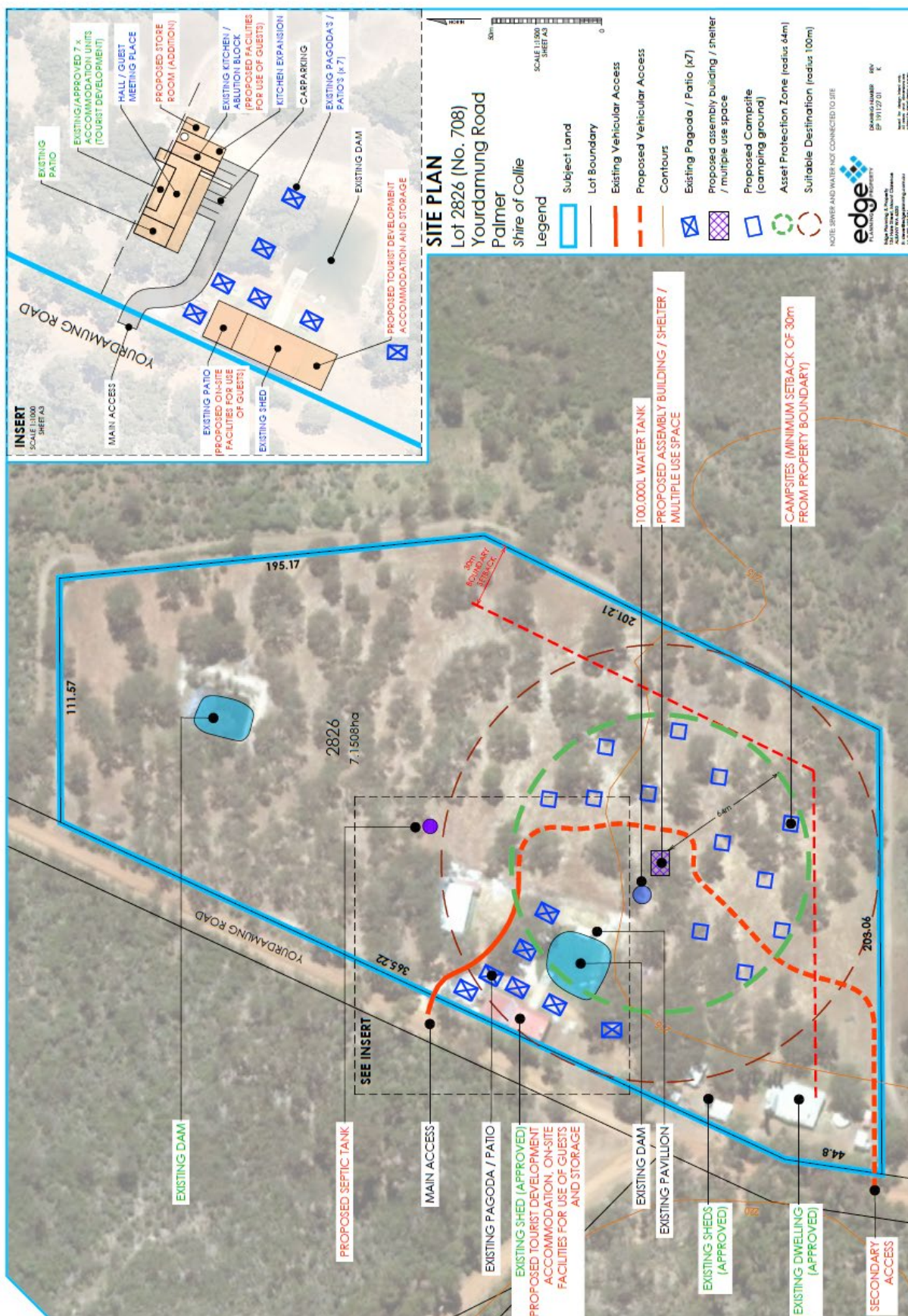
*Plate 3: State managed forest (green)*





Plate 4: Site





### Plate 5: Proposed short stay development

## 1.4 Regulatory Compliance Requirements

### ***Planning and Development Act 2005 - SPP 3.7***

On 7 December 2015, the State Government introduced a state map of Bushfire Prone Areas by order under the *Fire and Emergency Services Act 1998* and introduced development controls in Bushfire Prone Areas through the *Planning and Development Act 2005*. These controls were authorised by State Planning Policy 3.7 (Planning in Bushfire Prone Areas) regulations introduced under Part 10A Schedule 2 of the *Planning and Development (Local Planning Scheme) Regulations 2015* and guided by the *Guidelines for Planning in Bushfire Prone Areas*.

The State Planning Policy, Regulations, and Guidelines now form the foundation for fire risk management planning in WA at a community and land development level. The Policy Intent of SPP 3.7 is ***to preserve life and reduce the impact of bushfire on property and infrastructure.***

### **Vulnerable Land Uses**

#### 6.6 Vulnerable or high-risk land uses

In areas where BAL-12.5 to BAL-29 applies Development applications should include an emergency evacuation plan SPP 3.7 defines a vulnerable land use: A land use where persons may be less able to respond in a bushfire emergency.

Examples of what constitutes a vulnerable land use are provided in the Guidelines and includes:

- *“short stay accommodation or visitation uses that involve people who are unaware of their surroundings and who may require assistance or direction in the event of a bushfire, such as bed and breakfast, caravan park and camping ground, holiday house, holiday accommodation, home business, serviced (short stay) apartment, tourist development and workers’ accommodation.”*

*The Guidelines at this section also clarifies “It should be noted that DFES will provide advice, but do not ‘endorse’ BMPs, or emergency evacuation plans. SPP 3.7 will be amended to reflect this.”*

In recent court determinations, it has been acknowledged that whilst people may choose to live in a dangerous location, that is different to inviting people who may or may not be aware of the danger of a bushfire. (JURAN and CITY OF ARMADALE [2018] WASAT 49 (21 June 2018).

### ***WAPC Position Statement Tourism Development within Bushfire Prone Areas***

The WAPC Position Statement Tourism Development within Bushfire Prone Areas has been superseded by the introduction of Element 5 in the Guidelines for Planning in Bushfire Prone areas. Element 5 is addressed in the Bushfire Protection Criterion of this Bushfire Management Plan.

### ***Guidelines for Planning in Bushfire Prone areas 5.5.2 Vulnerable Tourism Land Uses and 5.2.2.2 Other Short term Accommodation (including camping grounds)***

The Guidelines at 5.5.2

*In limited circumstances, where the acceptable solutions for vehicular access within Element 5 cannot be achieved for short-term accommodation, remote camping grounds or accommodation associated with nature based parks, an on-site shelter can be proposed as an acceptable solution.*

The Guidelines also provide that if the Acceptable Solution for vehicle access is not met, then maximum shelter capacity is 100 guests, or a performance principle based solution should be provided. This provides that a tourism development if it cannot provide a suitable destination on site, the shelter will be restricted to 100 persons, unless a greater number is approved by performance principle. The proposed development is to accommodate up to 66 persons overnight.

The Guidelines at 5.5.2.2

*The acceptable solutions provided should be treated as a minimum requirement and if deemed necessary by the bushfire planning practitioner, or decision-maker, additional mitigation measures should be included.*



The authority for the decision maker to request improvements is contrary to the intent of an acceptable solution, it is therefore appropriate for improvements to be offered at the applicant's discretion.

### ***The Building Act 2011***

The distinction between the Planning and Building legislation is Planning addresses the external aspects of a building risk, namely the siting and separation from a bushfire threat. Building on the other hand addresses the construction standard to respond to the radiant heat flux level at a particular location. The Planning and Development Act at section 131 provided where there is conflict the building code, as adapted by the Building Act 2011 will prevail.

The Deemed provisions at R78E1 are restricted to directing the decision maker to have regard to the construction requirements, it does not provide an ability to impose these. This is also reflected in the Guidelines which clarifies that other than where required by the Building Code, construction standards may be volunteered at the discretion of the applicant. Such instance may involve a higher construction standard offered in response/offset to a siting consideration to reduce a vulnerability of human safety or property to a significant adverse impact from bushfire.

*5.8.3 ALL OTHER BUILDINGS (CLASS 4 TO CLASS 9 BUILDINGS) The bushfire construction provisions of the Building Code of Australia do not apply to Class 4 to Class 9 buildings. In these instances the applicant has the discretion to utilise any or all of the elements of AS3959 in the construction of the building that they deem appropriate.*

The *Building Act 2011*, and *Building Regulations 2012*, applies the construction standards of the Building Code of Australia (National Construction Code), where it relates to an 'applicable' building.

The guesthouse (reclassified from the workers accommodation to guesthouse) is a Class 3 building under the National Construction Code and will be required to comply with the National Construction Code.

The conversion of an outbuilding to an Ancillary building is a conversion from a class 10 building to a class 1 building, and as a new landuse the requirements of NCC and AS3959 will apply.

The proposed communal building is classed as an assembly building but is intended to double as a shelter constructed to refuge standards. The proposal follows the acceptance criteria described in the *Design and Construction of Community Bushfire Refuges* (ABCB 2014).

### ***Bush Fires Act 1954***

Section 33 of the *Bush Fires Act 1954* recognises the responsibility of all landowners to prevent the spread of bushfire. Local government, at any time, may give notice in writing to an owner or occupier of land within the district of the local government. The Notice may specify works to be undertaken, including the management of grasses on the property usually to be maintained at less than 100 mm during the fire season. It also provides that the identified works can be undertaken as a separate operation or in coordination with the neighbouring land.

The Shire of Collie Firebreak & Fuel Hazard Reduction Notice 2021-2022, requires for lots over 5 ha, an Asset Protection Zone 20 m from a dwelling free from non-irrigated, shrubs, plants and grasses and a Hazard Separation Zone 100 m, with grass kept less than 100 mm around all buildings.

## **Conservation class legislation – Regulating vegetation removal**

The ability to implement bushfire risk management measures may be affected by a number of conservation class vegetation, regulated by the legislation described below.

### *Environment Protection Act 1986 and Environmental Protection (clearing native vegetation) Regulation 2004*

It is an offense to clear native vegetation without the authority of a permit or an exemption. The act of clearing native vegetation, requires a permit from either the Department of Water and Environmental Regulation (DWER) or the Department of Mines, Industry Regulation and Safety (DMIRS), unless an exemption applies.

Exemptions include:

#### *Environment Protection Act 1986*

- Clearing required by local government Section 33 *Bush Fires Act 1954*.
- Clearing in accordance with the terms of a subdivision approval.
- Clearing in accordance with a permit under the *Bush Fires Act 1954* (prescribed burning) and clearing by a bushfire control officer.

*Environmental Protection (clearing native vegetation) Regulation 2004* (exemptions do not apply in Environmentally Sensitive Areas, and clearing > than 5 ha)

<https://www.der.wa.gov.au/your-environment/environmentally-sensitive-areas>

- Clearing to the extent necessary to construct an approved building.
- Clearing that is for fire hazard reduction burning.
- Clearing to maintain an area cleared in the last ten years.

### *(WA) Biodiversity Conservation Act 2016 and Bio-diversity Conservation Regulations 2018*

The *Biodiversity Conservation Act, 2016*, replaces the *Wildlife Conservation Act, 1950*, and the *Sandalwood Act, 1929*, it became operational with the *Bio-diversity Conservation Regulations 2018*, on 1 January 2019.

The Act provides for listing species, threatened ecological communities (TECs), key threatening processes, and critical habitats. It introduces criteria for listing species 'endangered', 'critically endangered' or 'vulnerable,' to align with the Environment Conservation and Biodiversity Conservation Act 1999 (Cth).

The *Biodiversity Conservation Act 2016* recognises that activities approved under the *Environment Protection Act 1986* do not require further approval include clearing of native vegetation that is either exempt or done under the authority of a clearing permit or done in accordance with an implementation decision under Part IV of the *Environment Protection Act 1986*.

*Advice from agencies responsible for environmental protect and biodiversity conservation will be sought, in addition to any separate Shire requirements.*

### *Commonwealth Environment Protection Biodiversity Conservation Act 1999*

The Commonwealth Environment Protection Biodiversity Conservation Act 1999 provides for the protection of matters of national environmental significance. National environment law does not generally regulate fire prevention measures taken by state and territory governments, but no specific exemptions are provided.

The review of the Ecological datasets (see section 2.1 of this BMP) suggests that there are no items that would be restricted by the above legislation. However, before the removal of any trees the Department of Biodiversity Conservation and Attractions- Species and Communities should be consulted (08 9219 9167)

## 2. ENVIRONMENTAL CONSIDERATIONS

### 2.1 Native Vegetation – Modification and Clearing

A fundamental consideration in the assessment of development under SPP 3.7 is to avoid instances where bushfire risk management measures would conflict with or be limited by other biodiversity management measures.

In accordance with the Department of Planning Lands and Heritage template (BMP template to support a BAL Contour Assessment) a review of the listed databases has been undertaken as part of this assessment to identify whether potential restrictions or other specific considerations may apply that would affect the implementation of any bushfire protection initiatives that may otherwise be identified.

**Table 1: Ecology datasets**

Is the land affected by:	Affected by the proposal	If yes - describe
Conservation Wetland or buffer (DBCA-019 DBCA-017)	No	
RAMSAR Wetland (DBCA-010)	No	
Threatened and Priority Flora (DBCA-036)	No	
Threatened and Priority Fauna (DBCA-037)	No	A potential feeding area for the Carnaby Black Cockatoo is located east of the site
Threatened Ecological Communities (DBCA-038)	No	
Bush Forever (COP-071)	No	
Environmentally Sensitive Area (DWER-046)	No	
Regionally Significant Natural Areas (DWER-070)	No	Remnant vegetation corridors are identified outside of the site.
Conservation Covenant (DPIRD-023)	No	
South West Ecological Linkages	No	
<b>Does the proposal require the removal of restricted vegetation?</b>		<b>No</b>

The proposal makes no requirement to modify vegetation outside of the site which is assumed to be retained. The adjacent Scrub in the floodplain of the Bingham River is of longstanding and expected to remain characterised as Scrub. It has however been assumed to be classed as forest for determining the required bushfire management strategies within the site. The road verge adjacent to the Ancillary Dwelling and Existing Dwelling (Photos 1.4 and 1.8) is a maintained road verge – Low Threat AS3959:2018, s.2.2.3.2(f).

The southern and central section within site is characterised by a sparse tree cover over slashed grasses (woodland).

The canopy cover increases from less than 10% in the central section of the site up to 20% in the northern portion.

The campsite area is to be established in the central and southern section of the site to minimise the need for modification of tree canopies with a diameter greater than 8 m.

The central area will be maintained following the Shires specification for a Hazard Protection Zone. The proposed Assembly building will be located in the centre of the Hazard Protection Zone, to maximise its separation from classified vegetation (forest) - assumed at the site boundary.

## 2.2 Re-Vegetation/Landscape Plans

The Standard for Asset Protection Zones describes the canopy cover and distribution of vegetation. It is a default landscape plan that will be followed by the landowner.

The Hazard Separation Zone 200 m diameter within the central area, following the Shire's Firebreak Notice requirement will be maintained for occupation of the campsites and to maximise the separation to the Assembly Building.

## 3. BUSHFIRE ASSESSMENT

### 3.1 Bushfire Attack Level Assessment (Inputs)

The following assessment has been undertaken in accordance with the methodologies described in AS3959:2018 and in accordance with the Guidelines and the Fire Protection Association accredited practitioner methodology.

All vegetation within 150 m (**context**) of the subject building has been classified (AS 3959:2018 Clause 2.2.3) to determine the Bushfire Hazard Level at the locality.

The BAL rating has been determined through site inspection and assessment of the following parameters:

- Fire Danger Index (FDI) rating; assumed to be FDI - 80 for Western Australia; *Note for the purpose of planning for a shelter an FFDI with 1:200 APE is used. This equates to an FFDI of 100.*
- A separation distance between the building and the classified vegetation source(s) within 100 m (for BAL impact) the separation distance is measured from the wall face (receiver) to the unmanaged understory rather than the canopy edge (dripline) *see plate below*; and
- Slope of the land under the classified vegetation.

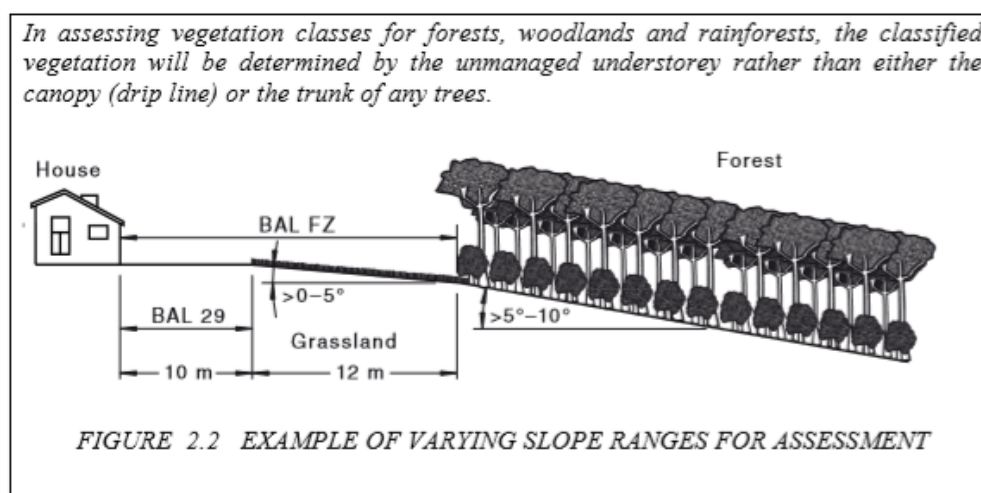


Plate 6: Arrangement of inputs for the determination of a BAL.

An initial site inspection was undertaken on 15 November 2019 and revisited on 13 February 2022 to affirm the vegetation in accordance with the FPAA Guidelines, and on 18 January 2023.

All vegetation within 150 m of the site / proposed development was classified in accordance with Clause 2.2.2.3 and Table 2.5 in AS 3959:2018.

Figures 1 -5 illustrate the site, topography, vegetation and calculated BAL.

## 3.2 Determined Bushfire Attack Level (Outputs) Method 1

The Determined BAL represents the distance from certain assets to vegetation outside of the applicants control or to be retained within the site. In this instance the worst case of revegetation of forest at the boundary of the site has been assumed. The results have been modelled on two flame temperatures, 1090 K (routine), and 1200 K (shelter standard)

Note the roadside vegetation adjoining the site is less than 10 m wide and classed as a single row. It is separated by a distance greater than the flame length from the Forest (see Plate 6) on the opposite side of Yourdamung Road.

**Table 2a: Determined BAL 1090K (table 2.5 AS395)**

Asset	Vegetation	Separation	BAL
Bushfire Attack Level (highest BAL at Ancillary Dwelling)	Forest	26 m	BAL-29
Bushfire Attack Level (highest BAL at Guesthouse)	Forest	50 m	BAL-12.5
Bushfire Attack Level (highest BAL at the Campsite no closer than 30 m to boundary)	Forest	31 m	BAL-19
Bushfire Attack Level (highest BAL at Assembly building)	Forest	84 m	BAL-12.5 (3.8 kWm <sup>2</sup> )
Bushfire Attack Level (highest BAL at the Dwelling managed road verge)	Forest	26 m	BAL-29

**Table 2b: Determined BAL 1200K**

Asset	Vegetation	Separation	BAL
Bushfire Attack Level (highest BAL at Ancillary Dwelling)	Forest	26 m	BAL-40
Bushfire Attack Level (highest BAL at Guesthouse)	Forest	50 m	BAL-19
Bushfire Attack Level (highest BAL at the Campsite no closer than 30 m to boundary)	Forest	31 m	BAL-29
Bushfire Attack Level (highest BAL at Assembly building)	Forest	84 m	BAL 12.5 (5.7 kWm <sup>2</sup> )
Bushfire Attack Level (highest BAL at the Dwelling managed road verge)	Forest	26 m	BAL-40



Calculated October 21, 2022, 2:07 am (MDC v.4.9)

Minimum Distance Calculator - AS3959-2018 (Method 2)			
Inputs		Outputs	
Fire Danger Index	80	Rate of spread	2.4 km/h
Vegetation classification	Forest	Flame length	19.8 m
Understorey fuel load	25 t/ha	Flame angle	63 °, 68 °, 73 °, 75 °, 77 ° & 82 °
Total fuel load	35 t/ha	Elevation of receiver	8.82 m, 9.17 m, 9.460000000000001 m, 9.56 m, 9.640000000000001 m & 9.800000000000001 m
Vegetation height	n/a	Fire intensity	43,400 kW/m
Effective slope	0 °	Transmissivity	0.843, 0.822, 0.796, 0.775, 0.764 & 0.712
Site slope	0 °	Viewfactor	0.4235, 0.3149, 0.2132, 0.144, 0.1168 & 0.0313
Flame width	100 m	Minimum distance to < 40 kW/m <sup>2</sup>	22.9 m
Windspeed	n/a	Minimum distance to < 29 kW/m <sup>2</sup>	29.9 m
Heat of combustion	18,600 kJ/kg	Minimum distance to < 19 kW/m <sup>2</sup>	41.2 m
Flame temperature	1,200 K	Minimum distance to < 12.5 kW/m <sup>2</sup>	54.9 m
		Minimum distance to < 10 kW/m <sup>2</sup>	63.2 m

Rate of Spread - McArthur, 1973 & Noble et al., 1980

Flame length - NSW Rural Fire Service, 2001 & Noble et al., 1980

Elevation of receiver - Douglas & Tan, 2005

Flame angle - Douglas & Tan, 2005

Radiant heat flux - Drysdale, 1999, Sullivan et al., 2003, Douglas & Tan, 2005

Plate 7a: Calculations (BAL setback distances) for Forest with a Flame temperature of 1200K to achieve 10 kWm<sup>2</sup> is 63.2 m





Calculated February 9, 2023, 3:13 pm (BALc v.4.9)

Bushfire Attack Level calculator - AS3959-2018 (Method 2)			
Inputs		Outputs	
Fire Danger Index	80	Rate of spread	2.4 km/h
Vegetation classification	Forest	Flame length	19.8 m
Understorey fuel load	25 t/ha	Flame angle	79 °
Total fuel load	35 t/ha	Panel height	19.43 m
Vegetation height	n/a	Elevation of receiver	9.710000000000001 m
Effective slope	0 °	Fire intensity	43,400 kW/m
Site slope	0 °	Transmissivity	0.743
Distance to vegetation	88 m	Viewfactor	0.0684
Flame width	100 m	Radiant heat flux	5.68 kW/m <sup>2</sup>
Windspeed	n/a	Bushfire Attack Level	BAL-12.5
Heat of combustion	18,600 kJ/kg		
Flame temperature	1,200 K		

Rate of Spread - Mcarthur, 1973 & Noble et al., 1980

Flame length - NSW Rural Fire Service, 2001 & Noble et al., 1980

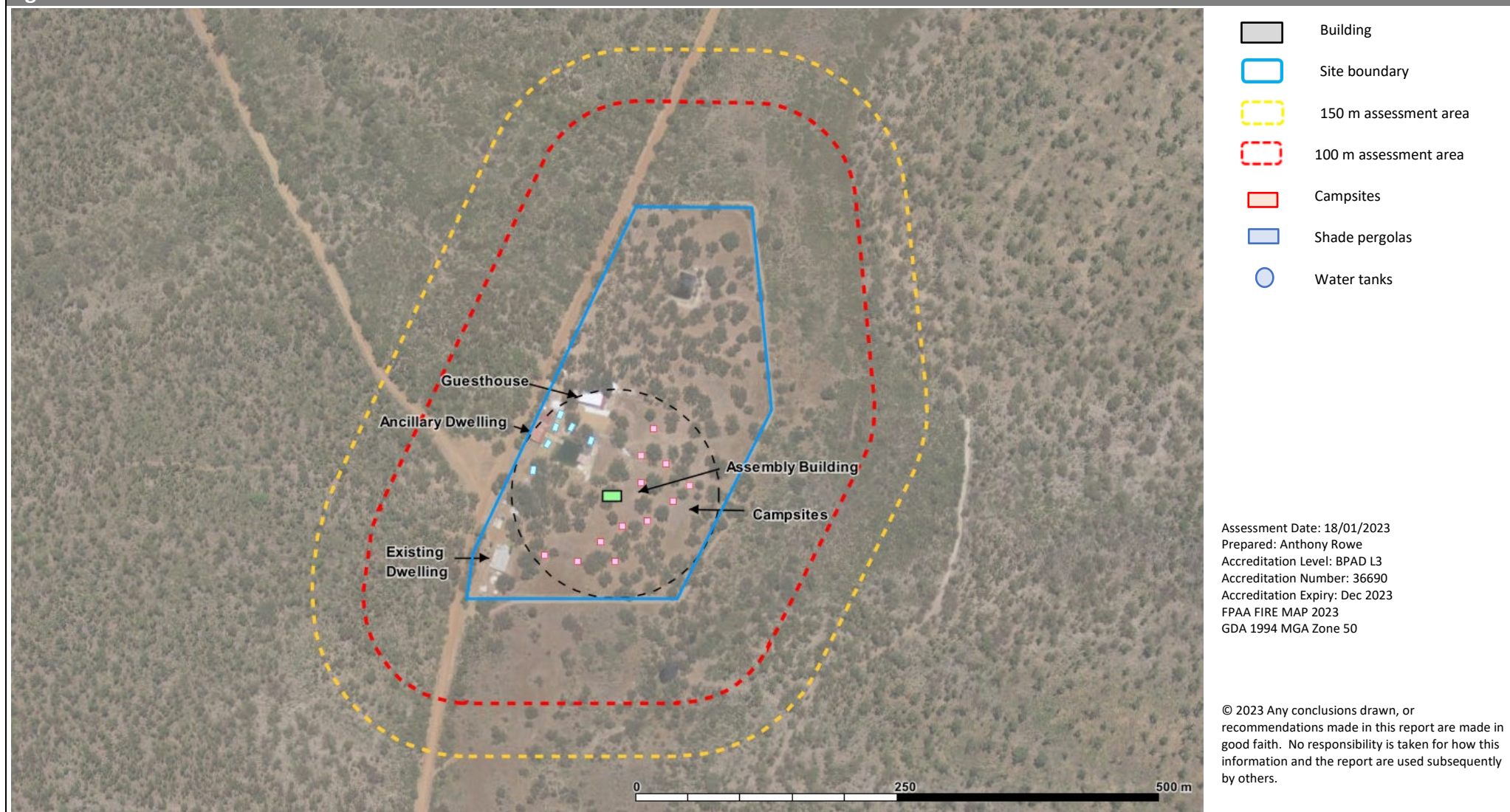
Elevation of receiver - Douglas & Tan, 2005

Flame angle - Douglas & Tan, 2005

Radiant heat flux - Drysdale, 1999, Sullivan et al., 2003, Douglas & Tan, 2005

Plate 7b: Determined BAL at the Assembly building from nearest forest 88 m, assessed at a Flame temperature of 1200K, is 5.7 kWm<sup>2</sup> to

**Figure 1: Location**



**Figure 2: Topography**

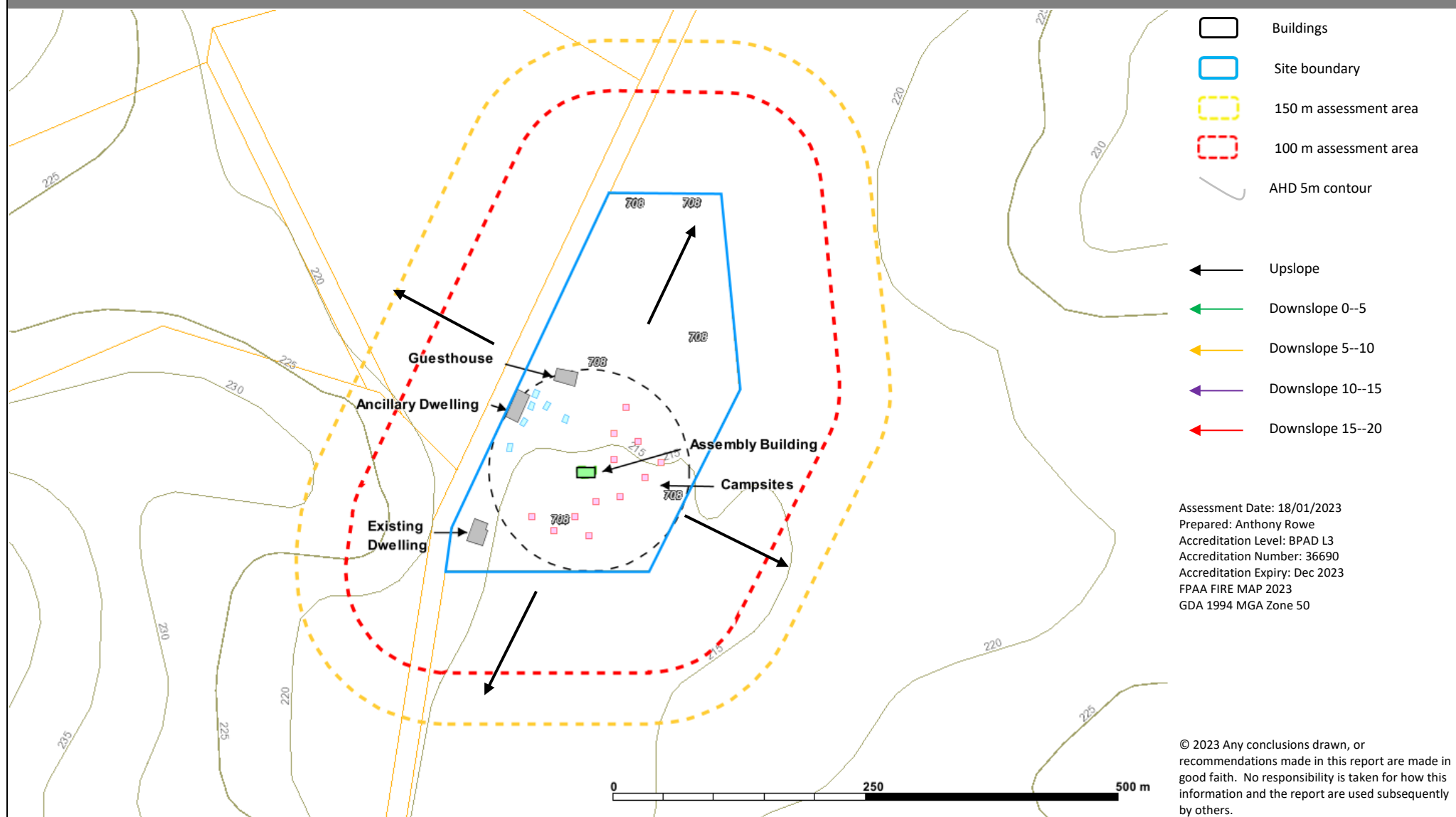




Figure 3 Vegetation Classification

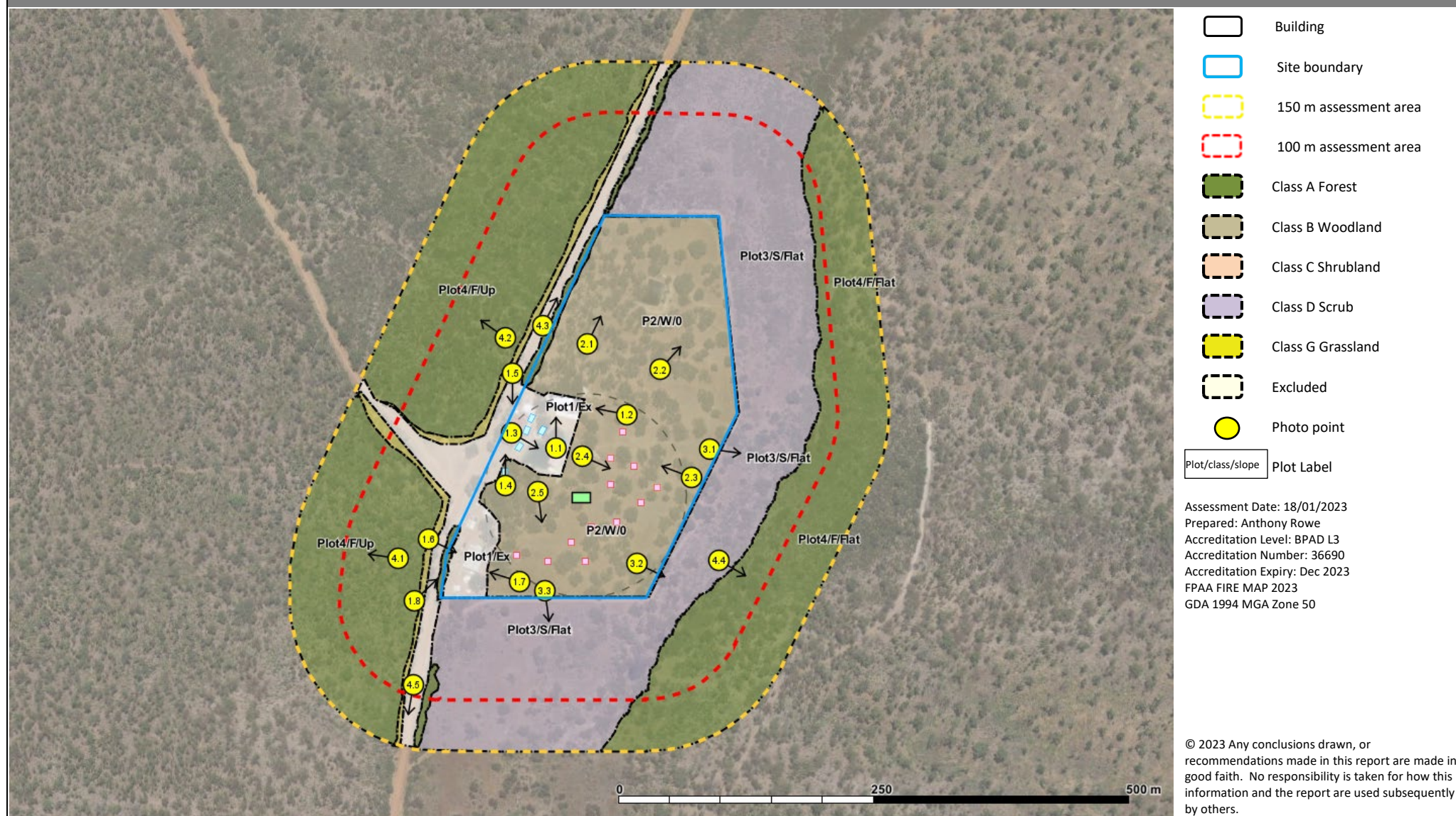




Figure 3a: Vegetation Classification and distances





Figure 3b: Vegetation Classification and distances – post development

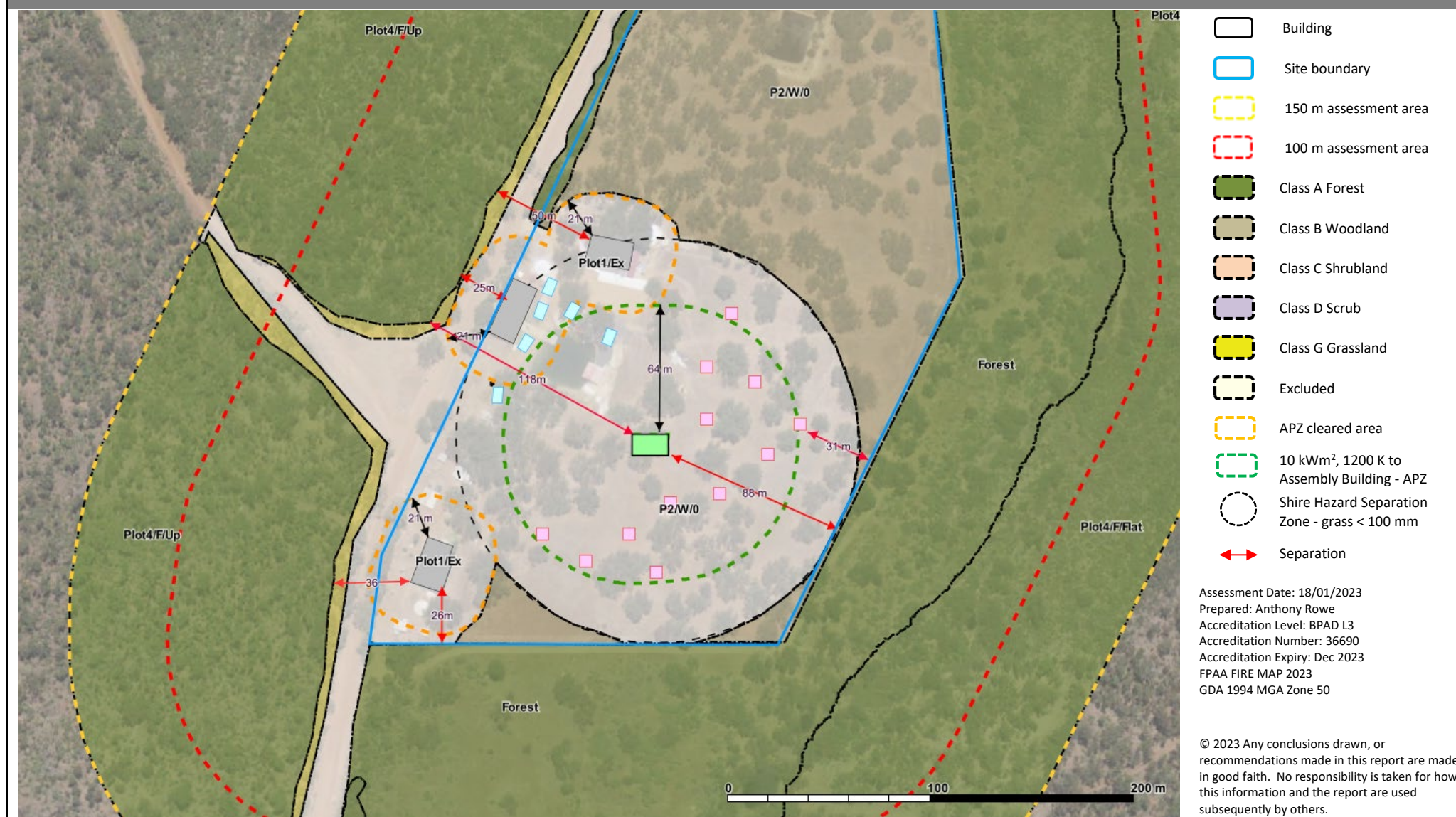
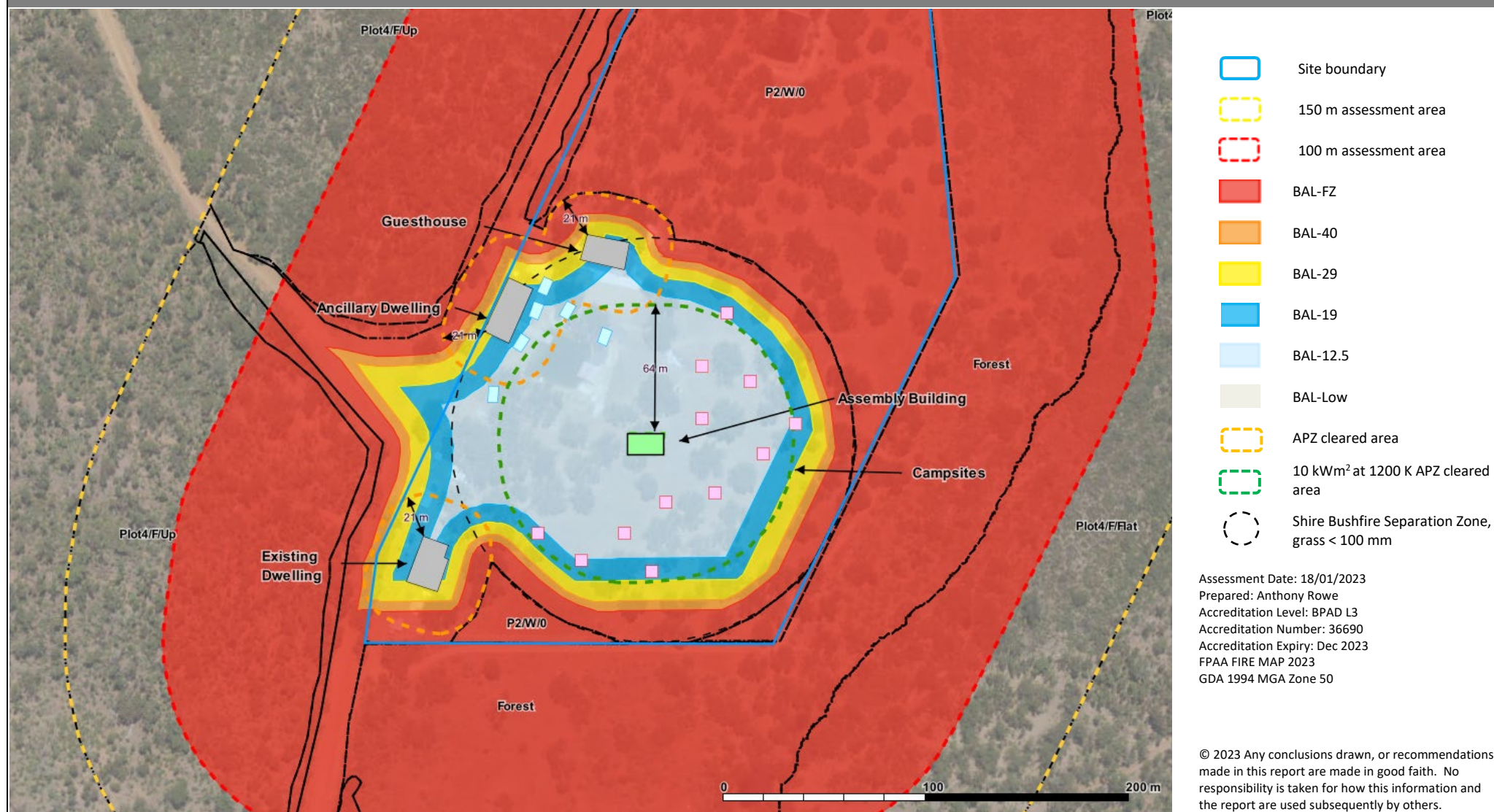




Figure 5a: BAL Contour from retained adjoining vegetation – Intended site management APZ to standard at 1090K.



All vegetation within 150m of the site / proposed development was classified in accordance with Clause 2.2.3 of AS 3959-2018. The Photo conditions of vegetation were found unchanged on further inspection on 18 January 2023.

Photo ID:	1.1	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Guest house building</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			
			

Photo ID:	1.2	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Guest house building</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			
			




Photo ID:	1.3	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Ancillary dwelling</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			



Photo ID:	1.4	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Ancillary dwelling</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			



Photo ID:	1.5	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Ancillary dwelling, managed verge.</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			



WGS84 -33.25148, 116.27778 218 SE165

15Nov19 15:39 Ad-hoc  
Lane Poole Reserve, 664-812 Yourdamung Road, AU © 15-Nov-19 15:39:29

Photo ID:	1.6	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
<p>Existing dwelling</p> <p><b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)</p>			



WGS84 -33.25310, 116.27708 222 NE70

15Nov19 15:58 Ad-hoc  
Lane Poole Reserve, 664-812 Yourdamung Road, AU © 15-Nov-19 15:58:13

Photo ID:	1.7	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
Existing dwelling			
<b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)			




Photo ID:	1.8	Plot:	1
Vegetation Classification or Exclusion Clause			
Excludable - 2.2.3.2(e) Non Vegetated Areas			
Description / Justification for Classification			
Existing dwelling, managed verge (single row). Foreground trees will be managed as low threat to achieve BAL 29 at the existing dwelling.			
<b>Post Development</b> Low threat AS 3959:2018 cl. 2.2.3.2 (e)			







Photo ID:	2.1	Plot:	2
Vegetation Classification or Exclusion Clause			
Class B Woodland - Open woodland B-06			
Description / Justification for Classification			
<p>Trees 10m – 30m high: 10%-30% foliage cover dominated by eucalypts with a grassy understorey.</p> <p>Grasses observed to be &gt; 100 mm, Canopy &lt; 15%</p> <p><b>Post Development</b> Woodland</p>			
			


Photo ID:	2.2	Plot:	2
Vegetation Classification or Exclusion Clause			
Class B Woodland - Open woodland B-06			
Description / Justification for Classification			
<p>Trees 10m – 30m high: 10%-30% foliage cover dominated by eucalypts with a grassy understorey.</p> <p>Grasses observed beyond campsites to be &gt; 100 mm, Canopy &lt; 15%</p> <p><b>Post Development</b> Woodland</p>			
			




Photo ID:	2.3	Plot:	2	
Vegetation Classification or Exclusion Clause				
Class B Woodland - Open woodland B-06				
Description / Justification for Classification				
<p>Trees 10m – 30m high: 10%-30% foliage cover dominated by eucalypts with a grassy understorey.</p> <p>Grasses observed beyond campsites to be &gt; 100 mm, Canopy &lt; 15%</p>				
Post Development				
<p>Trees over grass &lt; 100 mm compliant with the Shire Hazard Protection Zone</p>				


Photo ID:	2.4	Plot:	2	
Vegetation Classification or Exclusion Clause				
Class B Woodland - Open woodland B-06				
Description / Justification for Classification				
<p>Trees 10m – 30m high: 10%-30% foliage cover dominated by eucalypts with a grassy understorey.</p> <p>Grasses observed to be &gt; 100 mm, Canopy &gt; 15% at the north of the site outside of the suitable destination area.</p>				
<b>Post Development</b>				
Trees over grass < 100 mm compliant with the Shire Hazard Protection Zone				

Photo ID:	2.5	Plot:	2
Vegetation Classification or Exclusion Clause			
Class B Woodland - Open woodland B-06			
Description / Justification for Classification			
<p>Trees 10m – 30m high: 10%-30% foliage cover dominated by eucalypts with a grassy understorey.</p> <p>Grasses observed to be &gt; 100 mm, Canopy &gt; 15% at the north of the site outside of the suitable destination area.</p>			
<p><b>Post Development</b></p> <p>Trees over grass &lt; 100 mm compliant with the Shire Hazard Protection Zone</p>			

WGS84

53m

-33.25203, 116.27940


m

218

°T

120

SE114



15Nov19 15:32 Ad-hoc

Muja State Forest, 708 Yourdarning Road, AU © 15-Nov-19 15:32:35


Photo ID:	3.1	Plot:	3
Vegetation Classification or Exclusion Clause			
Class D Scrub - Closed scrub D-13			
Description / Justification for Classification			
<p>Beyond the grassland the predominant vegetation is shrubs and trees up to 6 m in height.</p> <p>Trees greater than 6 m &lt; 10%</p> <p><b>Post Development</b> Retained as Scrub/ Assessed as forest.</p>			
			


Photo ID:	3.2	Plot:	3
Vegetation Classification or Exclusion Clause			
Class D Scrub - Closed scrub D-13			
Description / Justification for Classification			
<p>Beyond the grassland the predominant vegetation is shrubs and trees up to 6 m in height.</p> <p>Trees greater than 6 m &lt; 10%</p> <p><b>Post Development</b> Retained as Scrub/ Assessed as forest.</p>			
			




Photo ID:	3.3	Plot:	3
Vegetation Classification or Exclusion Clause			
Class D Scrub - Closed scrub D-13			
Description / Justification for Classification			
<p>Beyond the grassland the predominant vegetation is shrubs and trees up to 6 m in height.</p> <p>Trees greater than 6 m &lt; 10%</p> <p><b>Post Development</b> Retained as Scrub/ Assessed as forest.</p>			
			


Photo ID:	4.1	Plot:	4
Vegetation Classification or Exclusion Clause			
Class A Forest - Open forest A-03			
Description / Justification for Classification			
<p>Forest south west of the site. Trees 10 - 30 m high; 30%-70% foliage cover (may include understorey of sclerophyllous low trees or shrubs). Typically dominated by Eucalypts, melaleuca or callistemon and callitris.</p> <p><b>Post Development</b> Retained as forest</p>			
			


Photo ID:	4.2	Plot:	4
Vegetation Classification or Exclusion Clause			
Class A Forest - Open forest A-03			
Description / Justification for Classification			
<p>Forest north west of the site (view north along Yourdamung Road). Trees 10 - 30 m high; 30%-70% foliage cover (may include understorey of sclerophyllous low trees or shrubs). Typically dominated by Eucalypts, melaleuca or callistemon and callitris.</p> <p><b>Post Development</b> Retained as forest</p>			
			



Photo ID:	4.3	Plot:	4
Vegetation Classification or Exclusion Clause			
Class A Forest - Open forest A-03			
Description / Justification for Classification			
<p>Forest south west of the site (view south along Yourdamung Road). Trees 10 - 30 m high; 30%-70% foliage cover (may include understorey of sclerophyllous low trees or shrubs). Typically dominated by Eucalypts, melaleuca or callistemon and callitris.</p> <p><b>Post Development</b> Retained as forest</p>			
			

Photo ID:	4.4	Plot:	4
Vegetation Classification or Exclusion Clause			
Class A Forest - Open forest A-03			
Description / Justification for Classification			
<p>Forest along creek line east of site. Trees 10 - 30 m high; 30%-70% foliage cover (may include understorey of sclerophyllous low trees or shrubs). Typically dominated by Eucalypts, melaleuca or callistemon and callitris.</p> <p><b>Post Development</b> Retained as forest</p>			
			



## 4. IDENTIFICATION OF BUSHFIRE HAZARD ISSUES

### 4.1 Bushfire Behaviour

Bushfire behaviour is the primary determinant of the bushfire risk and the design fire as a basis for identifying appropriate treatments. Bushfire behaviour is affected by three factors;

- Climate (drought and season) & weather (temperature, humidity, wind, atmospheric instability) – determines the intensity of a fire, the speed and direction, and potential for advanced spotting. Measured as an FDI in AS 3959.
- Topography (slope of the ground, aspect, and wind influences) – fire travels faster uphill, the flame length is increased uphill, landforms can channel and increase local windspeed and create turbulence. Measured as 0.0° or a degree downslope in AS 3959 (Method 1).
- Vegetation (horizontal and vertical structure, flammability, mass, and availability). Measured as a vegetation classification, or an exclusion, in AS 3959 (Method 1).

It is assumed that a bushfire will achieve a steady-state and be fully developed to maximum intensity over a 100 m (minimum fire run). Grass fires travel faster (GFDI) than a forest canopy fire, but a forest canopy fire can eject a higher level of embers and also eject them over a greater distance. Crown fires occur when the ground fire is intense, and conversely, when ground fuels are managed, the resultant fire intensity may not be sufficient to involve the crown, and a crown fire cannot be sustained. Separating the vertical structure, so there is no direct connection between the ground and the crown, reduces the likelihood of a crown fire.

The arrangement of fuel has a greater effect upon the intensity of the fire than just its mass; its exposure to oxygen is referred to as its availability in a bushfire.

#### Climate

The nearest weather station to the site is at Collie. The site is within an area described as a Mediterranean climate dry summers and mild, wet winters. The majority of rainfall is between May and September. Rainfall in Collie is generally higher and more reliable than for Perth, and the prohibited burning period is from mid-December to mid-March.

The wind roses below for February (averaged) recorded at 9 am and 3 pm illustrate the winds are strongest and most frequent from the south-east and east in the morning. Afternoon winds are most frequent from south-east, but proportionately less than in the morning. The afternoons illustrate a greater propensity for the wind to come from any direction.

Bushfires generally travel in the direction of the prevailing wind. Prevailing wind conditions are most likely to be extreme i.e. 3 pm February. The direction of the prevailing wind conditions can affect the options for evacuation and anticipated fire intensity depending upon the slope and fuel.



Plate 8: Wind roses (Feb 9 am and 3 pm), Bureau of Meteorology, Collie location 23.

## Fire Danger index

Bushfire behaviour is affected by weather conditions (measured as FFDI), together with the fuel type, and slope. Studies by CSIRO<sup>2</sup> have found, in a review of 260 bushfires between 1901 -2011 that most civilian fatalities have occurred outside of a building, often in vehicles leaving too late, but when fatalities have occurred 'within a structure' 88% have occurred in a building which failed and was within 30 m of a forest when the FFDI was higher than 75<sup>3</sup>. This is because the fire intensity had overwhelmed the building's construction performance.

*"Using fire weather days (FFDI) as a point of correlation between life loss and house loss, we find that house loss is a reasonably good predictor of potential for life loss....."*<sup>4</sup>

Building losses are generally rare when the FFDI is below 50, and up to an FFDI of 50 suppression activities are also usually effective. As the FFDI increases above 50 (Extreme FDR), the effectiveness of suppression and the ability to bring the fire under control diminishes. At an FFDI of 75+(Catastrophic FDR), a fire is not controllable.

*For this reason pre-emptive closure is recommended on days declared with an Extreme or Catastrophic Fire Danger Rating, announced by the Bureau of Meteorology and forecast 24 hours prior.*

## Topography

The site is rectangular and lies **parallel** to Yourdamung Road.

The existing landuse is within an area (5 km) characterised as forest over gently undulating and with slopes up to 4.0°.

The area is classified as an extreme bushfire hazard (level) due to the presence of forest vegetation, characteristic of the Darling Ranges that extends from the Moore River (north) to Bridgetown (south) (200km). The site is not unique.

The site presents no exceptional topographical features or conditions compared with other popular areas within the Darling Ranges.

## Bushfire History

The identification of bushfire occurrence and bushfire reduction burns since 2014, confirms the area around the site is actively fuel reduced on a five year cycle (Plate 9).

Whilst this does not preclude a bushfire event it serves to reduce the bushfire intensity. The degree of benefit is in part determined by the time since the reduction was last undertaken and the time and conditions available since for the bushfire fuels to return.

The fire history in the area and typical of the Darling Range<sup>5</sup> are fires moving initially in an easterly direction, for up to 3 hours. Fires that run over an extended period can interact with the atmosphere and become unpredictable.

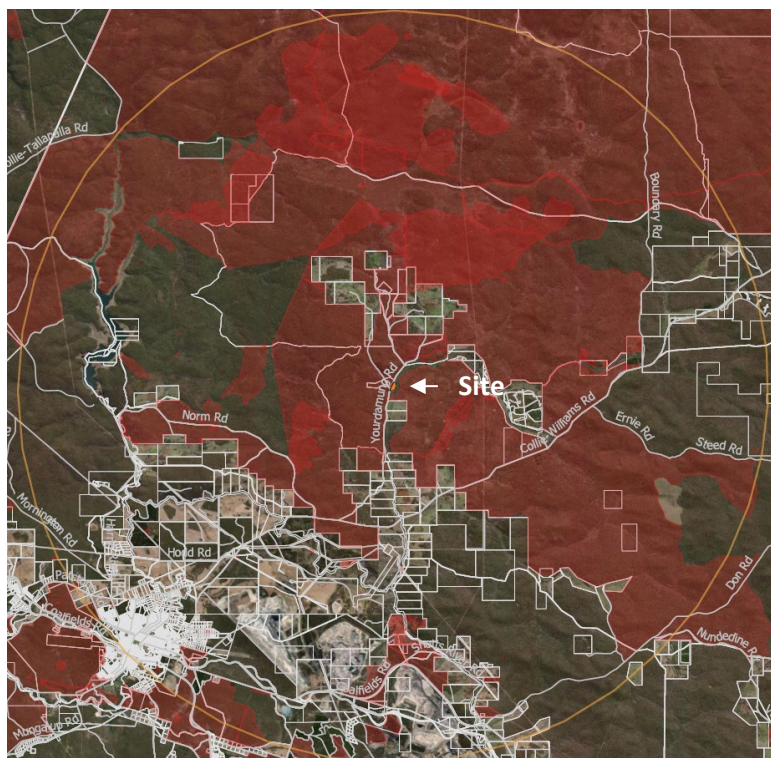
The Waroona fire 2016 destroyed 170 homes, and 69 000 ha was burned over three days. There were two fatalities. The fire occurred (40 km north of the site) and started in similar topography. It produced a Pyrocumulonimbus cloud formation that produced thunderstorms and lightening and collapse of the convective column (simultaneous downdrafts reported) that dispersed winds in many directions resulting in unpredictable fire behaviour. An unstable atmosphere can also promote escalating fire behaviour, drawing more air from the base and raising material from high above the fire that can create spotting with firebrands over long distances, (up to 5-9 km) making the safety of evacuation routes uncertain.

<sup>2</sup> Bianchi. R, Leonard. J, Haynes. K, Opie. K, James. M, Kilinc. M, Dimer de Oliveira. F, van den Honert.R, 2012, 'Life and House Loss Database Description and Analysis – Final Report', CSIRO and Bushfire CRC

<sup>3</sup> An 'Extreme' Fire Danger Rating.

<sup>4</sup> House loss is affected by human intervention, brigade intervention and self-defence. The early evacuation policy will increase the likelihood of house loss because people will not be present. The future ratio of house loss as a measure of potential fatality will require recalibration. The ratio may also be affected by improved bushfire construction and site planning intended to improve passive building survival.

<sup>5</sup> Kelmscott 2011, Parkerville 2014, Waroona 2016, and Wooroloo 2021. The Waroona Fire 40 km North of the site is the closest recent landscape scale fire over similar topography and subject to similar climatic conditions



*Plate 9a: Areas burned within 5 km of the site 2015-2019*



*Plate 9b: Areas burned within 5 km of the site 2010-2014*

The ember storms on both evenings at the Waroona fire were reported as mass spot fires and unpredictable.

*“The fire–atmosphere interactions surrounding the ember showers provided an environment conducive to the observed mass spotting.*

*Ember transport may be characterised as either long distance spotting, which can cause isolated ignitions up to tens of kilometres ahead of the main fire front, or short distance mass spotting, where ignition and coalescence of numerous (hundreds) of individual fire brands occur in closer proximity to the fire front.”<sup>6</sup>*

Evacuation should always occur if there is sufficient time and it is safe to do so, a loss or reduction in visibility due to smoke and road dust can slow vehicles speeds and increase the required interval (distance) between vehicles, increasing the required time for safe evacuation.

The site is large and can be managed to avoid direct flame contact from a fire in the adjoining land, but it would still be subject to a high radiant heat, convective heat, smoke, ember attack / ember showers as the fire front approaches.

These are all bushfire attack mechanisms that warrant evacuation if safe to do so. If it is not safe to evacuate, then the ability take shelter onsite provides an alternative to avoid human exposure to bushfire attack and avoid serious injury or fatalities.

Yourdamung Road is comparatively straight road with broad corners, but as a dirt road, it will generate dust which will reduce vehicle speeds and its volume capacity. In order to maintain visibility, it is recommended that vehicles should be released from the site at 2 minute intervals to ensure sufficient settling of dust for vehicles to maintain visibility.

The proposal is to accommodate up to 100 persons at any time, equating to 50 vehicles. Allowing 20 minutes (mobilisation) from first alarm, it will take a further 100 minutes before the last vehicle leaves the site (120 minutes).

The travel time for an individual vehicle (including the last vehicle to leave the site) to reach the township of Collie is 20 minutes. (The time taken for the last vehicle to leave the site, from the time of alarm, to reach the Collie township is 140 minutes)

A further safety margin of 40 minutes should be added - but is to be determined by the speed and the magnitude of the fire.

The required minimum evacuation time (for the route to the Collie township to be safe) is 180 minutes.

Total RSET is 180 minutes.

If the time available (ASET) is greater than the required time (RSET) then evacuation should occur. If the time available (ASET) is less than the required time (RSET) then evacuation the Shelter/Refuge on site is the safer option.

The site is able to provide a suitable destination within a building that is designed in compliance with the National standard, acceptance criteria, in the Design and Construction of Community Bushfire Refuges (ABCB Handbook).

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<sup>6</sup> Peace M, et al *Simulations of the Waroona fire using the coupled atmosphere* Journal of Southern Hemisphere Earth Systems SciencePublished: 30 August 2022

## 5. BUSHFIRE PROTECTION MEASURES

### 5.1 Bushfire Protection Criteria

A standalone Element 5 Vulnerable Tourism Landuses was introduced by Version 1.4 of the Guidelines for Planning in Bushfire Prone Areas. It is a standalone component for the purpose of assessment, but it refers to Elements 1-4 for specific items. Like the other Elements, the 'intent' must be achieved either by the proposal meeting the Acceptable Solutions; or where acceptable solutions cannot be fully met, then by a performance-based solution that can achieve the 'intent.'

Where a proposal meets the Acceptable Solution, it is held to be in compliance with the Policy (SPP3.7) intent. It represents an acceptable risk treatment and an acceptable risk.

Note that where an Acceptable Solution is satisfied there is no authority for the decision maker to impose measures that it believes would achieve a better outcome. It is however open to the applicant's discretion to 'strive' to achieve better outcomes.

The proposal is classed as:

#### ELEMENT 5: VULNERABLE TOURISM LAND USES

Intent: To provide bushfire protection for tourism land uses relevant to the characteristics of the occupants and/or the location, to preserve life and reduce the impact of bushfire on property and infrastructure.

Subclass:

**Other short-term accommodation** – including motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park (which incorporates camping grounds)

**Table 3: Compliance Table**

✓	Acceptable solution provided	C	An Acceptable Solution to be conditioned
N/A	Not Applicable	P	Performance Principle solution see 5.2

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
<b>P5vii</b> Habitable buildings are sited and designed to: – minimise clearing of existing vegetation; and – provide hazard separation between classified vegetation and a development site, that is managed in perpetuity, to protect life, prevent the spread of, and manage the impacts of, fire.	<b>A5.7 Siting and design</b> <b>A5.7a</b> For caravan parks, the provision of an APZ to achieve BAL-29 (29kW/m <sup>2</sup> ) around the campground facilities, which may include the office, manager's residence, camper's kitchen, and shower/laundry.	✓		All habitable buildings and the campsites have been located within an area not exceeding BAL 29. This is illustrated on Figures 5
	<b>A5.7b</b> Where the BMP identifies accommodation structures, including, but not limited to, caravan and camping sites, eco tents and cabins, as a tolerable loss in the event of a bushfire, these accommodation structures can be sited in areas above BAL-29 (29kW/m <sup>2</sup> ).	✓		All habitable buildings and the campsite within BAL 29. The campsites will be sited no closer than 21 m to a site boundary (as an assumed forest edge), but the campsites are proposed as a tolerable loss.




Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	<p><b>A5.7c</b> For all other short-term accommodation, an APZ to be provided in accordance with Element 2: Siting and Design of Development A2.1 Asset Protection Zone</p> <p><b>A2.1</b> Asset Protection Zone (APZ) Every habitable building is surrounded by, and every proposed lot can achieve, an APZ depicted on submitted plans, which meets the following requirements:</p> <p>Width: Measured from any external wall or supporting post or column of the proposed building, and of sufficient size to ensure the potential radiant heat impact of a bushfire does not exceed 29kW/m<sup>2</sup> (BAL-29) in all circumstances.</p> <p>Location: the APZ should be contained solely within the boundaries of the lot on which the building is situated, except in instances where the neighbouring lot or lots will be managed in a low-fuel state on an ongoing basis, in perpetuity (see explanatory notes).</p> <p>Management: the APZ is managed in accordance with the requirements of 'Standards for Asset Protection Zones' (see Schedule 1).</p>	✓		<p>The site is large (7.3 ha) and has sufficient space to provide an APZ to achieve BAL-29 at each habitable building based upon the establishment of an Asset Protection Zone set to forest, and the Assembly Building will be provided with an Asset Protection Zone set to forest and at 1200K (63 m) to ensure the building does not exceed 10kWm<sup>2</sup>.</p> <p>The post-development BAL (indicative BAL) is shown in Figure 5, illustrates that all habitable buildings will be within an area of BAL 29; and the extent of the APZ to achieve 10 kWm<sup>2</sup> at the Assembly Building.</p> <p>Aside from the Asst Protection Zones it is recommended that the grass within the site area (illustrated on Figure Ex1) is maintained at less than 100 mm tall at all times.</p>

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	<b>A5.7d</b> A landscape management plan is to be prepared to identify on-going onsite vegetation management (where appropriate).	✓		<p>The Standards for Asset Protection Zones as provided in the Guidelines v1.4 can be offered as a landscape management plan, and the extent illustrate on the Figure of Spatial Representation of Bushfire Management Strategies.</p> <p>In this instance the Asset Protection Zone has used a separation distance from forest to achieve BAL 29 at the habitable buildings and 10 kWm<sup>2</sup> (1200 K) at the Assembly Building</p>
	Where an on-site shelter is proposed, to comply with <b>A5.8.2e</b> , it is to meet all the following requirements: (e -g)			
	<b>A5.7e</b> Pedestrian paths to any on-site shelter are to be provided on-site and be clearly signposted.	✓		<p>The pedestrian paths to the Assembly building (Shelter) will be sign posted to provide clarity for patrons in a bushfire event.</p> <p>This will be provided as a condition of BMP approval.</p>
	<b>A5.7f</b> Where a building is to function as an on-site shelter, there is to be sufficient separation distance from the predominant bushfire prone vegetation to avoid exposure to a radiant heat flux exceeding 10kW/m <sup>2</sup> (with an assumed flame temperature of 1200K); or where an open space area is to function as an onsite shelter, there is to be sufficient separation distance from the bushfire prone vegetation to avoid exposure to a radiant heat flux exceeding 2kW/m <sup>2</sup> (with an assumed flame temperature of 1200K).	✓		<p>In addition to the routine consideration that is based upon a risk assessed by method 1 in AS 3959, the Assembly Building is proposed as a shelter. It has been sited and designed having regard to construction requirements in accordance with the acceptance criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014).</p> <p>The relevant consideration at planning is:</p> <p style="padding-left: 40px;">A maximum Heat Flux exposure not exceeding 10 kWm<sup>2</sup> calculated with a flame temperature of 1200<sup>0</sup> K, a separation of the building by a minimum distance of 10 m to another building and an internal capacity of 0.75m<sup>2</sup> per person (1.2 m<sup>2</sup> per person has been designed).</p> <p>Figure 5b illustrates the BAL ratings across the site calculated with a Flame Temperature of 1200<sup>0</sup> K. It illustrates the Assembly building (Shelter) is within 10 kWm<sup>2</sup> and is separated by a distance of more than 10 m from another building. The shelter has an open area capacity of the building is 150 m<sup>2</sup> providing shelter for up to 125 persons at 1.2 m<sup>2</sup> per person).</p> <p>The calculations and the required distances are provided in Table 2 in section 3 of this Bushfire Management Plan</p>

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	<b>A5.7g</b> Buildings identified as suitable for on-site shelter be designed and constructed in accordance with National Construction Code and the ABCB Community Shelter Handbook	✓		The <b>Assembly building will require certification by a fire engineer</b> that it is compliant with the acceptance criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014). Ostensibly, that tenability can be maintained within the building for the specified period.  <b>The shelter will also require annual certification by a fire engineer that it is fit for purpose as a bushfire shelter.</b>
<b>P5viii</b> The design and capacity of vehicular access and egress allows the occupants to evacuate to a suitable destination before a bushfire arrives to the site, whilst allowing emergency service personnel to attend the site; or it is demonstrated through a risk assessment that the risk can be managed.	<b>A5.8.1 Vehicular access for all proposals</b> <b>A5.8.1a</b> Internal vehicular access/private driveway is to provide emergency egress/access for all patrons and staff, in the event of a bushfire. Where possible, this is to include the provision of at least two internal access/egress points to the public road network.	✓		The site has a primary access for the short stay accommodation that is connected to the driveway to the dwelling. It provides a continuous loop and complies with the provision of at least two internal access/egress points to the public road network.  The site is large and open. The connection is compliant with the technical requirements Table 6 Column 4 (private driveway).
	<b>A5.8.1b</b> Internal vehicular access/private driveways longer than 70 metres are to meet all the following requirements: Requirements in Table 6, Column 4; Passing bays every 200 metres with a minimum length of 20 metres and a minimum additional trafficable width of two metres (that is, the combined trafficable width of the passing bay and constructed private driveway to be a minimum six metres); and Turn-around areas as shown in Figure 28.	✓		The internal driveway is longer than 70 m. As above there is no restriction upon providing internal vehicle access that is compliant with the technical requirements Table 6 Column 4 (private driveway).  The technical requirement for establishing private driveways in accordance with the Guidelines is provided as a condition of BMP approval.
	<b>A5.8.1c</b> Signage to be provided within the site, advising of where each access route travels to and the distance and general information signs on what to do in the event of a bushfire. <sup>42</sup>	✓		Signage will be provided (see 5.7 e) in addition to the directional instruction provided in the Bushfire Emergency Evacuation Plan.

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	<b>A5.8.2 Vehicular access for short-term accommodation outside of a residential built-out area</b>			
	<b>A5.8.2e</b> Where A5.8.2a, A5.8.2b and A5.8.2c (if required), cannot be achieved, and the proposed development has a capacity of up to a maximum of 100 guests and staff at any one time, an on-site shelter is to be provided in accordance with A5.7e, A5.7f and A5.7g Siting and Design.			<p>The site is serviced by Yourdamung Road, which is presently a dead-end road, providing only a single access from the south and south west.</p> <p>The site is 7.2 km from the nearest intersection with the Collie-Williams Road (sealed), which is the first option of providing two destinations.</p> <p>As identified in 5.7c the proposal will provide a building constructed in compliance with the acceptance criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014)</p> <p>The building will be located in an area not exceeding 10 kWm<sup>2</sup> and has a floor area of 185 m<sup>2</sup> and an open area of 150 m<sup>2</sup> providing shelter for up to 125 persons (at 1.2 m<sup>2</sup> per person).</p> <p>The proposal can provide shelter on site to a recognised nationally accepted standard.</p> <p>Figure 5b illustrates the Asset Protection Zone required around the building to achieve 10 kWm<sup>2</sup> at 1200K.</p> <p>In addition to the Assembly Building the maximum guests <b>at any one time will be restricted to a maximum of 100 persons overnight</b> and the site (other than the resident) will be evacuated and closed during days forecasted to be an extreme or catastrophic fire danger rating and a total fire ban.</p>

Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
	<b>A5.8.2d</b> A public road is to meet the requirements in Table 6, Column 1.			<p>Yourdamung Road complies with the specifications in Table 6, column 1. It has a consistent 8.4 m wide carriageway (all-weather mineral surface). The road is flat with broad corners and is free of overhanging restrictions.</p> <p>Yourdamung Road complies with A5.8.2d.</p> <p><b>Separate considerations accounted for in the BMP and BEEP</b></p> <p>The road surface does produce a high level of dust in dry conditions, which can obscure the view of the following vehicle, and therefore increases the required distance between vehicles. The dust was observed in dry conditions to take up to a minute to settle.</p> <p>The route is therefore not suitable for a convoy evacuation, and the potential traffic flow rate, for the purpose of establishing the RSET, is extended to account for the effect of dust. This is used to establish the decision to evacuate or take shelter at the site.</p> <p>The road is lined with trees that are higher than their separation from the carriageway. The road is therefore vulnerable to blockage by falling trees or falling limbs.</p> <p>The site may experience isolation after the passing of a bushfire, but the nature of the landuse and the assembly building provides amenity for an extended stay.</p>
<b>PSix</b> Provide a permanent water supply that is: – sufficient and available for firefighting	<b>A5.9 Provision of water</b> <b>A5.9a</b> The development or land use is provided with a reticulated water supply in accordance with the specifications of the relevant water supply authority; <b>or</b>	N/A		<p>The site is not connected to a reticulated water supply; hydrants are not available from Yourdamung Road.</p> <p>A strategic water tank for the replenishment of firefighting services has not been provided nearby (within 2km).</p>

<p>purposes; – constructed from non-combustible materials (e.g. steel), or able to maintain its integrity throughout a bushfire; and – accessible, with legal access for maintenance and re-filling by tankers and emergency service vehicles.</p>	<p><b>A5.9b</b> Provision of a water tank(s) in accordance with the requirements of Element 4, Schedule 2 requirements.</p>		<p>The site is provided with an internal power supply to provide water pressure independent of the reticulated power network.</p>  <p>The site has a mobile firefighting unit/trailer. It has a 400 L tank and 5 hp petrol powered pump. The applicant proposes satisfying A5.9b though the capacity provided by the existing dam on site. The Guidelines provide</p> <p><i>A dam, river or other source may be considered a firefighting water source if it complies with DFES guidelines and it can be demonstrated that the water level will be maintained above the top of the highest fire brigade suction point in perpetuity, if it is expected that the water supply will be used by emergency services. Approval for the use of these types of water supplies are on a case by case basis and at the discretion of the decision maker, in consultation with emergency services and local government.</i></p> <p>The site is provided with an internal power supply to provide water pressure across the site independent of the reticulated power network.</p> <p>In accordance Caravan and Camping Regulations 1997. Division 10 — Firefighting equipment 33, Fire hose reels will be provided such that every:</p> <p><i>“campsite, building and other structure is within reach of the nozzle end of a fire hose when the hose is fitted to the reel and laid to avoid any obstructions or other physical barriers.” and</i></p>
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Bushfire Protection Criteria	Method of Compliance	AS	PP	Proposed Bushfire Management Strategies
				<p><i>"A fire hose in a facility is to be on a fire reel which is to be installed in accordance with the requirements of AS 1221-1991 "Fire Hose Reels"; and AS 2441.1-1988 "Installation of Fire Hose Reels"</i></p> <p>Each campsite will be provided with a reticulated water supply for domestic purposes and a fire hose reel.</p> <p>Water quality and quantity (perpetual availability) standards and will be subject to the satisfaction of DFES prior to operation of the camping ground.</p> <p>Should agreement not be reached the alternative is to provide an min 100 000 L in a standalone tank at a potable water quality. The tank to be provided in accordance with Schedule 2 Water supply Dedicated for Bushfire Firefighting Purposes.</p> <p>The BMP has recommended the min 100 000 L in a standalone tank is provided <b>unless</b> the applicant achieves authorisation to utilise the water from the dam on site prior to the operation of the camping ground.</p>

## 5.2 Additional Bushfire Management Strategies – further to the risk treatments addressed in the Bushfire Protection Criteria

### Vulnerable Development Emergency Evacuation (CI 6.6)

Appendix 1 includes the BEEP. This plan has followed the State Government Guide to Developing a Bushfire Emergency Plan, and AS 3745-2010 *Planning for emergencies in facilities* to identify the administrative structures required for the preparation and implementation of the Emergency Evacuation Plan. It is provided to supplement an overall facilities emergency evacuation plan.

The attached Emergency Evacuation Plan incorporates the requirements listed under section 5.5.4 v1.4 Guidelines for Planning in Bushfire Prone areas, identified in the checklist below.

#### Assumptions

- The owner or manager is onsite when the facility is occupied.
- The occupants are able-bodied, or if any visitor has a disability, appropriate support and vehicles are available if evacuation is required.
- That no child is left unattended in the house.
- The occupants can see and smell smoke and can see a fire.
- That occupants can read and understand the English language.

#### Key features to achieve occupant life safety include:

- Establishing alert triggers; and
- Establishing evacuation procedure.

**Table 6: Compliance with Cl. 5.5.4 Guidelines v1.4 – Developing a Bushfire Emergency Evacuation Plan**

The emergency evacuation plan should be concise and consider:	Addressed in Emergency Evacuation Plan <i>The plan has followed AS3745-2010</i>
The number of guests at the facility	Accommodation up to 80 persons (Guest houses, ancillary dwelling and camp sites).
Whether the occupants are permanent or transient	Transient
Whether there is a caretaker on site	Hosted
Whether there are people with a disability, medically dependant, young children, or the elderly	Visitors are able-bodied or expected to be in the care of a patron.
Effective warning and communication methods for persons on site	The owner/manager is responsible for checking the DFES Alerts and Warnings web page at regular intervals during the bushfire season and for advising guests if it is necessary to evacuate.
The potential level of exposure of evacuees to untenable conditions including air temperature, radiant heat and smoke at the facility, and assembly and evacuation locations.	Evacuation is recommended and detailed in the Bushfire Emergency Evacuation Plan (Appendix 1).  The site is a single access and there is no practical option to create a secondary access. Instead the proposal creates a suitable destination and shelter at the site
Identification of a safe alternative location if there was a need for evacuation/relocation	Collie Recreation Centre
Pre-planned and agreed resources, responsibilities and procedures for the movement of occupants to safe locations	Private vehicles
A proposed method of movement of occupants to a safe location(s)	Private vehicles
Details of suitable access/egress routes for the expected type/volume of traffic, including alternatives when suitable roads are inaccessible, insufficient or inappropriate	Yourdamung Road, onto Collie-Williams Road to Collie Recreation Centre
Transport options for those without access to private vehicles	Guests are expected to arrive by private vehicle and will be instructed at induction to ensure a vehicle remains on site when at the facility.
Locations for control points to assist with traffic management including the rerouting of private traffic away from the emergency	NA
Options to shelter in place as a last resort	Evacuation – Pre-emptive seasonal closure.  Shelter in the Assembly Building constructed in accordance with the acceptance criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014)

The emergency evacuation plan should be concise and consider:	Addressed in Emergency Evacuation Plan <i>The plan has followed AS3745-2010</i>
Provision and location of medical supplies and services	First Aid equipment and supplies will be maintained on site.
Pre-planned and agreed responsibilities and resources for assistance to those that shelter in place	Instructions are provided in the Bushfire Emergency Evacuation Plan (Appendix 1).
Roles and responsibilities of facility personnel and emergency services.	Emergency procedures and responsibilities shall be clearly displayed within the buildings.

The emergency evacuation plan should consider if actions will change based on a series of triggers, such as:	Addressed in the Emergency Evacuation Plan
Effective warning methods appropriate for the occupants (including consideration of at-risk persons and the demographics of the occupants)	The site manager is to monitor the media for Fire Danger Rating information and at induction guests are to be advised of the procedure for evacuation
Closure of facility and early relocation of occupants appropriate to the fire danger rating (FDR) and bushfire warnings	Pre-emptive closure to avoid the need for relocation of guests. Guests will return to their primary place of residence.
Any local government bushfire requirements (for example, harvest and vehicle movement bans)	N/A
A suitably qualified emergency management professional should prepare the emergency evacuation plan in collaboration with relevant stakeholders including the landowner/developer and the local government (refer to section 6.14 of the Guidelines)	Anthony Rowe Accreditation Level 3 Accreditation Number: 36690

## 6. Responsibilities for implementation and management of the bushfire measures

This section sets out the responsibilities of the landowners and local government for the initial implementation and ongoing maintenance of the required actions to be assigned to the Planning approval in addition to the application details.

### Owner

1. The adoption of the Bushfire Emergency Evacuation Plan (Appendix 1). a) Closure on notice of forecast extreme, catastrophic and total fire ban conditions, and evacuation of all guests. b) In the event of a fire likely to affect the site, evacuation from the site if safe to do so. c) If a fire is expected to affect the site and evacuation is not safe then refuge on-site is to be taken in the Assembly Building as a last resort	Evacuation if safe to do so is immediate.  Shelter on site is dependant on the availability for occupation of the Assembly Building
2. The maximum number of guests and staff accommodated overnight is not to exceed 100.  <i>The proposal is to provide accommodation for 66 persons overnight.</i>	Immediate and Ongoing
3. The establishment and maintenance of the Shire's Firebreak & Fuel Hazard Reduction Notice 2021-2022, Hazard Protection Zone; an area 200 m in diameter, as shown on Fig Ex1. Grass in this area is to be maintained at less than 100 mm tall at all times within this area.	Ongoing (following establishment of the Ancillary Dwelling and/or the Campsite area)
4. The construction of the Assembly Building in accordance with the acceptance criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014) a) Prior to operating the campsite certification is to be provided by a suitably qualified fire engineer with fire risk assessment expertise, accredited with Engineers Australia, that the Assembly Building has been completed in accordance with the Acceptance Criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014). b) At least one month prior to the start of the bushfire season (in the Collie Shire area) the owner shall provide a compliance certificate by a suitably qualified fire engineer, to the local government, verifying the compliance of the Assembly Building with the Acceptance Criteria described in the <i>Design and Construction of Community Bushfire Refuges</i> (ABCB 2014). c) The Assembly Building will be constructed to BAL-29 standard AS3959. The windows shall be fitted with steel shutters (roller Shutter) in accordance with s.7.5.1. A window shall be retained to observe the passing of the fire. <i>The purpose is to reduce the radiant heat entering the building and provide protection from objects blown against the building.</i>	Prior to operating the campsite and at least one month prior to the start of the bushfire season.  The campsite shall not operate during the bushfire season until the Assembly Building has been (seasonally) certified as compliant
5. The establishment of the Asset Protection Zone (APZ) as demonstrated by the Spatial Representation of Bushfire Management Strategies (Fig Ex1) and in accordance with the Standards for Asset Protection Zones (Schedule 1 Guidelines for Planning in Bushfire Prone Areas v1.4). Specifications are provided in Appendix 3.)  The Asset Protection Zone around the Assembly Building is a minimum of 64 m extending from the face of the building. No other building or combustible structure is to be constructed within 10 m of the Assembly Building. Vehicles should not be parked within 10 m of the Habitable Building during a bushfire event.	Prior to the occupation of the Ancillary Dwelling Campsite and ongoing

6.	<p>All habitable buildings (the dwelling, guesthouse, and ancillary dwelling) should be:</p> <ul style="list-style-type: none"> <li>a) Clear of vegetation 3 m from the external face of the building.</li> <li>b) Gaps greater than 2 mm should be eliminated from the external surface of the buildings</li> <li>c) Shade cloth and acrylic walling/screen is flammable and increases building vulnerability. It should be readily removable during the bushfire season if a fire warning is declared affecting the site Watch and Act Warning, <p><i>The underside of the main dwelling is open and vulnerable to ignition and should be maintained free from the storage of or accumulation of flammable materials.</i></p> </li></ul>	Within 1 month of authorisation and Ongoing
7.	<p>Internal roads servicing the site shall be constructed in accordance with the requirements for Private Drive ways described in Table 6 Column 4 Element 3 Guidelines V1.4 (Specifications are provided in Appendix 4.)</p> <p>Directional signage is to be provided along the driveway and at the junction with Yourdamung Road</p>	Prior to occupation of the Ancillary Dwelling and/or Campsites
8.	<p>A stand alone 100 000 L water tank maintained at capacity with potable water quality. The tank to be provided in accordance with Schedule 2 Water supply Dedicated for Bushfire Firefighting Purposes. (Specifications are provided in Appendix 5.)</p> <p>Alternatively,</p> <p>A water supply for firefighting purposes is to be provided from the dam on site, subject to the satisfaction of DFES water quality standard and reliable quantity (ongoing assurance) and with the satisfaction of the Shire.</p>	Prior to occupation of the Ancillary Dwelling and/or Campsites
9.	<p>The site is provided with an internal power supply to provide water pressure independent of the reticulated power network and in accordance Caravan and Camping Regulations 1997. Division 10 — Firefighting equipment 33, Fire hose reels will be provided such that:</p> <ul style="list-style-type: none"> <li>a) Every campsite, building and other structure is within reach of the nozzle end of a fire hose when the hose is fitted to the reel and laid to avoid any obstructions or other physical barriers.</li> <li>b) A fire hose in a facility is to be on a fire reel which is to be installed in accordance with the requirements of AS 1221-1991 "Fire Hose Reels"; and AS 2441.1-1988 "Installation of Fire Hose Reels"</li> </ul>	Prior to occupation of the Ancillary Dwelling and/or Campsites
9.	<p>Provision of a <b>trailable</b> fire unit with a minimum water tank capacity 400 L, with a petrol or diesel pump (5hp) able to provide a flow rate of 50 L per minute.</p>	Prior to occupation of the Ancillary Dwelling and/or Campsites
10.	<p>A notification, pursuant to Section 70A Transfer of Land Act 1893 is to be placed on the certificate(s) of title.</p> <p><i>"This land is within a bushfire prone area as designated by an Order made by the Fire and Emergency Services Commissioner and is subject to a Bushfire Management Plan and a Bushfire Emergency Evacuation Plan."</i></p>	Prior to occupation of the Ancillary Dwelling and/or Campsites

## The Shire of Collie

1.	Developing and maintaining district bushfire fighting services and facilities.	Ongoing
2.	Administer the <i>Bushfire Act 1954</i> and monitor landowner compliance to maintain land in a state not conducive to the ignition or spread of bushfire.	Ongoing



3. Promoting education and awareness of bushfire prevention and preparation measures through the community.	Ongoing
4. Administering the requirements of the <i>Planning and Development Act 2005</i> by ensuring the facility closure in accordance with the terms of the Development approval.	Ongoing
5. Administering the requirements of the <i>Planning and Development Act 2005</i> and the <i>Building Act 2011</i> .	Ongoing

## State Government

• Notification of Emergency Alerts - Website and Telecommunication Media	Ongoing
• Policing operations to minimise the deliberate ignition of bushfires.	Ongoing
• Maintain fuel reduction on public lands	Ongoing

## Advisory notes

1. The Landowner acknowledges the importance to monitor Fire Danger Ratings and Fire warnings throughout the bushfire season whilst guests are in attendance.
2. The landowner acknowledges the site is within an extreme bushfire area and has a duty of care for the safety of all persons attending the site from the harmful effects of a bushfire affecting the site.
3. The landowner acknowledges any materials located against or near adjacent to the buildings, should they ignite, will expose the buildings to flame contact and will increase risk of building ignition.
4. The landowner acknowledges that any buildings or combustible structures located within 6 m of the building may affect its BAL rating – the advice of the Shire should be obtained prior to placing any building or structure within 6 m of a building.
5. The landowner acknowledges that external building materials can be damaged, perish or distort over time and that can in turn provide a point of vulnerability for bushfire attack. The landowner acknowledges their responsibility undertake an inspection of the building's external surfaces prior to each fire season, to eliminate any externally visible gaps greater than 2 mm.
6. The landowner is responsible for availing themselves of any promotions and information to assist owners in preparing for and responding to a bushfire event as may be made by the Shire or the Department Fire and Emergency Services.
7. Where there is conflict between this Bushfire Management Plan and the Shire's Firebreak & Fuel Hazard Reduction Notice the higher level of bushfire protection will prevail.

## Acknowledgment - Proponent

The proponent acknowledges, in submitting this BMP, the responsibilities as listed above and the requirement to ensure that should the land transfer to a new owner, that the new owner is aware of the BMP and in turn the transfer of responsibility.

## ATTACHMENT 1 – Emergency Evacuation Plan

# **BUSHFIRE EMERGENCY EVACUATION DOCUMENT**

## **708 Yourdamung Road PALMER**

23 March 2023

This plan has been prepared having regard to the WAPC *A Guide to developing a BUSHFIRE EMERGENCY EVACUATION PLAN October 2019* and incorporates the requirement of AS3745-2010 where relevant in the WAPC Emergency Evacuation Plan Template.

# 1. ESTABLISHING THE EMERGENCY MANAGEMENT TEAM

For the purpose of the short term tourist accommodation and campground at 708 Yourdamung Road PALMER the Emergency Management Team shall comprise of the owner of the facility.

The facility is to provide hosted accommodation. The owner of the facility is to be in attendance at all times whilst the facility is operating.

Should the owner not be available the owner may transfer the Chief Warden responsibilities to a person trained in the role of the Chief Warden with knowledge of the bushfire response procedures and responsibility for the well-being of all guests during a bushfire event.

In accordance with the Guidelines for preparing a bushfire emergency evacuation plan an accredited bushfire practitioner was engaged (Anthony Rowe BPAD L3 36690).

**The bushfire planning practitioner has been responsible for assisting the emergency management team with**

- The establishment and implementation of emergency plans and procedures
- Formulation of emergency procedures
- Consultation with local government and local emergency services

**Following the development of the emergency plan, the owner / operator is responsible to**

- Ensure the accommodation is compliant with the bushfire safety measures
- Ensure guests are aware of the emergency procedures applicable to the accommodation
- Oversea the safety of Guests in a bushfire event
  - Supervise evacuation: or
  - Supervise shelter
- Consult with local government and emergency services

The emergency management team should regularly review the emergency evacuation plan to ensure it remains practical and current.

As part of the booking process notice must be provided that the facility is located within a bushfire prone area and precautionary or emergency evacuation may be required during the fire season.

## 2. PREPARING THE EMERGENCY PLAN

The emergency plan applies to the short term tourist accommodation and campground at 708 Yourdamung Road PALMER.

The site is to be used for short stay accommodation comprising a guest house and camp sites.

The property is within a forested area, 20 km north-east of the town of Collie. In a bushfire event, announcements will be made via electronic media and online confirming locations of evacuation centres.

The Bushfire Management Plan dated **23 March 2023** articulates bushfire safety measures that include:

- Closure and Evacuation on days forecast as Extreme, Catastrophic and Total Fireban.
- Evacuation to Collie if it is safe to do so,
- Shelter/Refuge, if safe evacuation is not available, in the assembly building (designed to community refuge standard).
- The management of on-site conditions Suitable Destination as low threat and the remainder of the site as Asset Protection Zone standard
- Firefighting equipment and maintenance

Evacuation Notes (summary)

- **Time Required to Evacuate (RSET)** – 180 minutes - see Important note on RSET
- **Suitable Access Routes** – the town of Collie via Yourdamung Road – Collie-Williams Road
- **Transportation Arrangements** – Private Vehicles.
- Alert means:
  - Monitoring the DFES Alerts and Warnings web page  
**<https://www.emergency.wa.gov.au>**  
*The Chief Warden (OWNER OR DELEGATE) is responsible for monitoring this site at regular intervals during the bushfire season*
  - Direct SMS Mobiles phones within the affected area

## About the Fire Danger Rating system and the Fire Danger Warning system

*The Department of Fire and Emergency Services provides community and emergency advice about predicted and current conditions that advise about the level of bushfire threat.*

*The Fire Danger Rating (FDR) is based on the forecast weather conditions, the higher the rating, the higher the threat.*

***Extreme or Catastrophic ratings are the highest level and represent unsafe conditions. They are rare but represent exceptionally dangerous conditions for travel.***

***A new national Fire Danger Rating System was launched in September 2022***

There are four levels of fire danger in the new system. Fire Danger Ratings are based on predicted conditions such as temperature, humidity, wind and the dryness of the landscape and give an indication of the possible consequences of a fire, if one was to start; the higher the fire danger rating, the more dangerous the conditions.

### FIRE DANGER RATINGS

#### CATASTROPHIC

*Catastrophic - For your survival, leave bush fire risk areas*

#### EXTREME

*Extreme – Take action now to protect your life and property*

#### HIGH

*High – Be ready to act*

#### MODERATE

*Moderate – Plan and prepare*





# BUSHFIRE WARNING SYSTEM



**EMERGENCY WARNING**  
An out of control fire is approaching fast and you need to take immediate action to survive. If you haven't prepared your home it is too late.  
**You must seek shelter or leave now if it is safe to do so.**



**WATCH AND ACT**  
A fire is approaching and there is a possible threat to lives or homes. Put your plan into action. If your plan is to leave, make sure you leave early. If your plan is to stay, check all your equipment is ready.  
**Only stay and defend if you are mentally and physically prepared.**



**ADVICE**  
A fire has started but there is no immediate danger. Stay alert and watch for signs of a fire.  
**Be aware and keep up to date.**

**Where can I get information during an emergency?**  
[emergency.wa.gov.au](https://emergency.wa.gov.au) 13 DFES (13 33 37)  
[@dfeswa](#) [@dfes\\_wa](#) Local ABC Radio




**Emergency.wa.gov.au** is Western Australia's official source of emergency information for bushfires.

## About the Bushfire Warning System

Whereas the Fire Danger Rating may be used for pre-emptive considerations, preparations or evacuation, the Bushfire Warning System is an advice of a fire in the area that may affect you. It requires a **response**. The nature of the response will vary depending upon the distance the fire is from you and its direction of travel.

**Advice** requires you to respond with preparation of the site in case it will be affected by a fire.

**Watch and Act** requires you to respond by evacuating the site if it is safe to do so.

**Emergency Warning** it may be too late to leave. *A vehicle does not provide good protection in a fire if the vehicle is exposed to a radiant heat greater than 10 kWm<sup>2</sup>. The Assembly Building is a safer option if there is a risk a vehicle may be exposed to fire along the evacuation route. The Assembly building has been designed and certified in accordance with the National standard.*

**Always verify the safety of the route (from the first to the last vehicle leaving) before evacuating the site.**

### **Required Safe Evacuation Time (RSET)**

Safe evacuation requires all visitors have sufficient time to complete the journey to the township of Collie.

The Available Safe Evacuation Time (ASET) is the time available before safe evacuation will no longer be possible due to extreme heat, and smoke (diminishing visibility and road safety).

The progress of a fire towards Yourdamung Road must be determined before evacuation is taken. The ASET will depend upon:

- The fire's location its direction and speed: *will you be travelling towards or away from the fire (affects the time available)*
- and
- The fire's magnitude. *The magnitude of the fire is important in predicting the safety of the route to complete the evacuation process. In extreme conditions spotting is likely to occur, and it can start fires up to 9 km ahead of the fire front. The safety of the evacuation route may not be reliable.*

Precise information is required from DFES/Emergency Services in regard to the fire behaviour, your circumstance, and the vulnerability of the route from your site to Collie.

On receipt of either "Watch and Act" or "Emergency Warning" advice - Questions must be asked before determining if it is safe for evacuation:

- Your location;
- Your number of vehicles;
- Your route; and
- Your shelter option

Yourdamung Road is a dirt road that will generate dust. It is comparatively straight with few corners but in order to maintain visibility the anticipated vehicle speed is 40 km. Due to the dust conditions vehicles should be released from the site at 2 minute intervals to ensure sufficient separation between vehicles to maintain visibility.

#### **Example RSET 50 Vehicles**

It will take 120 minutes, from first alarm, for the last vehicle to leave the site. Allowing 20 minutes (mobilisation) for the first vehicle to leave, it will take 100 minutes for all vehicles (50) to leave the site.

The travel time for an individual vehicle to reach the township of Collie is 20 minutes.

The required minimum evacuation time (for the last vehicle from the time of alarm to reach the Collie township) is 140 minutes.

A further safety margin of 40 minutes should be added - but is to be determined by the speed and the magnitude of the fire.

Total RSET is 180 minutes.

If the time available (ASET) is greater than the required time (RSET) then evacuation should occur.

**The Chief Warden's role is to supervise the evacuation**

The Chief Fire Warden is the last person/vehicle to leave.

The Chief Fire Warden is responsible for supervising the departures, and in the meantime may delegate the securing of the site, but the first priority is the safety of the guests.

The safety of the route should be monitored throughout the evacuation and suspended if the route becomes unsafe or it is anticipated the route may become unsafe, during the evacuation; the remaining guests should take refuge at the site.

### 3. DETERMINE EMERGENCY ACTION

*Property Manager/Chief Warden responsibility*

**PREMPTIVE EVACUATION** – in anticipation of Extreme conditions

The facility is to be **pre-emptively evacuated** on days declared as Extreme or Catastrophic or Total Fireban. Fire Danger Ratings are forecast by the Bureau of Meteorology on the preceding day.

This is to be monitored by Owner (Chief Warden) whenever guests are expected to arrive or are in attendance.

**SAFE EVACUATION** – A fire has started that may affect the site – A Watch and Act has been issued and ASET is **Greater** than RSET

Evacuate to the town of Collie when safe to do so.

**SHELTER / REFUGE** - An Emergency Warning has been issued. ASET is **Less than** RSET

If safe evacuation is not available, the contingency plan is to take **refuge in the Assembly Building**.

### 4. EVACUATION / SHELTER REQUIREMENTS

**Evacuation** Pre-emptive: Guests should not attend the site or if already at the site should return to their principle place of residence.

**Evacuation** - Response: Guests should head to the nominated evacuation centre in the town of Collie and if safe travel from there to their principle place of residence.

When visiting or staying at the property, guests must ensure vehicles remain on site to facilitate evacuation, at all times.

The property Owner (Chief Warden) should retain a list of mobile phone numbers for attending guests and verify the safe arrival of each at the nominated evacuation Centre, and further confirm their departure for home.

The Shire of Collie identifies a number of public facilities within the town as 'Neighbourhood Safer Places' and the Roche Park Recreation Centre in Coombes Street may be used as an evacuation centre. In a bushfire event, announcements will be made via electronic media and online confirming the availability and location of safer places and activated evacuation centres.

## Shelter/Refuge

### *Owner (Chief Warden) responsibility*

- Sound the alarm
- Advise visitors that safe evacuation is not available
- Move all guests into the Assembly Building
- Request guests bring full cover clothing, and closed shoes
- Bring bedding (sleeping bag min toiletries change of clothes)
- Park vehicles **no closer than 10 m** from the Assembly Building and ensure all objects are 10 m clear of the Assembly Building
- Pack or flatten all tents and camp furniture – secure from blowing in wind.
- Close all windows and vents to the Assembly Building immediate to the fire arrival
- Wet towels and block smoke ingress
- Keep guests hydrated
- Watch for the fire's passing.
- Extinguish small fires against the building when safe to do so.
- Evacuate the site when safe to do so – *note the urgency to evacuate will be dependent upon the damage to the site and the availability/safety of the route to the Collie Township. This may take up to 48 hours to be determined.*

## 5. PREPARATION PROCEDURES

The Emergency Evacuation Plan must be reviewed annually ensuring all details, procedures, contact details and any attached publications (e.g. DFES) are current.

A current copy must be kept at the facility. A3 size copies of the emergency response plan and evacuation diagram are to be displayed within guest accommodation and at the Assembly Building.

### **Required firefighting Equipment:**

1. Personal Protective Equipment (for 3 people) gloves, coveralls, face mask, goggles - stored in the assembly building.
2. Mobile Phone, First Aid kit, drinking water - stored in the assembly building.
3. A towel for each guest - stored in the assembly building.
4. Water supply of a quantity capable of applying water to all parts of buildings without reliance on mains power. A fire reel/s is to be provided to serve each campsite.
5. Portable firefighting unit. A slip-on (firefighting) unit with a minimum water tank capacity 400 L, with a pump able to provide a flow rate of 50 L per minute.

### **Seasonal preparations**

Firefighting equipment should maintained intact and in working order.

Fire hoses should be checked to ensure all are in good condition and capable of reaching all surfaces of buildings.

The portable firefighting facility, both water tank and fuel supply should be full and tested.

The access within the property should be clear and easily trafficable.

Roofs and gutters of buildings should be checked regularly to ensure they are free of leaf litter and debris.

Flammable materials should not be stored within 10 m of any building.

The grass within the Suitable Destination Area must be kept less than 50 mm height at all times, and the remainder of the site maintained to an Asset Protection Zone standard.

The Assembly Building is annually certified to be compliant with the National standards for shelter. Alternative arrangements for drinking water (sufficient for all guests for up to 48 hours) and power must be in place for a circumstance where the site power and water supply could be unavailable.



## 6. TRAINING REQUIREMENTS

The owner, manager, supervising personnel:

- The written procedures applicable to the site.
- Individual roles and responsibilities.
- Response Actions
  - Access and egress routes and managing evacuation.
  - Assembly point location and shelter procedures.
  - Firefighting equipment locations and operation.

# Appendix 1

A Guide to developing a BUSHFIRE EMERGENCY EVACUATION PLAN – Step 4  
For Owner annual review

*The following questions will assist the individual developing or reviewing the Emergency Evacuation Plan to identify an off-site location. For an appropriate off-site location*

<b>If there are occupants with support needs that require a similar facility to support them, is the off-site location suitable?</b>	<del>YES</del>	<b>NO</b>
<b>Is the off-site location in an area away from the effects of a bushfire?</b> <i>Comment: Shire nominated emergency evacuation facility</i>	<b>YES</b>	<del>NO</del>
<b>Are there amenities (toilets, food, water etc.) available at the off-site location? (if applicable)</b>	<b>YES</b>	<del>NO</del>
<b>Can the off-site location accommodate the number of occupants?</b> <i>Comment: Shire nominated emergency evacuation facility</i>	<b>YES</b>	<del>NO</del>
<b>Does the route to the off-site location require transporting through bushfire affected areas or areas that may be affected by an approaching bushfire?</b>	<b>YES</b>	<del>NO</del>
<b>Has the owner of the off-site location advised that they are happy to accommodate occupants if evacuation from a bushfire emergency occurs?</b> <i>Comment: Shire nominated emergency evacuation facility</i>	<b>YES</b>	<del>NO</del>
<i>Consider the following questions to assist planning transport arrangements.</i>		
<b>Do you have your own transport for all occupants?</b> <b>If no, what transport provider will you use?</b>	<b>YES</b>	<del>NO</del>
<b>Are private vehicles to be used?</b>	<b>YES</b>	<del>NO</del>
<b>If using private vehicles, will they be available when you need them and will there be drivers available?</b> <b>If no, consider another mode of transport</b>	<b>YES</b>	<del>NO</del>
<b>Will there be sufficient vehicles to transport all the occupants?</b> All occupants will arrive by private transport	<b>YES</b>	<del>NO</del>
<b>Have occupants with support needs been considered when determining transport types and necessary timing to evacuate?</b>	<b>YES</b>	<del>NO</del>
<b>Is disabled transport required, and is this sufficient to move the number of occupants from the facility?</b>	<del>YES</del>	<b>NO</b>
<b>Do you require ambulances?</b> <b>If yes, St John Ambulance Australia needs to be consulted.</b>	<del>YES</del>	<b>NO</b>
<b>Is a community bus available?</b>	<del>YES</del>	<b>NO</b>

Are other means of transport available?	<del>YES</del>	<b>NO</b>
Do you need any other type of special transport?	<del>YES</del>	<b>NO</b>
<i>The following questions will assist the individual developing or reviewing the Emergency Evacuation Plan to identify an on-site building. For an appropriate building, the answers to the below questions should receive a 'yes'.</i>		
<b>Is the property well maintained and kept free from a build-up of fuel and leaf litter in gutters and around buildings?</b>	<b>YES</b>	<del>NO</del>
<i>The Standards for Asset Protection Zones in the Guidelines for Planning in Bushfire Prone Areas should be used as a reference.</i>		
<b>Is there a building on-site that is away from bushland and is unlikely to be impacted by bushfire?</b>	<b>YES</b>	<del>NO</del>
<i>A Shelter building has been designed and sited to National standards for shelter on site if it is not safe to evacuate</i>		
<b>Is the building constructed in a manner that minimises bushfire attack with appropriate Asset Protection Zones?</b>	<b>YES</b>	
<b>Can the building accommodate the number of occupants and visitors?</b>	<b>YES</b>	
<b>Is there ease of accessibility to the building and is it easily identifiable?</b>	<b>YES</b>	
<b>Is there access to amenities (toilets, food, water etc.) away from the effects of a bushfire?</b>	<b>YES</b>	<del>NO</del>

# BUSHFIRE EMERGENCY PLAN

<b>NAME OF FACILITY</b>	YOURDAMUNG ROAD RETREAT
<b>ADDRESS</b>	708 Yourdamung Road PALMER
<b>PREPARED BY</b>	Anthony Rowe, L3 BPAD 36690
<b>OWNER/OPERATOR</b>	Russell Tierney
<b>DATE</b>	23 March 2023
<b>VERSION NUMBER</b>	3

## Document Control

Version	Date	Details	Undertaken by
1	18/10/2022	DRAFT	Anthony Rowe
2	18/02/2023	SUBMISSION	Anthony Rowe
3	23/03/2023	SUBMISSION	Anthony Rowe

## Emergency Management Team

Name	Organisation	Contact Details
Russell Tierney	Yourdamung Road Retreat	0408 224 562

## Facility Details

This plan is for SHORT TERM TOURIST ACCOMMODATION at **708 Yourdamung Road PALMER** and has been designed to assist management in protecting life and property in the event of a bushfire.

The plan outlines procedures for both **evacuation** and **shelter-in-place** to enhance the protection of occupants from the threat of a bushfire.

**The primary action to follow in a bushfire emergency is to:**

<b>Evacuate</b>	<input checked="" type="checkbox"/>			Shelter in place	<input type="checkbox"/>	
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NAME OF CONTACT PERSON		Russell Tierney	
POSITION / ROLE OF CONTACT PERSON		Owner	
PHONE NUMBER		0408 224 562	
FACILITY TYPE	Short Term Tourist Accommodation and campground	NUMBER OF BUILDINGS	3
NUMBER OF STAFF	1 - Host	NUMBER OF OCCUPANTS	Up to 100 including staff
NUMBER OF OCCUPANTS WITH SUPPORT NEEDS		0	
DESCRIPTION OF SUPPORT NEEDS		Not applicable	



## Responsibilities

The following outlines who has responsibility for implementing emergency procedures in the event of a bushfire.

Position	Role	Responsibility
OWNER/PROPERTY MANAGER	Chief Warden	<ul style="list-style-type: none"><li>• Daily - check <a href="http://www.emergency.wa.gov.au">www.emergency.wa.gov.au</a> for any warnings or alerts</li><li>• Monitor Fire Danger Ratings at all times when visitors are at the facility</li><li>• Monitor conditions on Extreme plus FDR days<ul style="list-style-type: none"><li>○ Local ABC Radio 558/684am</li><li>○ <a href="http://Emergency.wa.gov.au">Emergency.wa.gov.au</a></li></ul></li><li>• Determine (on receipt of Watch and Act Advice or Emergency Advice) with DFES/Police that safe evacuation is available (ASET&lt;RSET)</li><li>• Consider any special needs of visitors that may affect the decision and capability to evacuate</li><li>• Determine to Evacuate- advise guests to evacuate due to an emergency warning and if DFES advise the evacuation route is safe</li><li>• Manage orderly evacuation from site and account for all visitors.</li><li>• Determine to shelter on site (ASET&gt;RSET) - instruct assembly and shelter in vehicles at the safer place</li><li>• Undertake fire suppression as required and if safe to do so</li><li>• Administer first aid</li><li>• Remain contactable (mobile phone) at all times</li><li>• Advise of all clear, oversee return to the site or evacuation from the site when the route has been declared safe</li></ul>

## Emergency Contacts

Name or Organisation	Office / Contact	Contact details
Fire / Police / Ambulance	Fire or Emergency	000 (112 from mobile)
Department of Fire & Emergency Services	Emergency Information	13 33 37 (13 DFES)
Emergency WA	Warnings and incidents	<a href="http://www.emergency.wa.gov.au">www.emergency.wa.gov.au</a>

## Preparedness

CHECKLIST – ongoing, prior to and during the bushfire season		
<b>BUSHFIRE SEASON: COMMENCES 1 DECEMBER AND CONCLUDES 12 MAY OF EVERY YEAR (UNLESS OTHERWISE ADVISED)</b>		
Action	Frequency	Responsibility
<b>To be completed just prior to the bushfire season (by November 30 each year)</b>		
1. Ensure all roofs and building junctions are clear of litter	Annual	Owner
2. Check roofs present no gaps greater than 2 mm. By external inspection or observation of daylight in the roof cavity. Screen any gaps (steel mesh 2 mm aperture) or fill with mineral wool or non-flammable sealant	Annual	Owner
3. Ensure all building surfaces present no gaps greater than 2 mm, including deck boards	Annual	Owner
4. All objects attached to the buildings are non-combustible or easily removable, and the removing mechanism is in working order	Annual	Owner
5. The hoses supplied for firefighting are protected from radiant heat (non-flammable fire reel cover) and are in working order.	Annual	Owner
6. <b>The Assembly Building will require a certificate to be sent to the Shire, prepared by a fire engineer, or suitable qualified person, to confirm the building compliance with its authorisation; that it is fit for purpose for shelter.</b>	Annual	Owner
<b>To be monitored and immediately corrected during the bushfire season between 1 December and 12 May each year.</b>		
7. Maintain all vegetation within the Asset Protection Zone in accordance with the Standards for Asset Protection Zones ( <i>Schedule 1 Guidelines for planning in bushfire prone areas V1.4</i> ).	Ongoing	Owner
8. Maintain grass within the Shires Bushfire Protection Zone area at less than 100 mm tall.	Ongoing	Owner
9. All buildings are 3 m clear of flammable materials.	Ongoing	Owner
10. Portable firefighting unit is in working order, the water tank is full, and the petrol/diesel powered pump fuel tank is full.	Ongoing	Owner
11. Fire fighting equipment is intact and is in working order	Ongoing	Owner
12. The Evacuation Diagram is clearly displayed on the inside face of the external doors within buildings and in the common areas	Ongoing	Owner
13. Emergency Contacts details are confirmed as current and identified on the Evacuation Diagram	Ongoing	Owner

## Awareness and Pre-Emptive Procedures

The following outlines the actions that must be taken to ensure occupants maintain an awareness of the bushfire threat and the appropriate procedures to follow.

The Chief Warden will check the Emergency WA website **daily** for alerts and warnings  
**[www.emergency.wa.gov.au](http://www.emergency.wa.gov.au)**

## Emergency Procedure, Location, and Transport Details

### Evacuation

Designated evacuation assembly point/s			
The Assembly Building. All guests should report to the Assembly Building for briefing and scheduling of departure.			
Primary off-site location			
Name of venue	Roche Park Recreation Centre		
Address of venue	Coombes Street, Collie		
Nearest cross street	Blair Street	Map reference	J5QF+WJ Collie
Venue phone number	(08) 9734 4388		
Primary route to location	<p>Head south-west on Yourdamung Road and after 7.2km make a slight right turn onto Collie-Williams Road. Stay on Collie-Williams Road – Williams Road – Palmer Road – Paull Street and after 10.9km turn left onto Coombes Street. Roche Park Recreation Centre will be on the right (350m).</p> <p>Required Safe Egress Time (RSET)</p> <ul style="list-style-type: none"><li>100 persons (50 vehicles) is 180 minutes for the last vehicle to arrive at the Collie township</li></ul> <p>Instruction from DFES is required on the available safe evacuation time ASET, which must be greater than the RSET.</p> <p>The route to Collie must be safe (confirmed by DFES) for up to 180 minutes, or as varied for the number of vehicles evacuating.</p>		
Secondary route to location	<p>Head south-west on Yourdamung Road and after 7.2km make a slight right turn onto Collie-Williams Road. Stay on Collie-Williams Road for 7 km then turn right onto Lintott Road. Continue onto Booth Street and Princep Street then turn left onto Coombes Street. Roche Park Recreation Centre will be on the right (2.1km).</p>		
Primary transportation arrangements			
Guests will have their transport adequate for all members of the party.			
Estimated travelling time to destination		20 minutes	
Secondary off-site location			
Name of venue	Collie Football Oval		
Address of venue	Roberts Street, Collie		
Nearest cross street	Steere Street North	Map reference	J5W3+C9 Collie

Primary route to location	<p>Head south-west on Yourdamung Road and after 7.2km make a slight right turn onto Collie-Williams Road. Stay on Collie-Williams Road – Williams Road – Palmer Road – Paull Street and after 10.9km turn right onto Coombes Street. After 1.4km turn right onto Steere Street North. The entry to the Collie Football Oval parking area will be on the left.</p> <p>Required Safe Egress Time (RSET)</p> <ul style="list-style-type: none"> <li>100 persons (50 vehicles) is 180 minutes for the last vehicle to arrive at the Collie township</li> </ul> <p>Instruction from DFES is required on the available safe evacuation time ASET, which must be greater than the RSET.</p> <p>The route to Collie must be safe (confirmed by DFES) for up to 180 minutes, or as varied for the number of vehicles evacuating.</p>
Secondary route to location	<p>Head south-west on Yourdamung Road and after 7.2km make a slight right turn onto Collie-Williams Road. Stay on Collie-Williams Road for 7km then turn right onto Lintott Road. Continue onto Booth Street and Prince Street and the entry to the Collie Football Oval will be on the left.</p>
Estimated travelling time to destination	<p>20 minutes (Yourdamung Road plus Collie-Williams Road).</p> <p><i>Vehicles should be released from the site 2 minutes apart to reduce the risk for road dust to impair visibility.</i></p>

## Shelter in Place

The **primary action** to follow if there is an imminent bushfire threat is to **EVACUATE** following confirmation (DFES or emergency services) that a safe evacuation route is available.

**If DFES or emergency services have advised it is too late to leave ( $ASET < RSET$ ) then visitors take refuge in the Assembly Building**

- Sound the alarm
- Advise visitors that safe evacuation is not available
- Move all guests into the Assembly Building
- Request guests bring full cover clothing, and closed shoes
- Bring bedding (sleeping bag min toiletries change of clothes)
- Park vehicles **no closer than 10 m** from the Assembly Building and ensure all objects are 10 m clear of the Assembly Building
- Pack or flatten all tents and camp furniture – secure from blowing in wind.
- Close all windows and vents to the Assembly Building immediate to the fire arrival
- Wet towels and block smoke ingress
- Keep guests hydrated
- Watch for the fire's passing.
- Extinguish small fires against the building when safe to do so.

## **IMPORTANT NOTE**

Bushfires are terrifying

The Chief Warden's role in supervising the shelter is to avoid panic and anxiety.

This can be assisted by informing people on what to expect and to have confidence in the shelters design – some smoke ingress into the building is expected.

Guests should expect

- The sky will go dark
- The noise is described as loud as a jet engine
- It will be extremely windy, objects will be blown around and possibly against the building
- Ember showers will cross the site
- Grass will burn and objects may catch fire including vehicles
- People will be anxious
- The peak (worst) of the fire will last up to five minutes




Use wet towels to block smoke ingress into the building.

If it becomes necessary to evacuate the building, guests should cover their heads with wet towels and move to an already burnt space outside/shielded from the radiant heat.

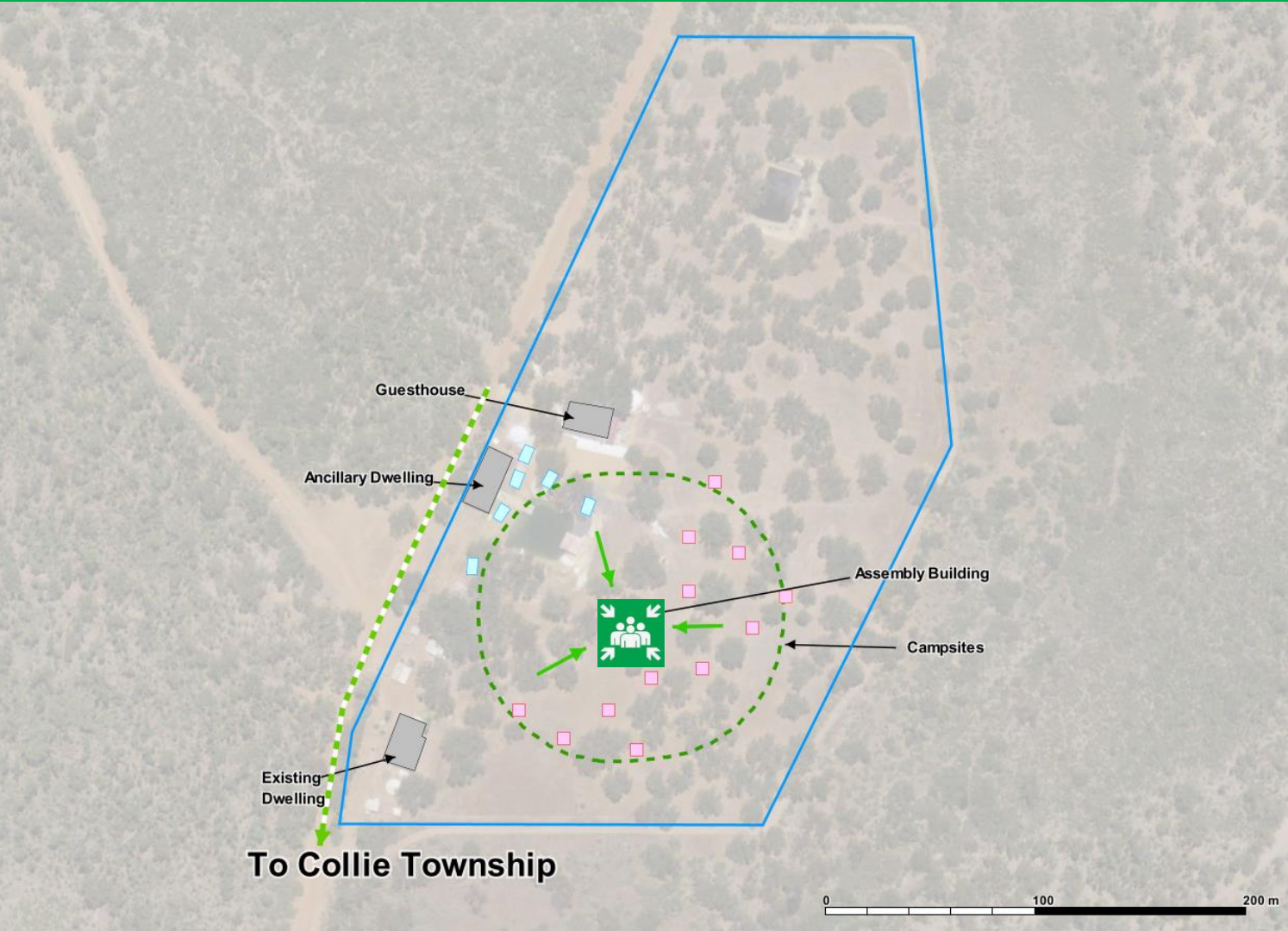
## **Attachment 1 – Emergency Plan and Evacuation Map**



# BUSHFIRE EMERGENCY RESPONSE PLAN

<b>Location -</b> 708 Yourdamung Road PALMER			<b>ADVICE - prepare to evacuate</b>		<b>EMERGENCY - Survival</b>
<b>Facility –</b> Short stay accommodation and Campground			An ADVICE warning has been issued across telecommunications media.		Smoke or fire is observed and DFES or Police have been contacted and have advised that <b>EVACUATION IS NOT SAFE</b>
<b>Visitors –</b> Maximum 100			<b>Procedure:</b> Determining if and when to evacuate: Evacuate if: <ul style="list-style-type: none"><li>A Fire Danger rating of Extreme or Catastrophic or Total Fireban has been declared</li><li>A reported fire is at a location which is likely to reach the site or has potential to close Yourdamung Road</li></ul> Ensure vehicles are available and ready for evacuation		<ul style="list-style-type: none"><li>Sound the alarm</li><li>Advise guests that safe evacuation is not available</li><li>Move all guests into the Assembly Building</li><li>Request guests bring full cover clothing, and closed shoes</li><li>Bring bedding (sleeping bag, basic toiletries &amp; change of clothes)</li><li>Park vehicles <b>no closer than 10 m</b> from the Assembly Building and ensure all objects are 10 m clear of the Assembly Building</li><li>Pack or flatten all tents and camp furniture – secure from blowing in wind.</li><li>Close all windows and vents to the Assembly Building immediately prior to the fire arrival</li><li>Wet towels and block smoke ingress</li><li>Keep guests hydrated</li><li>Watch for the fire’s passing.</li><li>Extinguish any small fires against the building when safe to do so.</li></ul>
<b>CONTACT PERSONS</b>			<b>WATCH AND ACT- Evacuate</b>		Evacuate the site when safe to do so, following Emergency Services advice.
<b>Owner/Chief Warden</b>	Russell Tierney	0408 224 562	A fire has been reported in the locality and DFES have confirmed <b>EVACUATION IS SAFE.</b>		<b><u>ALL CLEAR</u></b>
<b>Chief Wardens Role:</b> <ul style="list-style-type: none"><li>Remain informed of DFES Emergency Warnings by monitoring public information sources (listed below)</li><li>Instruct all visitors to confine travel to townships on extreme + FDR days</li><li>ensure sufficient vehicles remain onsite and available for evacuation at all times during the bushfire season</li><li>Oversee Emergency Evacuation if it is required</li></ul>			<b>Procedure:</b> Sound the alarm confirm safe evacuation via Yourdamung Road is available (DFES or police) and confirm route and destination* Direct all visitors to move to vehicles for immediate evacuation and advise them of route and destination Check all buildings and campsites have been cleared Evacuate by vehicle to safe destination. <b>Vehicle departures will need to be spaced with 2 minute intervals to account for road dust.</b> <b><u>Required safe evacuation times (RSET)</u></b>  180 minutes for 100 persons (50 vehicles)  <b>The route to Collie Township must be safe for at least 3 hours from alarm (commencement of evacuation)</b>  <b>Note:</b> 180 mins assumes 2 persons per vehicle. Evacuation of 4 persons per vehicle would reduce the time required for full evacuation of the site to 90 mins.		<b>When emergency services have deemed the area safe:</b> <ul style="list-style-type: none"><li>The Owner will<ul style="list-style-type: none"><li>check buildings and grounds for any smouldering objects and determine if it is safe for guests to return</li><li>advise guests when it is safe to return</li><li>monitor grounds and buildings, particularly roofs for smouldering material and small fires for 24 hours after the event. Extinguish small fires if safe to do so</li></ul></li></ul>
<b>AUSTRALIAN WARNING SYSTEM</b>					
<div><div><p><b>ADVICE</b> A fire has started but there is no immediate threat to lives or homes. Be aware and keep up to date.</p></div><div><p><b>WATCH AND ACT</b> There is a possible threat to lives or homes. You need to leave or get ready to defend – do not wait and see.</p></div><div><p><b>EMERGENCY WARNING</b> There is a threat to lives or homes. You are in danger and need to take immediate action to survive.</p></div></div>					
<b>INFORMATION SOURCES</b>					
Local ABC radio 684 am					
DFES information line 13 33 37					
Emergency WA www.emergency.wa.gov.au					
Bureau of Meteorology 1300 659 213					

## EMERGENCY EVACUATION DIAGRAM



### On hearing the alarm

- Go to Assembly Building
- Take full cover clothing, and closed shoes

If shelter is to be taken

- take a sleeping bag, minimum toiletries, bath towel, and a change of clothes

### Bushfires are Terrifying

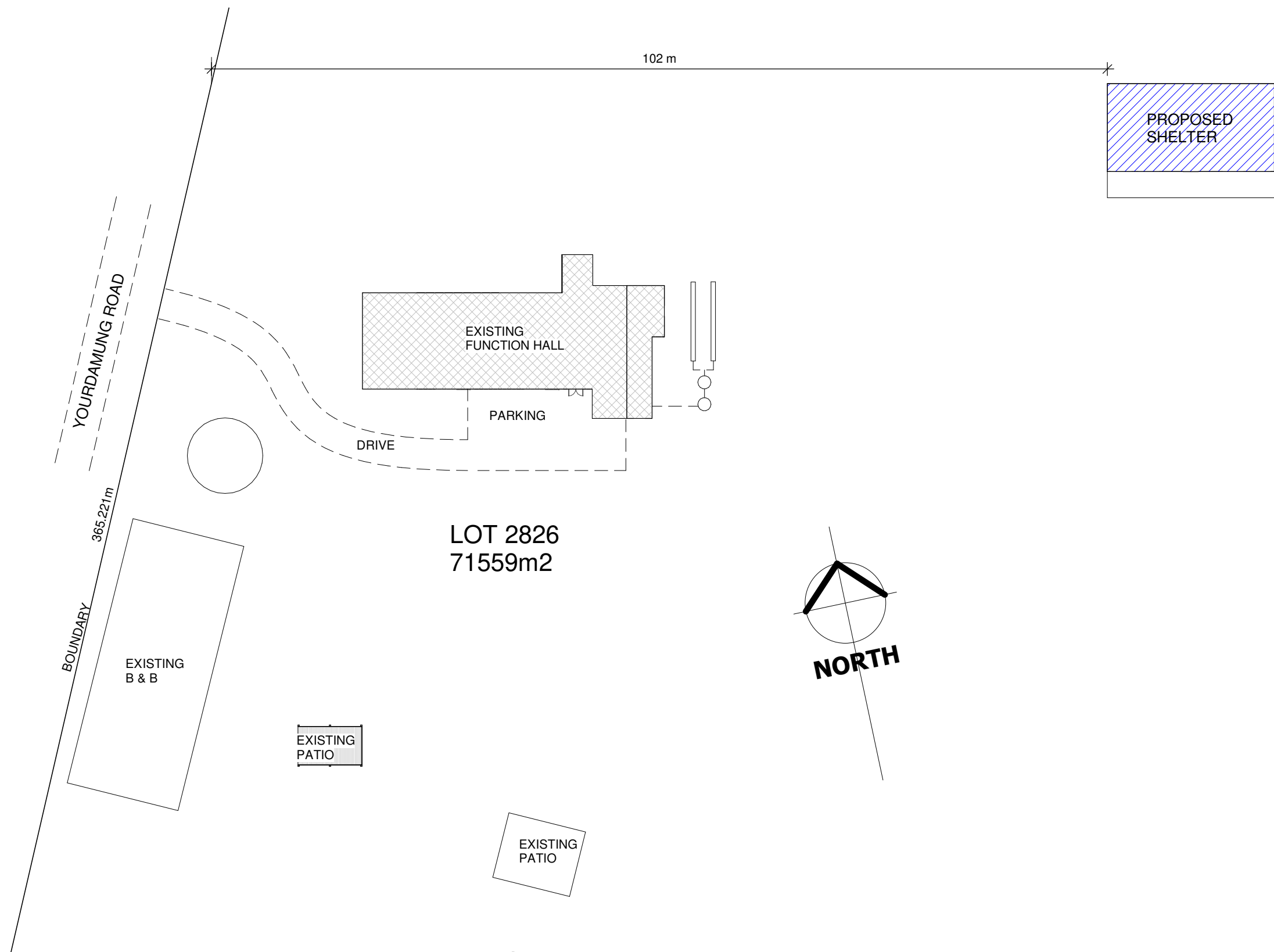
Expect:

- The sky to go black.
- Thick smoke.
- Hot air.
- Roaring noise.
- Strong winds and objects blown.
- Ember showers across the site.
- Burning objects left after the fire front passes.
- The firefront (peak fire) may last up to five minutes.

### What to do

- Move to avoid heat.
- Keep low out of smoke.
- Wet towels, cover head and breath through the towel if smoke is thick.
- Keep hydrated.

## ATTACHMENT 2 – Assembly Building



Site Plan  
1 : 500

General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

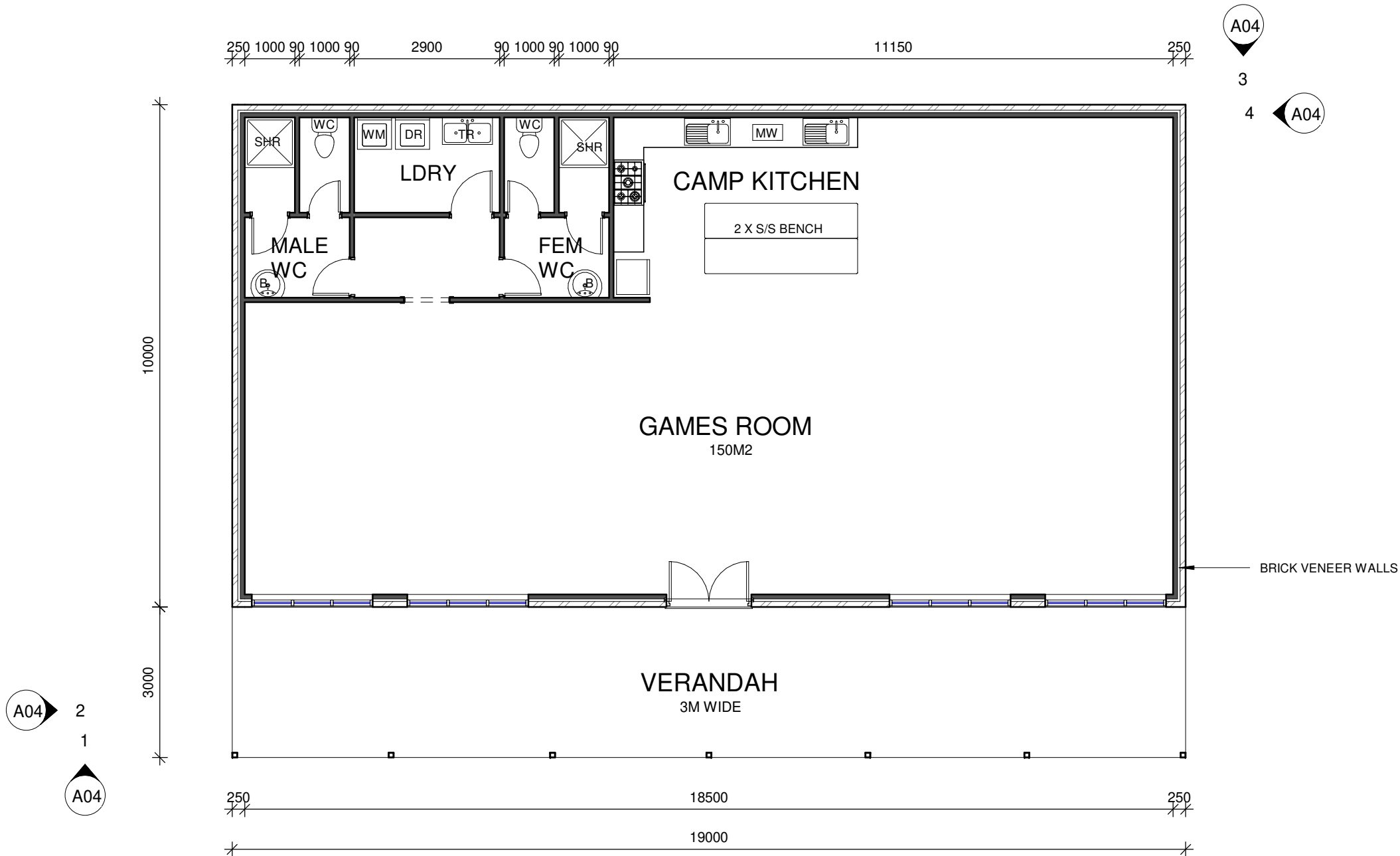
Proposed Shelter/Multiple Use Space		REVISION SCHEDULE		Site Plan	
		REV	DATE	DESCRIPTION	Sheet number: A02
		1	17.10.22	ISSUED FOR CLIENT	Project number: 1013-1
					Date: 13/10/22
					Drawn by: GG
Lot 2826 (#708) Yourdamung Road Yourdamung For R. Tierney					Scale: 1 : 500



**GHASSEB  
DRAFTING**  
DESIGN & DRAFTING PRACTICE

Phone : 97217471    Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street    Bunbury WA 6230

NOTE:  
CONSTRUCTION DETAILS FOR  
THE SHELTER WILL BE ADDRESSED  
AT THE BUILDING PERMIT STAGE.



Floor Plan  
1 : 100

AREAS  
FIRE SHELTER = 190m2  
VERANDAH = 57M2

General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

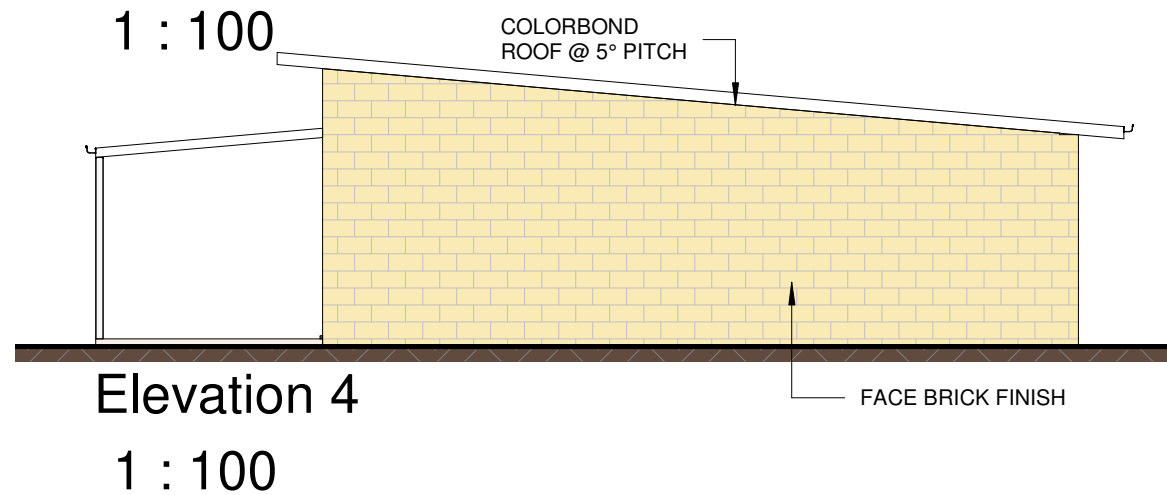
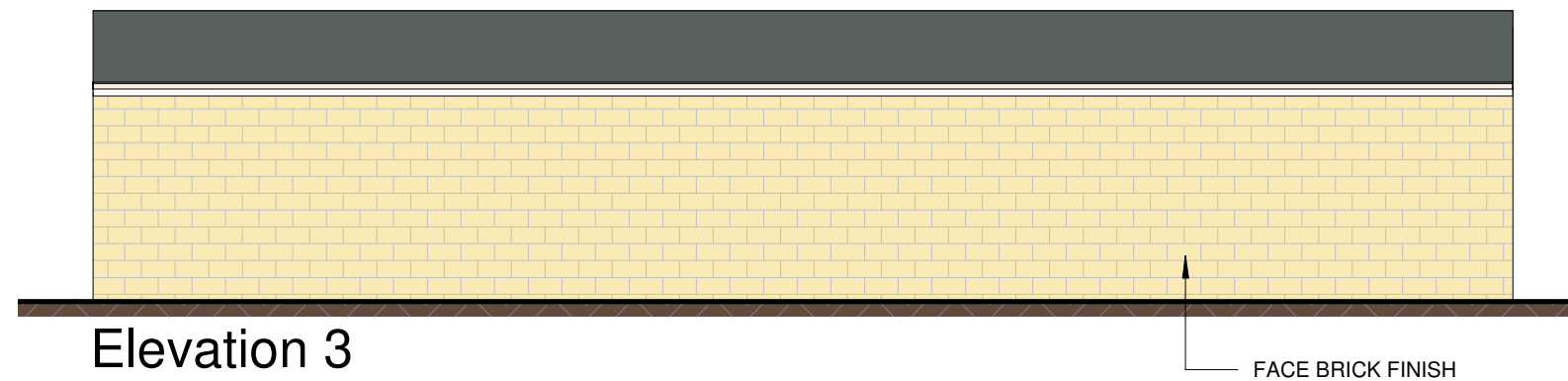
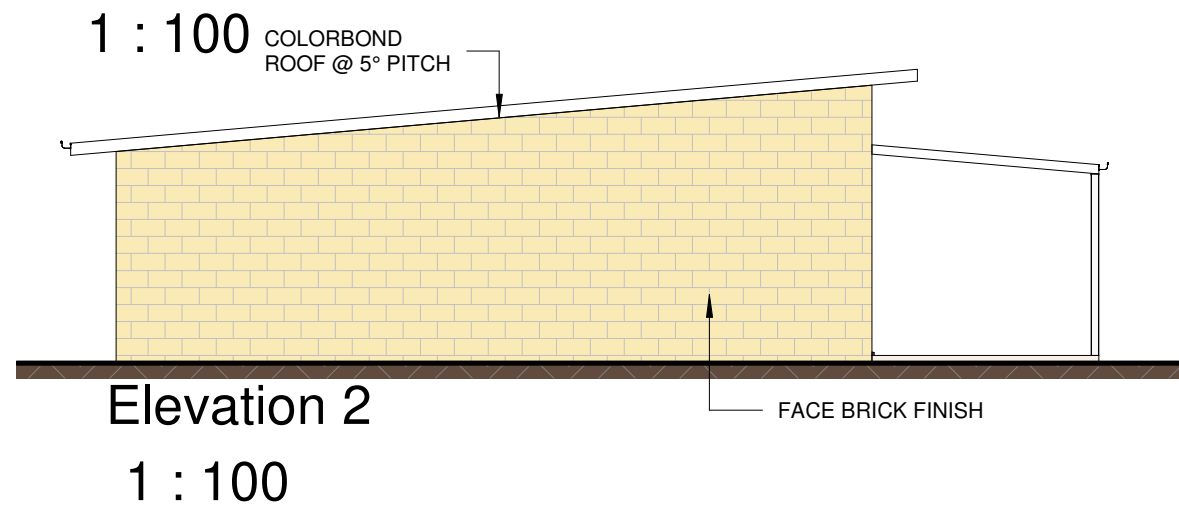
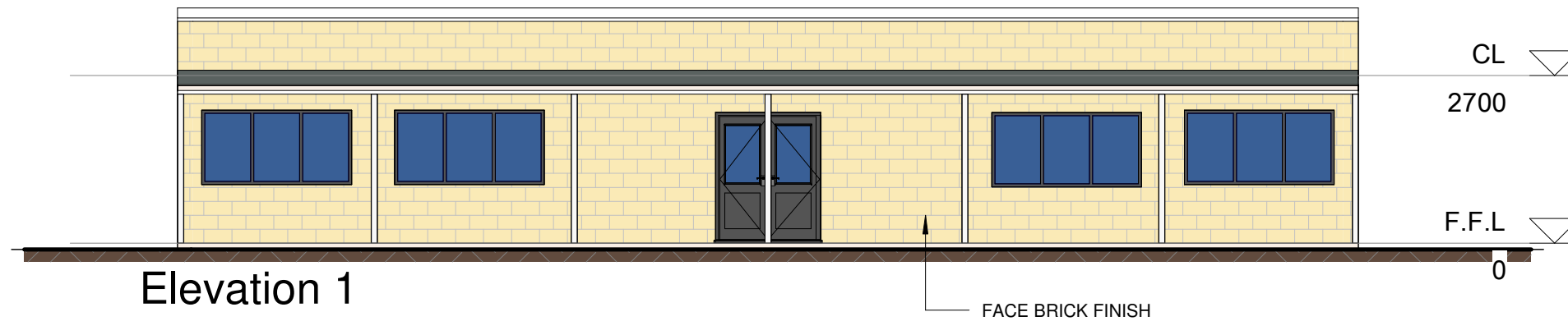
Proposed Shelter/Multiple Use Space

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

		REVISION SCHEDULE	Proposed Floor Plan	
REV	DATE	DESCRIPTION	Sheet number:	A03
1	17.10.22	ISSUED FOR CLIENT	Project number:	1013-1
			Date:	13/10/22
			Drawn by:	GG
			Scale:	1 : 100



Phone : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230



General Notes  
All materials and work practices shall comply with the Building Code of Australia 2019 and all relevant current Australian Standards.  
All dimensions and levels are to be checked and verified by owner/builder and any discrepancies in the documents must be resolved before ordering or commencement of any works.  
The contractor/builder is responsible for setting out and checking all levels and measurements onsite.

Proposed Shelter/Multiple Use Space

Lot 2826 (#708) Yourdamung Road  
Yourdamung For R. Tierney

REVISION SCHEDULE			Elevations	
REV	DATE	DESCRIPTION	Sheet number:	A04
1	17.10.22	ISSUED FOR CLIENT	Project number:	1013-1
			Date:	13/10/22
			Drawn by:	GG
			Scale:	1 : 100



Phone : 97217471 Mobile : 0418945793  
Email : ghasseb@westnet.com.au  
Address : 9b Wittenoom Street Bunbury WA 6230

## ATTACHMENT 3 - APZ Guidelines





## ELEMENT 2: SITING AND DESIGN OF DEVELOPMENT

### SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Fences within the APZ	<ul style="list-style-type: none"> <li>Should be constructed from non-combustible materials (for example, iron, brick, limestone, metal post and wire, or bushfire-resisting timber referenced in Appendix F of AS 3959).</li> </ul>
Fine fuel load (Combustible, dead vegetation matter <6 millimetres in thickness)	<ul style="list-style-type: none"> <li>Should be managed and removed on a regular basis to maintain a low threat state.</li> <li>Should be maintained at &lt;2 tonnes per hectare (on average).</li> <li>Mulches should be non-combustible such as stone, gravel or crushed mineral earth or wood mulch &gt;6 millimetres in thickness.</li> </ul>
Trees* (>6 metres in height)	<ul style="list-style-type: none"> <li>Trunks at maturity should be a minimum distance of six metres from all elevations of the building.</li> <li>Branches at maturity should not touch or overhang a building or powerline.</li> <li>Lower branches and loose bark should be removed to a height of two metres above the ground and/or surface vegetation.</li> <li>Canopy cover within the APZ should be &lt;15 per cent of the total APZ area.</li> <li>Tree canopies at maturity should be at least five metres apart to avoid forming a continuous canopy. Stands of existing mature trees with interlocking canopies may be treated as an individual canopy provided that the total canopy cover within the APZ will not exceed 15 per cent and are not connected to the tree canopy outside the APZ.</li> </ul> <p><b>Figure 19:</b> Tree canopy cover – ranging from 15 to 70 per cent at maturity</p>
Shrub* and scrub* (0.5 metres to six metres in height). Shrub and scrub >6 metres in height are to be treated as trees.	<ul style="list-style-type: none"> <li>Should not be located under trees or within three metres of buildings.</li> <li>Should not be planted in clumps &gt;5 square metres in area.</li> <li>Clumps should be separated from each other and any exposed window or door by at least 10 metres.</li> </ul>
Ground covers* (<0.5 metres in height. Ground covers >0.5 metres in height are to be treated as shrubs)	<ul style="list-style-type: none"> <li>Can be planted under trees but must be maintained to remove dead plant material, as prescribed in 'Fine fuel load' above.</li> <li>Can be located within two metres of a structure, but three metres from windows or doors if &gt;100 millimetres in height.</li> </ul>



## ELEMENT 2: SITING AND DESIGN OF DEVELOPMENT

### SCHEDULE 1: STANDARDS FOR ASSET PROTECTION ZONES

OBJECT	REQUIREMENT
Grass	<ul style="list-style-type: none"><li>• Grass should be maintained at a height of 100 millimetres or less, at all times.</li><li>• Wherever possible, perennial grasses should be used and well-hydrated with regular application of wetting agents and efficient irrigation.</li></ul>
Defendable space	<ul style="list-style-type: none"><li>• Within three metres of each wall or supporting post of a habitable building, the area is kept free from vegetation, but can include ground covers, grass and non-combustible mulches as prescribed above.</li></ul>
LP Gas Cylinders	<ul style="list-style-type: none"><li>• Should be located on the side of a building furthest from the likely direction of a bushfire or on the side of a building where surrounding classified vegetation is upslope, at least one metre from vulnerable parts of a building.</li><li>• The pressure relief valve should point away from the house.</li><li>• No flammable material within six metres from the front of the valve.</li><li>• Must sit on a firm, level and non-combustible base and be secured to a solid structure.</li></ul>

\* Plant flammability, landscaping design and maintenance should be considered – refer to explanatory notes

## ATTACHMENT 4 – Vehicle Access Private Driveway Requirements



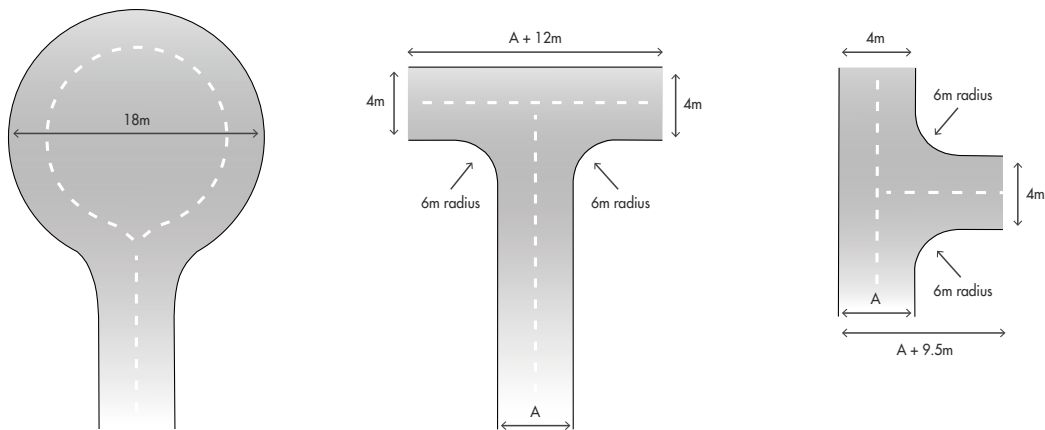
## EXPLANATORY NOTES

### E3.6 Private driveways

In areas serviced by reticulated water, where the road speed limit is not greater than 70 km/h, and where the distance from the public road to the further part of the habitable building is no greater than 70 metres, emergency service vehicles typically operate from the street frontage.

In the event the habitable building cannot be reached by hose reel from the public road, then emergency service vehicles will need to gain access within the property. Emergency service vehicles will also need to gain access within the property, where access to reticulated water (fire hydrants) is not possible. In these situations, the driveway and battle-axe (if applicable) will need to be wide enough for access for an emergency service vehicle and a vehicle to evacuate.

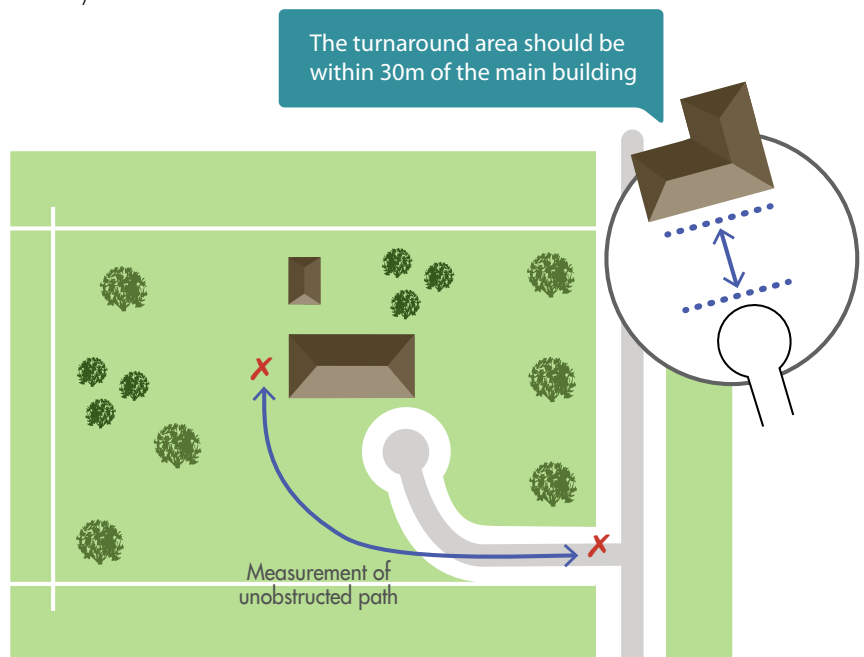
Turnaround areas should be available for both conventional two-wheel drive vehicles of residents and Type 3.4 fire appliances. Turnaround areas should be located within 30 metres of habitable buildings. Circular and loop driveway design may also be considered.



**Figure 28:** Design requirements for a turn-around area for a private driveway or battle-axe

The turnaround area should be within 30m of the main building

**Figure 29:** Design requirements for a private driveway where required under A3.6



**Table 6:** Vehicular access technical requirements

<b>TECHNICAL REQUIREMENTS</b>	<b>1 Public roads</b>	<b>2 Emergency access way<sup>1</sup></b>	<b>3 Fire service access route<sup>1</sup></b>	<b>4 Battle-axe and private driveways<sup>2</sup></b>
Minimum trafficable surface (metres)	In accordance with A3.1	6	6	4
Minimum horizontal clearance (metres)	N/A	6	6	6
Minimum vertical clearance (metres)	4.5			
Minimum weight capacity (tonnes)	15			
Maximum grade unsealed road <sup>3</sup>	As outlined in the IPWEA Subdivision Guidelines	1:10 (10%)		
Maximum grade sealed road <sup>3</sup>		1:7 (14.3%)		
Maximum average grade sealed road		1:10 (10%)		
Minimum inner radius of road curves (metres)		8.5		

**Notes:**

<sup>1</sup> To have crossfalls between 3 and 6%.

<sup>2</sup> Where driveways and battle-axe legs are not required to comply with the widths in A3.5 or A3.6, they are to comply with the Residential Design Codes and Development Control Policy 2.2 Residential Subdivision.

<sup>3</sup> Dtps must have no more than a 1 in 8 (12.5% -7.1 degree) entry and exit angle.

## ATTACHMENT 5 – Firefighting water supply





## SCHEDULE 2: WATER SUPPLY DEDICATED FOR BUSHFIRE FIREFIGHTING PURPOSES

### 2.1 Water supply requirements

Water dedicated for firefighting should be provided in accordance with Table 7 below, and be in addition to water required for drinking purposes.

**Table 7:** Water supply dedicated for bushfire firefighting purposes

PLANNING APPLICATION	NON-RETICULATED AREAS
Development application	10,000L per habitable building
Structure Plan / Subdivision: Creation of 1 additional lot	10,000L per lot
Structure Plan / Subdivision: Creation of 3 to 24 lots	10,000L tank per lot <b>or</b> 50,000L strategic water tank
Structure Plan / Subdivision: Creation of 25 lots or more	50,000L per 25 lots or part thereof Provided as a strategic water tank(s) or 10,000L tank per lot

### 2.2 Technical requirements

#### 2.2.1 Construction and design

An above-ground tank and associated stand should be constructed of non-combustible material. The tank may need to comply with AS/NZS 3500.1:2018.

Below ground tanks should have a 200mm diameter access hole to allow tankers or emergency service vehicles to refill direct from the tank, with the outlet location clearly marked at the surface. The tank may need to comply with AS/NZS 3500.1:2018. An inspection opening may double as the access hole provided that the inspection opening meets the requirements of AS/NZS 3500.1:2018. If the tank is required under the BCA as part of fire hydrant installation, then the tank will also need to comply with AS 2419.

Where an outlet for an emergency service vehicle is provided, then an unobstructed, hardened ground surface is to be supplied within four metres of any water supply.

#### 2.2.2 Pipes and fittings

All above-ground, exposed water supply pipes and fittings should be metal. Fittings should be located away from the source of bushfire attack and be in accordance with the applicable section below, unless otherwise specified by the local government.

##### 2.2.2.1 Fittings for above-ground water tanks:

- Commercial land uses: 125mm Storz fitting; or
- Strategic water tanks: 50mm or 100mm (where applicable and adapters are available) male camlock coupling with full flow valve; or
- Standalone water tanks: 50mm male camlock coupling with full flow valve; or
- Combined water tanks: 50mm male camlock coupling with full flow valve or a domestic fitting, being a standard household tap that enables an occupant to access the water supply with domestic hoses or buckets for extinguishing minor fires.

##### 2.2.2.2 Remote outlets

In certain circumstances, it may be beneficial to have the outlet located away from the water supply. In such instances in which a remote outlet is to be used, the applicant should consult the local government and DFES on their proposal.

## ATTACHMENT 6 – References

## GENERAL REFERENCES

Australian Institute for Disaster Resilience 2015, *Australian Disaster Resilience Handbook 10: National Emergency Risk Assessment Guidelines*, CC BY-NC

Australian Building Codes Board 2019, *Handbook: Bushfire Verification Method*, Commonwealth of Australia and States and Territories 2019, published by the Australian Building Codes Board.

Australian Building Codes Board 2014, *Information Handbook: Design and Construction of Community Bushfire Refuges*, 2014

Blanchi R., Whittaker J., Haynes K., Leonard J., Opie K., Holland M., Dreyfuss S., 2015 *Sheltering practices during bushfire*, CSIRO Land and Water Report to the Emergency Management Victoria Natural Disaster Resilience Grants Scheme.

Florece V., and Pannell D J. 2016, *Economic assessment of bushfire risk management options in Western Australia: case studies in the Perth Hills and in south-west of Western Australia*, The University of Western Australia, Report Prepared for The State Emergency Management Committee Secretariat, attachment 2

McLennan J. 2009, *Use of Informal Places of Shelter and Last Resort*, Bushfire Cooperative Research Centre, School of Psychological Science, La Trobe University

SA Department of Environment and Natural Resources, Government of South Australia, 2012 *Overall Fuel Hazard Guide for South Australia*

Standards Australia 2010, *Australian Standard AS 3745:2010 Planning for emergencies in facilities*

Standards Australia 2009, *Australian Standard AS 3959:2018 Construction of buildings in bushfire-prone areas*, Sydney

Standards Australia and Standards New Zealand 2018, *Australian Standard / New Zealand Standard ISO 31000:2018 Risk management – principles and guidelines*

Sullivan A L., Cruz M G., Ellis F. M., Gould J S., Plucinski M P., Hurley R., and Koul V. 2014, *Fire Development, Transitions and Suppression, Final Project Report*, Bushfire Cooperative Research Centre, CSIRO Ecosystem Science and CSIRO Climate Adaptation Flagship.

Western Australian Planning Commission (WAPC) 2015, *State Planning Policy 3.7 Planning in Bushfire Prone Areas*, Perth.

Western Australian Planning Commission Services (WAPC) 2017, *Guidelines for Planning in Bushfire Prone Areas Version 1.4*, Western Australia. December 2021.

Western Australian Planning Commission (WAPC) 2019 *A Guide to developing a Bushfire Emergency Evacuation Plan* October 2019.

Western Australian Planning Commission (WAPC) *Position Statement: Planning in bushfire prone areas – Demonstrating Element 1: Location and Element 2: Siting and design* November 2019

Western Australian Local Government Association, *Road Visual Condition Assessment Manual VERSION 1 – 2016*

Western Australian Department of Planning Land and Heritage 2016, *Visual Guide for bushfire risk assessment in Western Australia*

Whittaker J., Blanchi R., Haynes K., Leonard J., Opie K., 2017 *Experiences of sheltering during Black Saturday bushfire: Implications for policy and research*

## Online references

Office of Bushfire Risk management (OBRM), Map of Bush Fire Prone Areas, viewed February 2023, <  
<https://maps.slip.wa.gov.au/landgate/bushfireprone/>>

FPAA FIRE MAPS 2023, viewed February 2023



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.5.4**





Our Ref: D19656  
Your Ref: P008/21

Isabel Fry  
Shire of Collie  
[colshire@collie.wa.gov.au](mailto:colshire@collie.wa.gov.au)

Dear Ms Fry

**RE: VULNERABLE LAND USE - LOT 2826, NUMBER 708 YOURDAMUNG ROAD, PALMER  
- RETROSPECTIVE CHANGE OF USE FROM OUTBUILDING TO GUESTHOUSE, BAR AND  
STORAGE, RETROSPECTIVE APPROVAL FOR 7 FREESTANDING PAGODAS (PATIOS) -  
PROPOSED CAMPGROUND WITH MULTI USE SPACE / SHELTER / ASSEMBLY BUILDING  
- SAT MATTER**

I refer to your email dated 21 February 2023 regarding the submission of a revised Bushfire Management Plan (BMP) (Version V2) prepared by Envision and dated 18 February 2023, for the above development application.

This advice relates only to *State Planning Policy 3.7: Planning in Bushfire Prone Areas* (SPP 3.7) and the *Guidelines for Planning in Bushfire Prone Areas* (Guidelines). It is the responsibility of the proponent to ensure the proposal complies with relevant planning policies and building regulations where necessary. This advice does not exempt the applicant/proponent from obtaining approvals that apply to the proposal including planning, building, health or any other approvals required by a relevant authority under written laws.

**Assessment**

- DFES acknowledges that the proposed development was refused by the Shire and was subsequently appealed at SAT. The proposal is now under a Section 31 Reconsideration.
- It is acknowledged that the BMP has addressed Element 5: Vulnerable Tourism Land Uses of v1.4 of the Guidelines which came into effect in March 2022. However, the intent of SPP 3.7 is to reduce and mitigate the risk of bushfire to people and property which is prescribed through broad consideration of the bushfire risk. This is required to appropriately plan for land use intensification and is one of the most effective means of preventing inappropriate development in unsuitable locations where an extreme bushfire risk exists. It is on this basis DFES' comments are made and reflect the policy's prioritisation of ensuring responsible development in bushfire prone areas.
- Further clarification is required within the BMP of the requirements of SPP 3.7 and the supporting Guidelines as outlined in our assessment below.
- Comments below represent views of DFES' Land Use Planning, Bushfire Technical Services and South West Operations teams.



## 1. Policy Objectives 5.1 and 5.2 apply to this proposal

Assessment	
Policy objectives	<p><b>5.1 &amp; 5.2 – not achieved</b></p> <p>The paramount objectives of SPP3.7 are to <u>avoid</u> an increase in the threat of bushfire, to preserve life and to reduce vulnerability to bushfire.</p> <p>A further objective of SPP3.7 is to reduce vulnerability to bushfire through consideration of bushfire risks in decision making.</p> <p>An assessment of the bushfire risk arising in the locality has been conducted. DFES has reviewed the bushfire hazard present in the landscape and considers that it presents an extreme bushfire risk location, with particular regard to the following:</p> <ul style="list-style-type: none"> <li>• Extreme hazard level vegetation exists within and adjacent to the site and, given its extent and continuity, is able to form a significant fire run and impact the site and/or the broader locality in a bushfire emergency.</li> <li>• The presence and extent of unmanaged bushfire prone vegetation on all aspects and located more than 150m from the site presents an extreme bushfire risk.</li> <li>• The site is not located in proximity to urban areas or townships where fuel is managed in a minimum fuel condition, nor does it provide immediate access to a place that is not within a bushfire prone area.</li> <li>• Evacuation options cannot be relied upon and may not be realistic or practical in the event of a bushfire emergency arising in the broader locality given the remoteness and topography of the site, the road condition and the presence and extent of vegetation surrounding evacuation routes.</li> </ul> <p>The location of the site, within the context of the surrounding area, is considered unacceptable for the following reasons:</p> <ul style="list-style-type: none"> <li>• Catastrophic bushfire behaviour is likely, and a bushfire could develop rapidly and grow to a significant size, resulting in the loss of life, property and infrastructure.</li> <li>• The topography, type and extent of bushfire prone vegetation may result in landscape-scale destruction as it interacts with the bushfire hazard on and close to the site.</li> <li>• The proposed development would significantly increase the threat of bushfire and vulnerability of people, property and infrastructure at this location.</li> <li>• The site would present significant complexities for response and may not reasonably and realistically be able to be defended in the event of a bushfire emergency.</li> <li>• Evacuation from the site, with its singular access route, may not be possible and if attempted could pose an unacceptable risk to human safety.</li> <li>• Shelter on site is not considered an acceptable alternative to evacuation given the extreme risk to life and property at this location.</li> <li>• The likelihood of a bushfire, its severity and intensity, and the potential impact on life and property posed by the bushfire hazard at this location represents an extreme bushfire risk that cannot be</li> </ul>

	adequately reduced. The additional risk proposed should be avoided entirely in accordance with the objectives of SPP3.7.
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## 2. Policy Measure 6.5 a) (ii) Preparation of a BAL contour map

Issue	Assessment	Action
<b>Vegetation classification</b>	<p>The evidence provided in images appears to indicate that there is some management of the entire area of Plot 2. Based on surrounding vegetation, it appears that an unmanaged area could develop more into a Forest type vegetation.</p> <p>The BMP should detail specifically how the Class B Woodland classification was derived as opposed to Class A Forest or provide details of ongoing management regimes.</p> <p>If unsubstantiated, the vegetation classification should be revised to consider the vegetation as per AS3959, or the resultant BAL ratings may be inaccurate.</p> <p>It is noted that the southern section is included in an area identified for ongoing management under the BMP and that the classification would not alter BAL ratings shown.</p>	Modification to the BMP is required.
<b>Vegetation Exclusion</b>	<p>Evidence to support the exclusion of the Shire Hazard Separation/Protection Zone as managed to low threat in accordance with AS3959 is required.</p> <p>Specifically:</p> <ul style="list-style-type: none"> <li>The BMP references a Shire Hazard Separation Zone and a Shire Hazard Protection Zone, however does not provide specific detail as to what is required to comply with this.</li> <li>The management of grass alone under the trees in this area would not result in an excludable vegetation type. Photo points 2.3 and 2.4 indicate that canopy cover is greater than 15% in some areas, and further evidence is required to validate the lower canopy covers stated for the remainder of the plot.</li> </ul> <p>If unsubstantiated, the vegetation classification should be revised to consider the vegetation as per AS3959, or the resultant BAL ratings may be inaccurate.</p>	Modification to the BMP is required.
<b>Vegetation Exclusion</b>	While the updated vegetation map has classified some verge areas as Class A Forest, evidence is required to support the exclusion of the remaining areas of the Yourdamung Road reserve on the eastern side as managed to low threat in accordance	Modification to the BMP is required.

	<p>with AS3959. There appears to be trees and unmanaged vegetation lining the boundary of the site along Yourdamung Road. The trees on the western side of the road have also been classified as Class G Grassland, however have no photos supporting this classification (after this classification was raised in DFES' previous response).</p> <p>An enforceable mechanism is required to provide certainty that the proposed vegetation classification and exclusion can be achieved in perpetuity and it is enforceable.</p> <p>If unsubstantiated, the vegetation should be classified as per AS3959, or the resultant BAL ratings may be inaccurate.</p>	
<b>Landscape Management Plan</b>	<p>The BMP has identified that a significant amount of onsite vegetation will need to be modified to achieve an APZ compliant with Schedule 1: Standards for Asset Protection Zones contained in the Guidelines.</p> <p>If approval was to be considered, development of a Landscape Management Plan would provide a compliance mechanism for the Shire and remove ambiguity for the landowner.</p>	Modification to the BMP is required.
<b>Administrative issues</b>	<p>The BMP includes several administrative issues:</p> <ul style="list-style-type: none"> <li>• Photo ID 1.8 is noted as excluded vegetation however is directed at an area of Class A Forest.</li> <li>• Photo ID 4.3 points in the wrong direction, and Photo ID 4.4 shows a road however is not located near a road. It is unclear if these photo points have been labelled correctly.</li> <li>• Table 2a notes a BAL of BAL-19 for camp sites within 30m of Class A Forest, however this would require a setback of 31m.</li> <li>• The Emergency Evacuation Diagram provided in the BMP (following figure Ex 1) uses an outdated site plan with the assembly building shown in the wrong location.</li> <li>• There are two plans labelled 3a – one shows the managed area to the south as excluded but it is labelled as Plot 2 Woodland, whereas it would more accurately be titled 3b (Post Development) and have that part of Plot 2 labelled as excluded (which may warrant a separate plot being created for clarity).</li> </ul>	Modification to the BMP is required.
<b>BAL Contour Map</b>	<p>The inputs (i.e. actual separation distances from each vegetation plot) need to be included in the BMP to demonstrate the methodology applied to determine the BAL outputs within the Contour Map. While table</p>	Modification to the BMP is required.

	2a details setbacks of each structure from Class A Forest plots, it does not detail separation distances from other vegetation (e.g. Woodland or Grassland plots). Further, the table outputs do not appear to reflect the updated vegetation map (e.g. Guesthouse is stated as 50m from Class A Forest however is located approximately 20m from the Class A Forest Verge shown in Figure 3a).	
<b>Method 2</b>	DFES Bushfire Technical Services team has reviewed the submitted Method 2 calculations and validated their outputs.	Comment only
<b>Onsite Shelter</b>	Buildings functioning as onsite shelters have a number of other factors to consider in terms of their location, proximity to combustible materials, proximity to tall trees etc that have not been considered in the BMP, as prescribed in the Australian Building Codes Board (ABCB) standards. The building is also multi-use which would mean there will be furniture covering a large area of floor space, the shelter options assume the building is empty and can accommodate all persons onsite within the building with 1.2m <sup>2</sup> per person. Additional concerns are present with the plans detailing a gas stove, which is likely to lead to the storage of gas around the shelter.	Comment only

### 3. Policy Measure 6.5 c) Compliance with the Bushfire Protection Criteria

Element 5	Assessment	Action
<b>Vulnerable Tourism Land Uses - Intent</b>	<p><b>Intent – non-compliant</b></p> <p>The bushfire hazard remaining within the site should not be considered in isolation of the bushfire hazard adjoining the site. Further, BAL construction standards focus on asset protection and this should not be incorrectly equated with a lower risk to people and the subject site.</p> <p>Ultimately, there is inadequate physical separation from the extreme bushfire prone vegetation within 150 metres of the site boundary to adequately ensure the preservation of life and reduction of impacts of bushfire on property and infrastructure. Studies of past bushfire events demonstrate 85% of fatalities occur within 100 metres of extreme bushfire level vegetation, source: Blanchi, Raphaele, et al. "Environmental circumstances surrounding bushfire fatalities in Australia 1901–2011." <i>Environmental Science &amp; Policy</i> 37 (2014): 192-203.</p> <p>The DPLH Position Statement (November 2019) - <i>Planning in bushfire prone areas - Demonstrating Element 1: Location and Element 2: Siting and Design</i> states "to demonstrate compliance with acceptable solution A1.1 consideration should be given to the site context, where 'area' is the land within and adjoining the subject site. The</p>	Does not comply.

	<p><i>hazards remaining within the site should not be considered in isolation of the hazards adjoining the site, as the potential impact of a bushfire will be dependent on the wider risk context, including how a bushfire could affect the site and the conditions for a bushfire to occur within the site”.</i></p> <p>The development has not been designed appropriately to ensure bushfire protection measures can be achieved and to minimise the level of bushfire impact to people that are considered vulnerable. The likelihood of a bushfire, its severity and intensity, and the potential impact on life and property posed by the bushfire hazard at this location represents an extreme bushfire risk that should be adequately reduced.</p>	
<b>Vulnerable Tourism Land Use – Siting and Design</b>	<p><b>A5.7a-c, Pvii &amp; Intent – non-compliant</b></p> <p>The BAL ratings cannot be validated for the reasons outlined in the above table.</p> <p>It is noted that APZs could be implemented within the site to provide a development area that could achieve BAL-29.</p> <p>Notwithstanding, due to the proximity of extreme vegetation in and around the site, it is not considered that habitable buildings have been sited and designed to protect life, prevent the spread of and manage the impacts of fire.</p> <p>It is therefore considered that the proposed development does not demonstrate compliance with the intent of this element.</p> <p>The application of APZs and building construction standards should not be considered in isolation of the remaining bushfire hazard within and adjoining the site.</p> <p>Land is not considered suitable for development where an extreme bushfire hazard will remain on completion and the risk cannot be adequately reduced.</p>	Modification to the BMP required.
<b>Vulnerable Tourism Land Use – Siting and Design</b>	<p><b>A5.7d – not demonstrated</b></p> <p>Due to the level of vegetation proposed to be managed to achieve the above BAL ratings, and the scale of the site, a Landscape Management Plan should be prepared to remove ambiguity for the landowner and to provide a compliance mechanism for the Shire. This should be provided prior to the determination of the application.</p>	Modification to the BMP required.
<b>Vulnerable Tourism Land Use - Vehicular Access</b>	<p><b>A5.8 &amp; P5viii - non-compliant</b></p> <p>Vehicle access to meet Performance Principle P5viii cannot be achieved at this location as evacuation options are limited, traverse extreme bushfire risk areas or are not</p>	Modification to the BMP required.

	<p>available, making access and egress options uncertain during a bushfire event. It is considered that concerns associated with vehicular access to this site also conflict with the intent of Element 5.</p> <p>Access in two different directions to two different destinations, in accordance with the acceptable solution, is not available until the intersection of Yourdamung Road and Collie-Williams Road, approximately 7 kilometres from the development site. This exceeds the acceptable maximum length of 200 metres for a dead-end road where it passes through extreme vegetation.</p> <p>The BMP has been updated to provide an onsite shelter built to ABCB standards. The method 2 calculations for the required 10kW/m<sup>2</sup> area have been validated as above. However, the BMP states in some sections that the site's capacity is limited to 100 people <u>overnight</u> (pages 43 and 50). A5.8.2 states that where an onsite shelter is to be provided, the proposed development may have a capacity of up to 100 guests and staff <u>at any one time</u>. The BMP should be updated to reflect the requirements of the Guidelines and remove any ambiguity.</p> <p>In addition, although Element 5 allows for onsite shelter to be considered in lieu of multiple access routes, DFES generally does not support provision of an onsite shelter as a suitable alternative and advocates for provision of two or more access routes. The intent is to ensure that vehicular access to a development is available and safe during a bushfire event and that the public road system in a bushfire prone area provides access and egress for firefighters and residents during a bushfire emergency. The proposed development is on a lot that is accessed by a road which runs through an extreme hazard that, in the opinion of DFES, cannot be adequately managed and may not be available in the event of a bushfire. In addition, the unsealed road which would be used in the event of evacuation would increase the time for evacuation due to the poor visibility as a result of dust on the road. The issue of the dust would also impact responders attending the site. While it is noted that evacuation is listed as the primary response in the event of a bushfire, it is noted that the evacuation time is calculated at three hours and that the road conditions do not provide for a suitable egress route due to poor visibility, topography and extreme bushfire hazard.</p>	
<b>Vulnerable Tourism Land Use – Provision of Water</b>	<p><b>A5.9b – modification required</b></p> <p>The BMP states that the applicant seeks to use the onsite dam as a water source for firefighting, however notes that a 100,000L tank will be installed if the use of the dam is not supported.</p> <p>DFES requires that standalone firefighting water tanks are provided to ensure that sufficient water is available in case</p>	Modification to the BMP is required.



	<p>of emergency. Tanks should be conditioned to meet the requirements of Element 4 Schedule 2, with the implementation table updated to reflect this requirement.</p> <p>Given the number of structures and camp sites are known, DFES recommends the BMP is modified to accurately reflect the number of tanks required and is spatially represented, and to ensure any proposed tanks can achieve full compliance with the Guidelines. It is also recommended water tanks for firefighting purposes are located in areas of BAL-29 or below.</p>	
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#### 4. Policy Measure 6.6.1 Vulnerable land uses

Issue	Assessment
<b>Bushfire Emergency Evacuation Plan (BEEP)</b>	<p><b>Comment only</b></p> <p>The referral has included a '<i>Bushfire Emergency Evacuation Document</i>' for the purposes of addressing the policy requirements. Consideration should be given to the Guidelines Section 5.5.2 'Developing a Bushfire Emergency Evacuation Plan'. This contains detail regarding what should be included in an EEP and will ensure the appropriate content is detailed when finalising the EEP to the satisfaction of the Shire.</p>

#### 5. Policy Measure 6.7 and 6.11 apply to this proposal

Assessment	
<b>Extreme bushfire hazard &amp; Precautionary principle</b>	<p><b>Not achieved</b></p> <p>The proposal will result in the intensification of development in an area with an extreme bushfire risk and should not be supported.</p> <p>There is a potentially serious threat of bushfire to people, property and infrastructure which warrants a conservative approach to decision making.</p> <p>While it is acknowledged that some measures have been incorporated into the proposal to improve the resilience of structures to bushfire, ultimately DFES is not satisfied that these overcome the risks associated with the proposed intensification of use at this site. DFES does not consider that the intent or performance principles of the relevant policy measures can be achieved for the proposed development as the bushfire hazard cannot be reduced to an acceptable level through the implementation of the BMP.</p>

#### **Recommendation – Not compliant with Acceptable Solutions, and does not address performance Principles or Intent due to extreme hazard**

The development **is not supported** for the reasons outlined above, including:

1. The proposal does not comply with the intent, objectives and policy measures of SPP3.7.
2. The proposed development is in an area of extreme bushfire risk making the location unsuitable for intensification and would increase the bushfire threat through the introduction of additional people, property and infrastructure at this location.

3. The proposal does not comply with the 'bushfire protection criteria' contained within the Guidelines, as detailed in the tables above.

If you require further information, please contact Michael Ball, Senior Land Use Planning Officer on telephone number 9395 9819.

Yours sincerely



**Naomi Mynott**  
**DIRECTOR LAND USE PLANNING**

17 March 2023

cc: [isabel.fry@collie.wa.gov.au](mailto:isabel.fry@collie.wa.gov.au)

Your Ref: P008/21

23 March 2023

Isabel Fry

Shire of Collie

colshire@collie.wa.gov.au

Dear Ms Fry

**RE: VULNERABLE LAND USE - LOT 2826, NUMBER 708 YOURDAMUNG ROAD, PALMER - RETROSPECTIVE CHANGE OF USE FROM OUTBUILDING TO GUESTHOUSE, BAR AND STORAGE, RETROSPECTIVE APPROVAL FOR 7 FREESTANDING PAGODAS (PATIOS) - PROPOSED CAMPGROUND WITH MULTI USE SPACE / SHELTER / ASSEMBLY BUILDING – SAT MATTER**

I refer to the Department of Plan and Emergency Services comments forwarded by 17 March 2023, regarding the above development subdivision.

In overview, DFES continue to ignore the purpose of Element 5, and the Acceptable Solutions it provides. The Proposal is compliant with Element 5 and the Acceptable solutions.

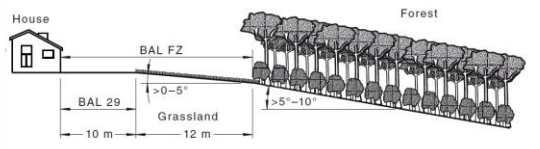
A correct reading of statute is policy higher in the hierarchy prevails where there is conflict with lower level policy in the hierarchy, except where that policy is expressed as a deliberate interpretation of the policy maker. In this case where Element 5 describes the satisfaction of higher policy in the hierarchy.

DFES has acknowledged it does not accept the Acceptable Solution or follow the Guidelines for shelter as an accepted contingency for access.

Assessment	Action
<p>The paramount objectives of SPP3.7 are to avoid an increase in the threat of bushfire, to preserve life and to reduce vulnerability to bushfire.</p> <p>A further objective of SPP3.7 is to reduce vulnerability to bushfire through consideration of bushfire risks in decision making.</p> <p>An assessment of the bushfire risk arising in the locality has been conducted. DFES has reviewed the bushfire hazard present in the landscape and considers that it presents an extreme bushfire risk location, with particular regard to the following:</p> <ul style="list-style-type: none"> <li>• Extreme hazard level vegetation exists within and adjacent to the site and, given its extent and continuity, is able to form a significant fire run and impact the site and/or the broader locality in a bushfire emergency.</li> <li>• The presence and extent of unmanaged bushfire prone vegetation on all aspects and located more</li> </ul>	<p>DFES has ignored the previous comment on this matter.</p> <p>DFES continues to erroneously apply Objective 5.1 as a prohibition and inflexible application of planning policy. This error has been addressed in the recent SAT case law Harmanis and followed in Bunnings</p> <p><i>"SPP 3.7 does not require that there be no increase at all in the threat of bushfire to people property or infrastructure. Rather, as is seen in cl 2 of SPP 3.7, the intention of the policy is to 'implement effective, risk-based land use planning and development to preserve life and reduce the impact of bushfire on property and infrastructure". (Harmanis Holdings No. 2 Pty Ltd and Western Australian Planning Commission [2019] WASAT 43</i></p> <p>Version 1.4 of the Guidelines introduced a standalone Bushfire Protection Criteria, Element 5 - <i>Vulnerable Tourism Land Uses</i>. The applicable subset</p>

<p>than 150m from the site presents an extreme bushfire risk.</p> <ul style="list-style-type: none"> <li>• The site is not located in proximity to urban areas or townships where fuel is managed in a minimum fuel condition, nor does it provide immediate access to a place that is not within a bushfire prone area.</li> <li>• Evacuation options cannot be relied upon and may not be realistic or practical in the event of a bushfire emergency arising in the broader locality given the remoteness and topography of the site, the road condition and the presence and extent of vegetation surrounding evacuation routes.</li> </ul> <p>The location of the site, within the context of the surrounding area, is considered unacceptable for the following reasons:</p> <ul style="list-style-type: none"> <li>• Catastrophic bushfire behaviour is likely, and a bushfire could develop rapidly and grow to a significant size, resulting in the loss of life, property and infrastructure.</li> <li>• The topography, type and extent of bushfire prone vegetation may result in landscape-scale destruction as it interacts with the bushfire hazard on and close to the site.</li> <li>• The proposed development would significantly increase the threat of bushfire and vulnerability of people, property and infrastructure at this location.</li> <li>• The site would present significant complexities for response and may not reasonably and realistically be able to be defended in the event of a bushfire emergency.</li> <li>• Evacuation from the site, with its singular access route, may not be possible and if attempted could pose an unacceptable risk to human safety.</li> <li>• Shelter on site is not considered an acceptable alternative to evacuation given the extreme risk to life and property at this location.</li> <li>• The likelihood of a bushfire, its severity and intensity, and the potential impact on life and property posed by the bushfire hazard at this location represents an extreme bushfire risk that cannot be adequately reduced. The additional risk proposed should be avoided entirely in accordance with the objectives of SPP3.7</li> </ul>	<p>to the proposal is the landuse classification of <i>Other short-term accommodation – including motel, serviced apartments, tourist development (includes cabins and chalets), holiday accommodation and caravan park (which incorporates camping grounds).</i></p> <p>Element 5 was expressly created as an exemption from the routine consideration applicable to residential development, in recognition that State tourism opportunities are often within forest (eco-tourism) and are provided with only a single access; Circumstances exhibited by the proposed development.</p> <p>Element 5 is a standalone section but calls explicitly on certain other provisions from Elements 1-4 from the Bushfire Protection Criteria.</p> <p>DFES has presented no evidence that this site is an extraordinary location in comparison to other promoted nature-based location.</p> <p>Unlike the other nature-based activities, the proposal responds to the risk, consistent with Objective 5.2.</p> <p>It is an identified site within telecommunication range that is hosted. It has the opportunity to receive an early warning maximising time for action and is hosted by someone aware of the response procedure that can act quickly and decisively.</p> <p>The site will be preemptively evacuated on days forecast as Extreme or Catastrophic.</p> <p>The preference is to evacuate the site in a bushfire event if it is safe to do so: if it is not safe, the proposal offers shelter on site as a contingency.</p> <p>The threats (risks) have been acknowledged in the BMP, and risk treatments, including the contingency to take shelter in a building designed and maintained in accordance with National Standards, is provided.</p> <p>Shelter on site is an Acceptable Solution under <i>Other short-term accommodation</i>.</p> <p>The proposal is compliant with the Acceptable Solutions for shelter in Element 5, it follows the policy and the rule of law.</p>
<p>The evidence provided in images appears to indicate that there is some management of the entire area of</p>	<p>DFES has ignored the previous comment on this matter.</p>

<p>Plot 2. Based on surrounding vegetation, it appears that an unmanaged area could develop more into a Forest type vegetation.</p> <p>The BMP should detail specifically how the Class B Woodland classification was derived as opposed to Class A Forest or provide details of ongoing management regimes.</p> <p>If unsubstantiated, the vegetation classification should be revised to consider the vegetation as per AS3959, or the resultant BAL ratings may be inaccurate.</p> <p>It is noted that the southern section is included in an area identified for ongoing management under the BMP and that the classification would not alter BAL ratings shown.</p>	<p>It is accepted there is ambiguity in the characterisation of Woodland described in Table 2.3, but an understanding of how the classification is applied clarifies the ambiguity.</p> <p><i>"Trees 10 m - 30 m high; 10% - 30% foliage cover dominated by eucalypts and/or callistris with a prominent grassy understorey. May contain isolated shrubs"</i></p> <p>AS3959: 2018 is a national standard to be addressed by National Convention, not DFES.</p> <p>Woodland is classed by its understorey, because both Woodland and Forest use the same canopy coverage (tonnage) in the calculations. The difference between Woodland and Forest, is the absence of understory trees and shrubs that provide a link the canopy.</p> <p>Plot 2 shows grass under a dispersed canopy.</p>
<p>Evidence to support the exclusion of the Shire Hazard Separation/Protection Zone as managed to low threat in accordance with AS3959 is required.</p> <p>Specifically:</p> <ul style="list-style-type: none"> <li>• The BMP references a Shire Hazard Separation Zone and a Shire Hazard Protection Zone, however does not provide specific detail as to what is required to comply with this.</li> <li>• The management of grass alone under the trees in this area would not result in an excludable vegetation type. Photo points 2.3 and 2.4 indicate that canopy cover is greater than 15% in some areas, and further evidence is required to validate the lower canopy covers stated for the remainder of the plot.</li> </ul> <p>If unsubstantiated, the vegetation classification should be revised to consider the vegetation as per AS3959, or the resultant BAL ratings may be inaccurate.</p>	<p>DFES has confused this as existing rather than a proposed outcome that will be provided at completion.</p> <p>The Shire Hazard Separation/Protection Zone follows the Shire Firebreak Notice and works will be undertaken consistent with the requirement.</p> <p>Photos 2.3 and 2.4 are oblique, and a long view, they illustrate the vertical arrangement and should be viewed together with the aerial to determine the horizontal spatial arrangement. The canopy coverage is deceptive, and the shadow should be excluded. The canopy density over a notional area of 1 ha is less than 15%.</p>
<p>While the updated vegetation map has classified some verge areas as Class A Forest, evidence is required to support the exclusion of the remaining areas of the Yourdamung Road reserve on the eastern side as managed to low threat in accordance with AS3959.</p> <p>There appears to be trees and unmanaged vegetation lining the boundary of the site along Yourdamung Road. The trees on the western side of the road have also been classified as Class G Grassland, however have no photos supporting this classification (after this classification was raised in DFES' previous response).</p>	<p>The trees lining the boundary of the site along Yourdamung Road are a single row excluded by AS3959:2018, cl.2.2.3.2(f). Where they are within flame length of the trees on the other side of the road they have been classed as forest.</p> <p>The correct method of classifying vegetation is provided at Figure 2.2 in AS3959:2018.</p>

<p>An enforceable mechanism is required to provide certainty that the proposed vegetation classification and exclusion can be achieved in perpetuity, and it is enforceable.</p> <p>If unsubstantiated, the vegetation should be classified as per AS3959, or the resultant BAL ratings may be inaccurate.</p>	<p><i>In assessing vegetation classes for forests, woodlands and rainforests, the classified vegetation will be determined by the unmanaged understorey rather than either the canopy (drip line) or the trunk of any trees.</i></p>  <p>FIGURE 2.2 EXAMPLE OF VARYING SLOPE RANGES FOR ASSESSMENT</p> <p>Forest is not measured from the edge of the canopy (drip line) but from where the vertical structure of vegetation that classifies a forest starts.</p>
<p>The BMP has identified that a significant amount of onsite vegetation will need to be modified to achieve an APZ compliant with Schedule 1: Standards for Asset Protection Zones contained in the Guidelines.</p> <p>If approval was to be considered, development of a Landscape Management Plan would provide a compliance mechanism for the Shire and remove ambiguity for the landowner.</p>	<p>Schedule 1: Standards for Asset Protection Zones contained in the Guidelines, is a default landscape management plan.</p> <p>It is identified in the BMP to apply.</p> <p>The dimension and the description Schedule 1: Standards for Asset Protection Zones contained in the Guidelines are certain and enforceable by Section 214 of the <i>Planning and Development Act 2005</i>.</p>
<p>The BMP includes several administrative issues:</p> <ul style="list-style-type: none"> <li>Photo ID 1.8 is noted as excluded vegetation however is directed at an area of Class A Forest.</li> </ul>	<p>The notation on the photo is 'Existing dwelling, managed verge'.</p> <p>The photo is correct, Map 3a includes the road verge as Forest, but it is to be managed adjacent the existing dwelling Figure Ex1. The photo intent was the dwelling. Map 3b will be retitled, post development.</p> <p>BMP amended photo 1.8 to refer to post development.</p> <p>BMP amended Map 3b will be retitled, post development.</p>
<ul style="list-style-type: none"> <li>Photo ID 4.3 points in the wrong direction, and Photo ID 4.4 shows a road however is not located near a road. It is unclear if these photo points have been labelled correctly.</li> </ul>	<p>Agreed.</p> <p>The photos are in their opposite order.</p> <p>BMP amended; photo order swapped</p>
<ul style="list-style-type: none"> <li>Table 2a notes a BAL of BAL-19 for camp sites within 30m of Class A Forest, however this would require a setback of 31m.</li> </ul>	<p>Figure 3a shows the closest campsite at 31 m to the boundary, nearest forest.</p> <p>The Table should be corrected to show 31 m.</p> <p>BMP amended Table corrected to 31m.</p>
<ul style="list-style-type: none"> <li>The Emergency Evacuation Diagram provided in the BMP (following figure Ex 1) uses an outdated site</li> </ul>	<p>Agreed.</p> <p>The correct plan from the BEEP was not transferred to the summary.</p>



plan with the assembly building shown in the wrong location	BMP amended, updated Evacuation Plan from BEEP shown in the summary
<ul style="list-style-type: none"> <li>There are two plans labelled 3a – one shows the managed area to the south as excluded but it is labelled as Plot 2 Woodland, whereas it would more accurately be titled 3b (Post Development) and have that part of Plot 2 labelled as excluded (which may warrant a separate plot being created for clarity).</li> </ul>	<p>Agreed. Figure 3b should be labelled as post development.</p> <p>BMP amended. Figure 3b labelled as post development.</p>
<p>The inputs (i.e. actual separation distances from each vegetation plot) need to be included in the BMP to demonstrate the methodology applied to determine the BAL outputs within the Contour Map. While table 2a details setbacks of each structure from Class A Forest plots, it does not detail separation distances from other vegetation (e.g. Woodland or Grassland plots). Further, the table outputs do not appear to reflect the updated vegetation map (e.g. Guesthouse is stated as 50m from Class A Forest however is located approximately 20m from the Class A Forest Verge shown in Figure 3a).</p>	<p>The BAL contour maps are based upon “at completion” vegetation.</p> <p>Table 2a and 2b says the dimensions are taken from the highest BAL (most influential vegetation determining the highest BAL at the building that can’t be managed by the owner, as that will be retained at completion).</p> <p>Table 2b was provided at the request of DFES to consider forest at the edge of the site, as a most extreme circumstance. Any other vegetation type further than the boundary will not affect the BAL established by the forest and is therefore unnecessary to plot. Any vegetation that the applicant can managed need not be plot for completion, only the required APZ, as shown in Figure 3b.</p> <p>Figure 3b (post development) also assumed at completion that forest was at the edge of the site, excluding roadside verge management. It illustrates the dimensions to the most influential vegetation, that which will affect the BAL at the buildings and camp site.</p> <p>The roadside vegetation has been identified to be managed at completion by the owner, in accordance with the Shire Policy <i>1.10 TS 1.17 Road Verge Treatment</i>, to reduce the BAL at the guesthouse.</p> <p>No change to the BMP is required.</p>
DFES Bushfire Technical Services team has reviewed the submitted Method 2 calculations and validated their outputs.	Noted.
Buildings functioning as onsite shelters have a number of other factors to consider in terms of their location, proximity to combustible materials, proximity to tall trees etc that have not been considered in the BMP, as prescribed in the Australian Building Codes Board (ABCB) standards. The building is also multi-use which would mean there will be furniture covering a large area	<p>The Shelter will be constructed in accordance <i>ABCB Design and Construction of Community Bushfire Refuges Handbook (2014)</i>.</p> <p>The required radiant heat exposure is 10 kWm<sup>2</sup> at an increased flame temperature of 1200 K.</p>

<p>of floor space, the shelter options assume the building is empty and can accommodate all persons onsite within the building with 1.2m<sup>2</sup> per person. Additional concerns are present with the plans detailing a gas stove, which is likely to lead to the storage of gas around the shelter.</p>	<p>It is usual for private shelter to be multi-purpose. The proposed camp kitchen/shelter exceeds the area requirement, and the furniture can be stacked to increase the floor area if necessary, although it may be retained for comfort.</p>
<p>Intent – non-compliant</p> <p>The bushfire hazard remaining within the site should not be considered in isolation of the bushfire hazard adjoining the site. Further, BAL construction standards focus on asset protection and this should not be incorrectly equated with a lower risk to people and the subject site.</p> <p>Ultimately, there is inadequate physical separation from the extreme bushfire prone vegetation within 150 metres of the site boundary to adequately ensure the preservation of life and reduction of impacts of bushfire on property and infrastructure. Studies of past bushfire events demonstrate 85% of fatalities occur within 100 metres of extreme bushfire level vegetation, source: Bianchi, Raphaelle, et al. "Environmental circumstances surrounding bushfire fatalities in Australia 1901–2011." <i>Environmental Science &amp; Policy</i> 37 (2014): 192-203.</p> <p>The DPLH Position Statement (November 2019) - <i>Planning in bushfire prone areas - Demonstrating Element 1: Location and Element 2: Siting and Design</i> states "to demonstrate compliance with acceptable solution A1.1 consideration should be given to the site context, where 'area' is the land within and adjoining the subject site. The hazards remaining within the site should not be considered in isolation of the hazards adjoining the site, as the potential impact of a bushfire will be dependent on the wider risk context, including how a bushfire could affect the site and the conditions for a bushfire to occur within the site".</p> <p>The development has not been designed appropriately to ensure bushfire protection measures can be achieved and to minimise the level of bushfire impact to people that are considered vulnerable. The likelihood of a bushfire, its severity and intensity, and the potential impact on life and property posed by the bushfire hazard at this location represents an extreme bushfire risk that should be adequately reduced.</p>	<p>DFES have repeated this comment notwithstanding it misrepresents the quoted resource.</p> <p>This is an incorrect interpretation of: Bianchi, Raphaelle's work, which provides <b>in quote</b>:</p> <p><i>"A distinctive profile was present for fatalities within structures, where 76% of fatalities have occurred within 10 m of the forest, 88% within 30 m and 95% within 50 m. This suggests that fatalities within structures were strongly associated with high radiant heat and possible flame contact circumstances which possibly contributed to a rapid rate of tenability loss of the structure. Comparing these percentages with the broader dataset of house loss as a function of distance to forest (Newnham et al., 2012) demonstrates that house loss involving fatal exposure were far more dominant in the 0–30 m distance from forest regions. Compared to house losses not involving fatalities, less than 60% of all house losses occurred less than 30 m from the forest."</i> From "Environmental circumstances surrounding bushfire fatalities in Australia 1901–2011." <i>Environmental Science &amp; Policy</i> 37 (2014): 192-203.</p> <p>The DPLH Position Statement (November 2019) - <i>Planning in bushfire prone areas - Demonstrating Element 1: Location and Element 2: Siting and Design</i> is applicable to subdivision applications, and is purposely not applicable to Element 5 which supersedes the operation of the position statement.</p>
<p>A5.7a-c, Pvii &amp; Intent – non-compliant</p> <p>The BAL ratings cannot be validated for the reasons outlined in the above table.</p>	<p>The proposal complies with the Acceptable Solutions A5.7 a-c, and therefore Pvii, does not apply.</p> <p>DFES acknowledge that APZs could be implemented within the site to provide a development area that could achieve BAL-29, which is the requirement for satisfaction of Acceptable Solutions A5.7 a-c.</p>

<p>It is noted that APZs could be implemented within the site to provide a development area that could achieve BAL-29.</p> <p>Notwithstanding, due to the proximity of extreme vegetation in and around the site, it is not considered that habitable buildings have been sited and designed to protect life, prevent the spread of and manage the impacts of fire.</p> <p>It is therefore considered that the proposed development does not demonstrate compliance with the intent of this element.</p> <p>The application of APZs and building construction standards should not be considered in isolation of the remaining bushfire hazard within and adjoining the site.</p> <p>Land is not considered suitable for development where an extreme bushfire hazard <b>will remain on completion</b> and the risk cannot be adequately reduced.</p>	<p>Note the policy which DFES refer provides</p> <p><i>“SPP 6.7...development applications which will result in the introduction or intensification of development or land use in an area that has or will, <b>on completion</b>, have an extreme BHL and/or <b>BAL-40 or BAL-FZ</b> will not be supported..</i></p> <p>Followed by Element 1</p> <p><i>“A1.1 Development location The strategic planning proposal, subdivision and development application is located in an area that is or will, <b>on completion</b>, be subject to either a moderate or low bushfire hazard level, <b>or BAL-29 or below.</b>”</i></p> <p>Figure 3b and Figure 4 illustrate that each building can achieve BAL 29.</p> <p>Clearly the policy is satisfied by development that can achieve (completion) BAL 29.</p> <p>Note: A1.1 does not apply to Element 5.</p>
<p>A5.7d – not demonstrated</p> <p>Due to the level of vegetation proposed to be managed to achieve the above BAL ratings, and the scale of the site, a Landscape Management Plan should be prepared to remove ambiguity for the landowner and to provide a compliance mechanism for the Shire. This should be provided prior to the determination of the application.</p>	<p>As addressed above the Element 2 Schedule 1 standards for Asset Protection Zone (Guidelines v1.4) is a default landscape management plan that is enforceable as part the development authorisation</p>
<p>A5.8 &amp; P5viii - non-compliant</p> <p>Vehicle access to meet Performance Principle P5viii cannot be achieved at this location as evacuation options are limited, traverse extreme bushfire risk areas or are not available, making access and egress options uncertain during a bushfire event. It is considered that concerns associated with vehicular access to this site also conflict with the intent of Element 5.</p> <p>Access in two different directions to two different destinations, in accordance with the acceptable solution, is not available until the intersection of Yourdamung Road and Collie-Williams Road, approximately 7 kilometres from the development site. This exceeds the acceptable maximum length of 200 metres for a dead-end road where it passes through extreme vegetation.</p> <p>The BMP has been updated to provide an onsite shelter built to ABCB standards. The method 2 calculations for the required 10kW/m2 area have been validated as above. However, the BMP states in some sections that</p>	<p>The proposal satisfies A5.8.2(e), P5viii is not relevant, but provision of a shelter following A5.7 is a satisfactory management of the risk.</p> <p><i>“A5.8.2e Where A5.8.2a, A5.8.2b and A5.8.2c (if required), cannot be achieved, and the proposed development has a capacity of up to a maximum of 100 guests and staff at any one time, an on-site shelter is to be provided in accordance with A5.7e, A5.7f and A5.7g Siting and Design.”</i></p> <p><i>“A5.7e Pedestrian paths to any on-site shelter are to be provided on-site and be clearly signposted.</i></p> <p><i>A5.7f Where a building is to function as an on-site shelter, there is to be sufficient separation distance from the predominant bushfire prone vegetation to avoid exposure to a radiant heat flux exceeding 10kW/m2 (with an assumed flame temperature of 1200K); or where an open space area is to function as an onsite shelter, there is to be sufficient separation distance from the bushfire prone vegetation to avoid exposure to a radiant heat flux</i></p>

<p>the site's capacity is limited to 100 people overnight (pages 43 and 50). A5.8.2 states that where an onsite shelter is to be provided, the proposed development may have a capacity of up to 100 guests and staff at any one time. The BMP should be updated to reflect the requirements of the Guidelines and remove any ambiguity.</p> <p>In addition, although Element 5 allows for onsite shelter to be considered in lieu of multiple access routes, DFES generally does not support provision of an onsite shelter as a suitable alternative and advocates for provision of two or more access routes. The intent is to ensure that vehicular access to a development is available and safe during a bushfire event and that the public road system in a bushfire prone area provides access and egress for firefighters and residents during a bushfire emergency. The proposed development is on a lot that is accessed by a road which runs through an extreme hazard that, in the opinion of DFES, cannot be adequately managed and may not be available in the event of a bushfire. In addition, the unsealed road which would be used in the event of evacuation would increase the time for evacuation due to the poor visibility as a result of dust on the road. The issue of the dust would also impact responders attending the site. While it is noted that evacuation is listed as the primary response in the event of a bushfire, it is noted that the evacuation time is calculated at three hours and that the road conditions do not provide for a suitable egress route due to poor visibility, topography and extreme bushfire hazard.</p>	<p><i>exceeding 2kW/m<sup>2</sup> (with an assumed flame temperature of 1200K).</i></p> <p><i>A5.7g Buildings identified as suitable for on-site shelter be designed and constructed in accordance with National Construction Code and the ABCB Community Shelter Handbook."</i></p> <p>The proposed shelter has been designed following <i>National Construction Code and the ABCB Community Shelter Handbook</i> including siting to a radiant heat flux not exceeding 10kW/m<sup>2</sup> at 1200K. The method 2 calculations were validated by DFES.</p> <p>The proposal is compliant with the Acceptable Solution in the Guideline v1.4.</p> <p>Regarding the DFES comment</p> <p>"the BMP states in some sections that the site's capacity is limited to 100 people overnight (pages 43 and 50). A5.8.2 states that where an onsite shelter is to be provided, the proposed development may have a capacity of up to 100 guests and staff at any one time."</p> <p>This provision should be read in context with Day Uses. The facility will be close on Extreme and Catastrophic bushfire rated days. There is no limit on the number of people who can attend a day use if it closes on Extreme and Catastrophic bushfire rated days. The 100 persons is applicable to the accommodation function.</p> <p>The BMP has been amended to further clarify that it applies to the accommodation component.</p> <p>Any expansion of the operation of the site will require a separate development approval. that should be determined by the opportunity provided by the applicable policy at the time of the decision.</p> <p>DFES has acknowledged it does not accept the Acceptable Solution or follow the Guidelines for shelter as an accepted contingency for access.</p>
<p>The BMP states that the applicant seeks to use the onsite dam as a water source for firefighting, however notes that a 100,000L tank will be installed if the use of the dam is not supported.</p> <p>DFES requires that standalone firefighting water tanks are provided to ensure that sufficient water is available in case of emergency. Tanks should be conditioned to meet the requirements of Element 4 Schedule 2, with the implementation table updated to reflect this requirement.</p>	<p>The BMP was amended following meeting with DFES officers to provide the supply of the tank unless DFES support to use the DAM/soak is supported by DFES.</p> <p>The Guidelines v1.4 at E4 Alternative water sources, enables the consideration of dams subject to compliance with DFES Guidelines (water quality).</p> <p>There is no basis for DFES to preclude the applicant from pursuing the opportunity to use an alternative water source.</p>

<p>Given the number of structures and camp sites are known, DFES recommends the BMP is modified to accurately reflect the number of tanks required and is spatially represented, and to ensure any proposed tanks can achieve full compliance with the Guidelines. It is also recommended water tanks for firefighting purposes are located in areas of BAL-29 or below.</p>	
<p>The referral has included a 'Bushfire Emergency Evacuation Document' for the purposes of addressing the policy requirements. Consideration should be given to the Guidelines Section 5.5.2 'Developing a Bushfire Emergency Evacuation Plan'. This contains detail regarding what should be included in an EEP and will ensure the appropriate content is detailed when finalising the EEP to the satisfaction of the Shire.</p>	<p>The BEEP has followed the Guideline v1.4 section 5.5.4 (correct reference).</p>
<p>Policy Measure 6.7 and 6.11 apply to this proposal</p> <p>The proposal will result in the intensification of development in an area with an extreme bushfire risk and should not be supported.</p> <p>There is a potentially serious threat of bushfire to people, property and infrastructure which warrants a conservative approach to decision making.</p> <p>While it is acknowledged that some measures have been incorporated into the proposal to improve the resilience of structures to bushfire, ultimately DFES is not satisfied that these overcome the risks associated with the proposed intensification of use at this site. DFES does not consider that the intent or performance principles of the relevant policy measures can be achieved for the proposed development as the bushfire hazard cannot be reduced to an acceptable level through the implementation of the BMP.</p>	<p>The proposal is compliant with the Acceptable Solutions and the purpose to promote tourism opportunities that may be in isolated areas.</p> <p>The proposal at completion achieves development not exceeding BAL 29 which is the measure of compliance with Policy Measure 6.7 and 6.11.</p> <p>Precautionary Principle does not apply.</p> <p>The proposal has identified the risk and provided risk treatments in accordance with the National standards.</p>

Should you have any queries, please contact me on 0428 066 147, or alternatively by email: [admin@envisionbp.com.au](mailto:admin@envisionbp.com.au)

Yours sincerely



**Anthony Rowe BPAD L3**

**Principal**



Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.5.5**





23 March 2023

Shire of Collie  
87 Throssell Street  
Collie WA 6225

ATTN: Isabel Fry- Town Planner

**Local Emergency Services Advice- Application for Development Approval- 708  
Yourdamung Road, Collie**

Along with the Southwest Regional DFES office I have been requested to make comment surrounding the revision of the Bushfire Management Plan for 708 Yourdamung Road. The DFES District Officer who is responsible for the Collie Shire, and I have passed our comments back to Michael Ball, Senior Land Use Planning Officer for his consideration and inclusion in DFES's assessment.

While I'm not against tourism, diversification of new industries attracting expenditure in the local area or the actual proposal itself, I feel the need to raise some concerns surrounding Local Emergency Management, the Shire's capabilities, and the constraints that first responders would face in the event of an evacuation of the site or a fire threatening the area.

History has shown the Yourdamung location is prevalent for suspiciously lit fires and located well within the eastern parameters of the seasonal lighting belt. Given its isolated location, there is usually a significant lapse in time when initial reports of a fire in the area are received, fires are usually well established and gaining high to extreme intensity and forward rates of spread well in advance of the first responders being deployed. The Shire of Collie has no manned fire stations and rely on volunteers as first response to all incidences, the closest manned station is the Bunbury Fire Station located 75.2km from 708 Yourdamung Road. The response time for the Bunbury Station or in fact any other Local Government brigade outside of the Collie Shire would be well over 1.5 hours away.

The Yourdamung area is located within the response zone of the Williams Road Bushfire Brigade, currently this appliance is housed on private property on Booth Street located 21.1km from 708 Yourdamung Road. Due to the remoteness of the area, lack of a reticulated water supply and the water capacity of the Williams Road appliance, this brigade would need significant support from the other brigades within the Shire and/or out of town, likewise if the Collie Volunteer Fire and Rescue Service were deployed to the area. On average it can take up to 15/20 minutes for volunteers to be on station and to be mobile to an incident from the time a call is received.

The table below shows four of the Shire's six brigades allocated with a heavy appliance (1000L or more) and in order of turnout preference if a call for assistance was made to that area, given the travel distance from each brigade is over 20klms plus turn out times it could be expected that no firefighting appliance would be on scene within 30 to 45 minutes or more.

BRIGADE	KILOMETERS
Williams Road	21.1
Allanson	25.6

Collieburn Cardiff	29.5
Collie Preston	25.6
Collie VFRS	20.3

With all incidences we respond to, the preservation of life is of the highest priority, followed by protection of critical infrastructure and/or other assets. Initially the Yourdamung area would be classed as a rural response zone, or bush fire response requiring the activation and deployment of the Shire managed appliances and The Department of Biodiversity Conservations and Attractions (DBCA) employees, if it was ascertained life or property were under immediate threat or expected to be under imminent threat this would change the first responders tactics and would see the first arriving crews set up for and prepare for Rural Urban Interface (RUI) procedures, meaning if the asset has the potential to be saved, crews would effectively let the fire burn around them and concentrate their efforts on the protection of assets. It is noteworthy to say that all members are trained in RUI strategies only some of the Shire's bushfire brigade members are trained in external structural firefighting, but there is no bushfire brigade member equipped or trained in internal structural firefighting. Many factors are taken into consideration when performing RUI tasks such as access/egress points (ideally more than one escape route), ease of access to firefighting water, surrounding vegetation/fuel loads (if of a significant nature fuel loads would significantly hinder their efforts and the risk to crew safety). If crews are at significant risk or the asset is deemed undefendable they will vacate the area regardless of what is under threat.

Given the response time outlined above my serious concern is if this facility was under direct threat with up to 100 people on site, we currently do not have the immediate capacity to;

- a) Protect all of its assets along with other properties in the area under immediate threat
- b) Facilitate the evacuation of up to 100 people form the site
- c) Protect up to 100 people who may be sheltering on site.

The length of Yourdamung Road presents with heavy fuel loads along the roads verge running the entirety of its length and is landlocked ending at private property creating a dead end with no safe secondary exit route for incoming crews or any safe refuge location, this coupled with the potential of up to 100 people vacating the area in what I would expect to be in an expediated manner, back along the unsealed Yourdamung Road towards Collie-Williams Road with incoming heavy appliances, heavy machinery and machinery floats creating poor to near impossible visibility due to dust, has the extreme risk of serious injury or death of outgoing tourist or incoming crews along with the increased likelihood of a road crash occurring. If that was to occur it would be in the 100<sup>th</sup> percentile of fully blocking the Yourdamung Road for a number of hours preventing access in or out of the area. In my experience there would not be too many people who would opt to shelter on site, for most, if not all people would either attempt to self-evacuate or request assisted evacuation again adding to the complexities of the task at hand and out of the scope of what first responders could provide.

If an onsite shelter was implemented as mentioned in then plan, if any people were to take refuse in there, I fear there will be an unrealistic expectation that first responders will be available and able to respond and protect those that are sheltering, this may not always be the case and needs to be known as it has the potential to put lives at risk. The installation of an onsite shelter should only be used as a last resort. The Shire has direct access to 7 firefighting appliances varying in size and

operational capacity to respond to all incidents along with supporting DBCA and Collie VFRS over an area of over 1,700sq km. The unfortunate fact is there will never be enough resources to defend every property and every asset, even though the protection of life is and always will be the number one priority it can never be assumed there will be an appliance/s deployed or able to be deployed to defend or protect assets especially in the more remote locations. The risk needs to be removed rather than implementing factors to adapt to the risk.

The limited water supply in the area would render the protection of life and property difficult in the initial stages of an evolving incident, first responders would 100% be reliant on the water that the appliances carry with them for any RUI task the dam to the north of the property would be deemed irrelevant for RUI strategies due to its location and access, the dam in the middle of the property may be of some use if it contained sufficient water however would only be able to be used once the initial threat has passed or if crews had sufficient time to set up prior to the fire approaching access and egress to this would have to be investigated but again, in an initial fire defensive attack we would rely initially on the water in the appliances, standalone dedicated firefighting water tanks would need to be provided strategically located on the site.

In addition to the above comments, I have picked up some minor abnormalities in the BMP.

- The Collie Bushfire season is listed as 1 December – 31 May each year. Fires of any size can occur at any time, this should read High Threat Period, noting this period changes annually as in the current case and has now been extended mainly due to a drying trend and changing climates.
- The plan recommends 2-minute intervals between cars leaving the site to ensure visibility is maintained on Yourdamung road, in reality who would enforce this rule, I feel this would not occur if a fire was bearing down on the facility and with incoming crews this procedure would have little to no effect.
- The plan refers to differing numbers of maximum allowable persons on site.
- The plan makes reference to the Collie Recreation Centre for a place of evacuation/relocation. Is this Roche Park ? Roche Park is only one of the designated sites for an evacuation centre, depending on the condition on the day or the location of the fire would determine what centre is used. If the Yourdamung Road area was under direct threat Roche Park may also be under threat or included in the warning area, if this is the case, we cannot send evacuees to an unmanned centre or another location that is in the warning area.
- The proposed shelter is showing a gas operated oven/cooktop installed, this would cause a significant hazard in the event of a fire if the building was impacted.
- The proposed Shelter shows as being a games room, this would prove difficult to maintain the 1.2m<sup>2</sup> required per person in the event it was to be used, or pro-long people in being able to shelter as furniture/fitting would likely have to be removed.

In conclusion, although not totally against the proposal, from a local emergency management perspective the Shire does not currently have the capability to effectively protect the proposed allowable personal or assets at this site given its restricted access, remote location and hazards the area presents. The safety of attending crews and allowability of them effectively conducting their duties is of the highest priority, if it was ascertained that they were to be put at significant risk by the hazards present, no first responders would be deployed to the area. With the information provided within the current BMP, I agree with what has been stated in the report by the Director Land Use Planning dated 17<sup>th</sup> March.





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.6.A**









Department of Planning,  
Lands and Heritage

LOT 134 OFF PLAN 222203

Reserve 34615

Legend

☐ Cadastre



1: 9,028



0.5 0 0.23 0.5 Kilometers

Date produced: 27-Mar-2023

This map is a user generated static output from PlanWA (a public interactive mapping tool provided by the Department of Planning, Lands and Heritage and accessed via [wa.gov.au](http://wa.gov.au)) and is for reference only.  
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Notes







Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 13.6.B**



**SITE 18****ADDRESS**

Reserve 34615, Lot 734, Raymond Street, Collie



<b>OWNERSHIP</b>	Vested in Shire of Collie	<b>TENURE</b>	Vested Reserve for Parking
<b>ZONING</b>	Residential R15	<b>AREA</b>	994 m <sup>2</sup>
<b>OPPORTUNITIES/CONSTRAINTS</b>	Vested Reserve, potential services, requires geotechnical assessment		
<b>ACTIONS REQUIRED</b>	Determine requirement for Parking, check for services, undertake geotechnical assessment, if clear revoke vesting order		
<b>RECOMMENDATION</b>	request Department of Lands freehold title and release to the public		
<b>BENEFIT</b>	Land availability, rates income, reduced maintenance costs		







Shire of  
**Collie**

**11 April 2023**

**ORDINARY COUNCIL MEETING**

**APPENDIX 19.1.A  
MOTIONS CLOSED SINCE  
LAST MEETING**

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9147	14-Mar-23	Corporate Business Plan - 2022/23 - 2026/27	That Council, pursuant to Local Government (Administration) Regulations 1996 r19DA, resolve by Absolute Majority to adopt the Corporate Business Plan 2022/23 – 2026/27 as contained at Appendix 11.1.A.	Closed since last meeting	CEO	Adopted
9146	14-Mar-23	Recommendation - Audit Committee Meeting	That Council receives the 2022 Annual Compliance Audit Return as presented in Appendix 9.1A and authorise the return to be lodged to the Department of Local Government, Sport, and Cultural Industries.	Closed since last meeting	DCS	
9144	14-Mar-23	Recommendation - Community Safety and Wellbeing Meeting	<p>That the following changes be made to the Terms of Reference with modifications identified by deleting text with strikethrough and including underlined text.</p> <p>2. Aims and Objectives</p> <p>2.1 To work in partnership with agencies, community groups and organisations to focus on and promote the wellbeing of our community all within our community.</p> <p>3. Membership</p> <p>3.3 In accordance with the provisions of Section 5.10(1)(a) of the Local Government Act 1995 resolves that the Committee shall have as its members:</p> <ul style="list-style-type: none"> <li>• At least one Councillor</li> <li>• The Director of Corporate Services</li> <li>• The Community Development Officer</li> <li>• Representatives from <ul style="list-style-type: none"> <li>o the WA Police</li> <li>o the Collie PCYC</li> <li>o The Smith Family</li> <li>o Collie SHS</li> <li>o Primary Schools in Collie</li> <li>o Collie Public Schools</li> <li>o Investing In Our Youth</li> <li>o WALGA Roadwise</li> <li>o WA Country Health Service</li> <li>o Justice of the Peace</li> <li>o the Collie Suicide Prevention Network</li> <li>o the Disability Reference Group</li> <li>o NDIS Local area coordination partners</li> <li>o Ngaling Boodja Aboriginal Corporation</li> <li>o the community.</li> </ul> </li> </ul> <p>4. Management/Procedures</p> <p>4.11 Community members wishing to address the Committee may do so in writing by request, providing information and proposals for consideration.</p>	Closed since last meeting	DCS	

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9130	14-Feb-23	2023 Council Elections	<p>That Council by Absolute Majority:</p> <ol style="list-style-type: none"> <li>1. Declare, in accordance with section 4.20(4) of the Local Government Act 1995, the Electoral Commissioner to be responsible for the conduct of the 2023 ordinary elections together with any other elections or polls which may be required; and</li> <li>2. Decide, in accordance with section 4.61(2) of the Local Government Act 1995, that the method of conducting the election will be as a postal election.</li> </ol>	Closed since last meeting	DCS	
9129	14-Feb-23	Financial Management Report	<p>That Council resolve:</p> <ol style="list-style-type: none"> <li>1. to accept the Financial Management Report for December 2022 as presented in Appendix 12.3.A; and</li> <li>2. to approve a 2022-23 budget amendment of \$116,000 for light vehicle purchases with \$68,515 to be funded from plant reserve and \$47,485 from insurance claims; and</li> <li>3. to approve the following 2022-23 budget amendment for the Local Roads and Community Infrastructure Program (LRCI) Phase 3: <ol style="list-style-type: none"> <li>a. withdraw the swinging bridge refurbishment project; and</li> <li>b. nominate the Wallsend Ground power pole network refurbishment at a cost of \$100,000.</li> </ol> </li> </ol>	Closed since last meeting	DCS	
9126	14-Feb-23	Ward and Representation Review	<p>That Council resolve by ABSOLUTE MAJORITY:</p> <ol style="list-style-type: none"> <li>1. pursuant to section 2.18 and clauses 9 and 10 of Schedule 2.2 of the Local Government Act 1995, to request the Local Government Advisory Board to recommend to the Minister for Local Government that a recommendation be made to the Governor of Western Australia to: <ol style="list-style-type: none"> <li>a) reduce the number of offices of councillor from 11 to 9; and</li> <li>b) transition to a reduced number of offices of councillors over two election cycles, namely to 10 in 2023 and to 9 in 2025 respectively;</li> </ol> </li> <li>2. to endorse the Shire of Collie Ward and Representation Review Report and Proposal dated February 2023 as contained at Appendix 11.1.A for submission to the Local Government Advisory Board, thereby giving effect to resolution 1. above.</li> </ol>	Closed since last meeting	CEO	Submission has been lodged with the Department of Local Government, Sport and Cultural Industries. Acknowledgement has subsequently been received from an officer on behalf of the Local Government Advisory Board.
9085	08-Nov-22	Application for Development Approval - Use Not Listed - Battery Energy Storage System (Collie Battery) - Lots 782, 784, 785 and 775 Collie - Williams Road, Palmer	<p>That Council, in relation to an application for development approval for a proposed use Not Listed- Battery Energy Storage System at Lots 782, 784, 785 and 775 Collie-Williams Road, Palmer:</p> <ol style="list-style-type: none"> <li>1. Determine that the proposed use is consistent with the objectives of the Rural zone pursuant to the Shire of Collie's Local Planning Scheme No.6;</li> <li>2. Note the submissions received during the public consultation period; and</li> <li>3. Endorse the Responsible Authority prepared for the Development Assessment Panel, with a recommendation for approval, subject to conditions.</li> </ol>	Closed since last meeting	DDS	Development approval was issued by the Joint Development Assessment Panel on 6 December 2022.

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9079	11-Oct-22	Proposed Exploration Licences- Various Locations	<p>That Council advise the Department of Mines, Industry Regulation and Safety, in relation to the proposed Exploration Licences 70/6292, 70/6265, 70/6296, 70/6297, 70/6298, 12/15, 70/6267 that;</p> <p>1. The Shire objects to all proposed Exploration Licences which include exploration of private landholdings, without the consent of the property owner and affected property owners in the vicinity;</p> <p>2. Licences which include areas containing Registered Aboriginal Heritage Sites should be referred to the Department of Planning, Lands and Heritage Aboriginal Heritage Branch and consultation with Traditional Landowners must be undertaken prior to approval of any licence; and</p> <p>3. The Department of Biodiversity, Conservation and Attractions should be provided the opportunity to comment on proposed exploration in areas of State Forest.</p>	Closed since last meeting	DDS	Resolution actioned.
9077	11-Oct-22	Extended Retail Trading Hours	<p>That Council resolves to:</p> <p>1. make formal application to the Minister for Commerce for variations to the approved retail trading hours in the Shire of Collie for the 2022/23 summer period and in 2023, as set out in Table 2 of the report; and</p> <p>2. note the recommendation of the Collie Chamber of Commerce and Industry for extended trading hours.</p>	Closed since last meeting	DDS	Response received from Hon Roger Cook 24/11/2022 and will be provided to Cllrs

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9072	11-Oct-22	Local Government Reforms – Ward and Representation Review	<p>That Council:</p> <ol style="list-style-type: none"> <li>advise the Department of Local Government, Sport and Cultural Industries that the Shire of Collie intends to undertake a Ward and Representation Review with intentions to:               <ol style="list-style-type: none"> <li>consider a reduced number of offices of councillor from 11 to 9;</li> <li>retain whole of community representation by councillors in lieu of a ward system;</li> <li>transition to a reduced number of offices of councillors over two election cycles; 2023 and 2025 respectively; and</li> <li>finalise a report and proposal to the Local Government Advisory Board before 14 February 2023;</li> </ol> </li> <li>resolve:               <ol style="list-style-type: none"> <li>pursuant to clause 5(a) of Schedule 2.2 of the Local Government Act 1995, to carry out a Ward and Representation Review for the Shire of Collie;</li> <li>to prepare a Discussion Paper addressing Ward and Representation Review for the Shire of Collie; and</li> <li>pursuant to clause 7 of Schedule 2.2 of the Local Government Act 1995, give public notice that a review is to be carried out and that submissions may be made within a period not less than 6 weeks.</li> </ol> </li> <li>resolve that a further report be provided to Council after the public notice period referred to in 2(c) above, for Council to consider:               <ol style="list-style-type: none"> <li>submissions received during the public notice period;</li> <li>endorsement of a report to the Local Government Advisory Board; and</li> <li>a proposal to the Local Government Advisory Board concerning Shire of Collie representation.</li> </ol> </li> </ol>	Closed since last meeting	CEO	The matter is ACTIONED and subject to a further report to Council on 14 February 2023.
9063	13-Sep-22	Recreation Grounds Lighting Towers Donation - Collie Eagles Football Club	That the item be deferred until Council has obtained engineering advice regarding the ability to recertify and feasibility to reuse the poles with or without LED lighting.	Closed since last meeting	DTS	Report to 14 February 2023 OCM





Shire of  
**Collie**

11 April 2023

**ORDINARY COUNCIL MEETING**

**APPENDIX 19.1.B**  
**MOTIONS - OPEN**

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9150	14-Mar-23	Consolidation of R19491 to Rectify Building Encroachment (Cardiff Bushfire Brigade)	<p>That Council resolve to:</p> <ol style="list-style-type: none"> <li>1. Authorise Officers to work with Department of Planning, Lands and Heritage to consolidate the land tenure arrangements associated with Reserve 19491 and facilitate: <ol style="list-style-type: none"> <li>a) Closure of unconstructed road (PIN 11419588) pursuant to section 58 of the Land Administration Act 1997 and Regulation 9 of the Land Administration Regulations 1998 for its amalgamation into the adjoining Reserve 19491 pursuant to section 51 of the Land Administration Act 1997; and</li> <li>b) Cancellation of unmanaged Reserve 19457 (Lots 8-10 on DP 203723) pursuant to section 51 of the Land Administration Act 1997 to facilitate the dedication of a portion as road pursuant to section 56 of the Land Administration Act 1997 and Regulation 8 of the Land Administration Regulations 1998 and a portion being included into Reserve 19491 pursuant to section 51 of the Land Administration Act 1997.</li> </ol> </li> <li>2. Recommend that the purpose of Reserve 19491 be amended to be Recreation - Fire and Emergency Services, Recreation and Ancillary Uses</li> <li>3. Authorise Officers to advertise the proposal for 28 days to service providers and relevant agencies, as well as in the local newspaper and on the Shire website.</li> <li>4. Authorise Officers to undertake or have undertaken, a survey plan and sketch plan detailing the proposal; and</li> <li>5. Indemnify the Minister of Lands against all claims for compensation and costs that may reasonably be incurred as a result of the road dedication process.</li> </ol>	Open	DDS	dial before you dig is underway in preparation to respond back to the DPLH
9141	14-Mar-23	Lease Variation - Collie Cycle Club	<p>That, subject to ministerial consent being provided, Council:</p> <ol style="list-style-type: none"> <li>a) approve a variation of the area leased to the Collie Cycle Club Inc; and</li> <li>b) authorise the President and Chief Executive Officer to sign and affix the Common Seal to the lease variation document between the Shire of Collie and the Collie Cycle Club Inc.</li> </ol>	Open	DCS	Letter sent to Department for Approval
9140	14-Mar-23	Outdoor recreation - Fees and Charges	<ol style="list-style-type: none"> <li>1. That Council adopts by an ABSOLUTE MAJORITY the following fees for the 2022/23 financial year following the statutory advertising period: <ol style="list-style-type: none"> <li>a. Wheels of Wellbeing - \$25 per week per participant</li> <li>b. Hike Ability - \$25 per week per participant</li> </ol> </li> <li>2. That Council approve the following budget amendments for the 2022/23 financial year: <ol style="list-style-type: none"> <li>a. Increase the budget allocation for the Other Recreation and Sport program by \$16,000 to recognise the grants received from the Department of Local Government Sport and Cultural Industries.</li> <li>b. Increase the fees and charges for Other Recreation and Sport by \$2,000 to recognise the participant fees.</li> <li>c. Increase the budget allocation for the Other Recreation and Sport program expenditure by \$18,000 towards the Wheels of Wellbeing and the Hike Ability projects.</li> </ol> </li> </ol>	Open	DCS	Budget amendment noted. Advertising to be undertaken.

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9132	14-Feb-23	Recreation Grounds Lighting Towers Donation	<p>That Council resolve to:</p> <ol style="list-style-type: none"> <li>1. Donate the six (6) lighting poles recently replaced at the Collie Recreation Ground to the Collie Racing Drivers Association Inc on the following conditions:               <ol style="list-style-type: none"> <li>a. The light poles are relocated immediately.</li> <li>b. The installation will be preceded by Development Approval and a Building Permit to cover the works.</li> <li>c. A structural assessment on the pole installation is completed by a suitably qualified, competent, authorised, and licensed person or entity and deemed safe and compliant with all applicable legislation.</li> <li>d. All works will be tested and verified for Electrical Safety by a suitably qualified, competent, authorised, and licensed person or entity and a copy of the appropriate documentation provided to the Shire for records.</li> <li>e. Collie Speedway remove all poles and associated equipment and dispose of any unnecessary parts.</li> <li>f. If the Collie Speedway no longer require the poles, Shire staff are authorised to assign salvage rights to the Collie Football Club.</li> </ol> </li> </ol>	Open	DTS	Light poles have been removed from the Recreation Ground.
9131	14-Feb-23	Designated Non-Smoking Areas within the Shire of Collie	<p>That Council resolve to:</p> <ol style="list-style-type: none"> <li>1. Instruct the CEO to prepare a draft proposed Local Law that provides an ability for Council to designate smoke-free areas within the Shire;</li> <li>2. Refer a draft proposed Local Law as referred to in 1. above to Council for consideration under section 3.12 of the Local Government Act 1995;</li> <li>3. Undertake a community consultation workshop regarding smoking in public areas; and</li> <li>4. Seek funding for a community education campaign including signage and other methods to promote smoke-free choices</li> </ol>	Open	DDS	Work has commenced on the draft Local Law and public engagement plan.
9113	13-Dec-22	Designated Non-Smoking Areas within the Shire of Collie	<p>That the CEO investigate options available to Council to designate areas within Collie as smoke free areas and report back to Council accordingly.</p>	Open	DDS	Report at OCM 14/02/2023

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9099	13-Dec-22	Review of refusal decision and revised application for Tourist Development and retrospective approval for various buildings - Lot 2826, No. 708 Yourdamung Road, Palmer	That Council defer the matter to a future Council meeting for staff to work through legislation issues with the proponents and DFES to enable the application to be considered for approval.	Open	DDS	Report at OCM 14/02/2023
9078	11-Oct-22	Collie Town Centre Car Parking Survey	That Council resolves: 1.To receive the results of the Collie town centre car parking survey; 2.To instruct officers to commence work to scope out a Collie town centre car parking strategy and budget, in consultation with the Chamber of Commerce and Industry and local businesses; 3.To instruct officers to address short term parking maintenance (such as re-line marking of car parking bays on Throssell Street) and car parking compliance matters as raised in Appendix 13.6.B; and 4.To instruct officers to liaise with local businesses identified in detailed comments to the survey in respect to the maintenance standard of privately owned car parks.	Open	DDS	DDS has prepared a strategic briefing for discussion with staff. A report will be presented at the April OCM.
9076	11-Oct-22	Request for Support - Collie-Williams Road Upgrade (Road Widening and Closures)	That Council resolves: 1.To close those portions of Collie-Williams Road shown stippled on Main Roads drawings 202002-0212-1, 202002-0214-1, 202002-0215-1 in accordance with section 58 of the Land Administration Act 1997 and for the portions of closed road to be included into State Forest 24; 2.To advertise a notice of motion in relation to 1. above in a newspaper circulating in the district for a period of 35 days; 3.Subject to no objections being lodged in respect to 2. above, request the Department of Planning Land and Heritage on behalf of the Minister for Lands to close the portions of road reserve; 4.Should there be any objections lodged in respect to 2. above, the matter be reported back to Council for consideration; and 5.Advise Main Roads that it supports the dedication of those portions of Collie-Williams Road stippled on Main Roads drawings 202002-0212-1, 202002-0214-1, 202002-0215-1 (shown grey) from State Forest 24.	Open	DDS	Road closures have been advised for public comment until 3 March, after which comments will be sent to Main Roads WA.

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9070	11-Oct-22	Scheme Amendment No. 1 to Local Planning Scheme No. 6	<p>That Council pursuant to the provisions of the Planning and Development Act 2005 and Planning and Development (Local Planning Schemes) Regulations 2015, resolves to:</p> <p>1. In accordance with Section 75 of the Planning and Development Act 2005, initiate omnibus amendment No.1 to the Shire of Collie Local Planning Scheme No. 6 as shown in Appendix 1;</p> <p>2. In accordance with Regulation 35(2) of the Planning and Development (Local Planning Schemes) Regulations 2015, determines that the amendment referred to in resolution 1. above is a standard amendment for the following reasons:</p> <p>a) The proposed amendments to the scheme map, scheme text, development requirements and land use changes are consistent with the objectives of the zones which they relate;</p> <p>b) It is consistent with the intent of the Local Planning Strategy;</p> <p>c) It is considered to have minimal impact on land in the Scheme area that is not the subject of the amendment;</p> <p>d) It does not result in any significant environmental, social, economic or governance impacts on land in the scheme area;</p> <p>e) It is not considered a complex or basic amendment;</p> <p>4. Authorise that the amendment documentation be signed as required by the Shire President and the Chief Executive Officer;</p> <p>5. Refer the amendment to the Environmental Protection Authority for assessment in accordance with the requirements of Section 81 of the Planning and Development Act 2005;</p> <p>6. Subject to the Environmental Protection Authority determining that an environmental review is not required, resolve, to proceed to advertise the amendment for a period of 42 days in accordance with Regulation 47 and Regulation 76A of the Planning and Development (Local Planning Schemes) Regulations 2015.</p>	Open	DDS	Report at OCM 14/02/2023

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
9064	13-Sep-22	Use of Collie Recreation Ground by Collie Little Athletics and Collie Eagles Football Club	<p>1) That Council grants use of Collie Recreation Ground and Velodrome to Collie Little Athletics Club a) from 1 October 2022 to 31 Jan 2023 on the following days and times:</p> <p>Monday from 4:30pm to 6:30pm</p> <p>Wednesday from 4:30pm to 6:30pm</p> <p>Friday from 4:30pm to 7:30pm</p> <p>Further that shire staff to remove the goals prior to the commencement of the Little Athletics season.</p> <p>b) from 1 February 2023 to 12 March 2023 on the following days and times:</p> <p>Monday from 4:30pm to 6:30pm</p> <p>Wednesday from 4:30pm to 6:30pm</p> <p>Saturdays all day</p> <p>The Collie Recreation Ground and Velodrome is to be available to be utilised by other user groups, including the Collie Eagles Football Club, outside of the above times.</p> <p>Collie Eagles Football Club to remove goal posts on Friday nights, commencing the first Friday in February 2023, after training has been completed and to supply contact phone numbers to Little Athletics, in the event that the goals have not been removed, for Little Athletics to be able to contact Collie Eagles Football Club to remove the goal posts.</p> <p>Collie Eagles Football Club to loan protection pads for goalposts for the Little Athletics for the duration of the Little Athletics season.</p> <p>2) Council to meet with both parties in early April 2023 to review the above and determine if any amendments are required.</p> <p>3) Council to work with Little Athletics and relevant agencies to seek grant funding to establish a long term facility to benefit Little Athletics and the wider community.</p>	Open	Council	Ongoing
9061	13-Sep-22	Alternative Site for Coalfields Museum and Historical Research Centre	<p>That Council resolve to:</p> <p>1. endorse the working relationship between the CMHRC and Shire officers to progress the identification of a suitable site for a future museum development in Collie;</p> <p>2. support in principle discussions with affected parties of land between the Collie River Valley Tourist Centre and Collie Roundhouse (Reserve 22218, Lot 561 and 2860; Reserve 47127 Throssell Street) and also Lot 2863 and 2884 Reserve 47288 Forrest Street for a future museum development; and</p> <p>3. considers any final determination on the proposed redevelopment after receiving and considering the outcomes of 1) and 2) above prior to the preparation of business case.</p>	Open	DDS	DDS met with Coalfields Museum executive reps. Officers are working with the National Trust for the masterplan of the roundhouse precinct to incorporate the museum.
8952	08-Feb-22	Disposal of Property to Recover Rates (3 Year Process)	That Council resolve by Absolute Majority to enact Section 6.64 (1) (b) of the Local Government Act 1995 to sell the parcel of land attached to Assessment 37 (23 Clifton Street, COLLIE WA 6225) due to non-payment of rates and services for a period of three years or more.	Open	FM	Pending further legal action



Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
8844	12-Oct-21	Dedication of Road - Unallocated Crown Land - Siding Street, Mungilup	That Council resolve to: 1.consider the proposal to dedicate a parcel of Unallocated Crown Land adjoining Siding Street, Mungilup as road reserve; 2.authorise consultation with the landholders in the area bound by Siding and Concession Streets, Mungilup; and 3.authorise Officers to undertake the survey of the road and to identify encroachments as per the request from Department of Planning, Lands and Heritage.	Open	DDS	Surveying and response to DPLH is underway.
8815	14-Sep-21	Renergi Operational Agreement	That Council resolve to authorise the Chief Executive Officer to: 1. negotiate and enter into an Operational Agreement with Renergi Pty Ltd for the operation of a waste processing facility at the Shire's landfill site, subject to the agreement providing for separate consideration of commercial and other terms as appropriate; and 2. subject to the provision of suitable information by Renergi Pty Ltd, prepare and lodge an application for operational licence amendment to provide for the processing operation proposed by Renergi Pty Ltd.	Open	CEO	Renergi is continuing to develop the terms of the proposal.
8775	13-Jul-21	Buckingham Hall Training Project Proposal	That Council resolve to collaborate with the Heritage Skills Association WA to call for Expressions of Interest for the future use of the site.	Open	DCS	EOI with DCS.
8770	13-Jul-21	Change of purpose and agreement to lease portion of R19242	That Council resolve to: 1.Authorise staff to apply to the Minister for Lands, for a change of purpose of R19242 from 'Recreation' to 'Recreation and Tourism' purposes; and 2.Lease portion of R19242 to Ferguson Gate Pty Ltd subject to the following conditions: a)Approval from the Minister for Lands as referred to in 1.above; b)No objections being received to the lease of the land arising from the public notice requirements of the Local Government Act 1995; and c)All necessary statutory approvals being obtained from the Shire of Collie in relation to use and improvements on the land.	Open	DCS	With DPLH; Refer I-22-16, Case #2101915.
8734	08-Jun-21	Reconsideration of Application for Development Approval for a 'Woodyard' (as amended) at Lot 1, No. 650 Scenic Drive, Collie	That Council refuse to approve the development application for a woodyard (as amended) at Lot 1, No. 650 Scenic Drive, Collie due to: 1 Non compatibility with amenity of the area. 2 Concerns around noise, amenity and emissions. 3 Non compatibility to tourism purposes.	Open	SP	Applicant has submitted revised application, however additional information is still required. SAT direction hearing is set.

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
8717	13-Apr-21	Two Applications for Development Approval	<p>That Council resolve;</p> <p>1. Pursuant to clause 63, Part 8 of Schedule 2 of the Planning and Development (Local Planning Scheme) Regulation 2015, to seek further information in relation to the two applications for Lot 51 Patstone Road, Collie prior to making determinations on the applications;</p> <p>2. In relation to 1. above, to request the applicant to provide the following:</p> <p>a) details of all works and activities undertaken on the site to date and the relationship of such to the conditions of the approval dated 24 October 2019;</p> <p>b) an amended site plan identifying the specific extent of the areas within the 'Depot Zone' to be used for commercial vehicle parking and sea containers; and</p> <p>c) satisfactory measures that can be taken to achieve effective screening of the activities on site;</p> <p>3. To further consider the applications upon receipt of a response from the applicant in respect to 2. above.</p>	Open	DDS	<p>Additional information has been requested. No response from Applicant on intention to progress the application. Details of Crossover construction have been sent to Shire. The applicant has since lodged an application for a Structure Plan over Lot 51 and made a submission to amend Local Planning Scheme No.6 to rezone the property Industrial Development. This is currently being reported to the 4 April OCM</p>
8661	19-Jan-21	Dedication of Land as Road - Bradbury Road, Collie Burn	<p>That Council requests the Department of Planning, Lands and Heritage (on behalf of the minister for Lands) to:</p> <p>1. Dedicate the extension of Bradbury Road shown on MNG drawings 103424-OPM-002-A shown in red, totalling approximately 1.62 hectares subject to final survey pursuant to Section 56 of the Land Administration Act 1997.</p> <p>2. Further, that Council indemnify the Minister for Lands against any costs or claims that may arise as a result of the dedication in accordance with section 54(4) of the Land Administration Act 1997.</p>	Open	SP	<p>Package sent to DBCA to manage excision of road from State Forest.</p>
8655	19-Jan-21	Museum Site	<p>That Council:</p> <p>1) notes the work of the Coalfields Museum and Historical Research Centre Inc (CMHRC) undertaken to date with regard for the planning for a new museum development on Reserve 20038 (Lot 1260) Throssell Street Collie and vested in the Shire as a Museum site with power to lease; and also, investigations into various other sites around town (see attached);</p> <p>2) provides in-principal support to preliminary investigation and due diligence for possible future development at a site in Throssell Street next to the RSL building (R47293); and</p> <p>3) considers any final determination on the proposed redevelopment after receiving and considering the results of the CMHRC's due diligence report.</p>	Open	DDS	<p>Ongoing - Coalfields Museum working with Shire officers to investigate other alternative sites. Council will consider an alternative proposal in due course.</p>

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
8636	15-Dec-20	Black Diamond Lake Feasibility and Master Planning Report	<p>That Council;</p> <ol style="list-style-type: none"> <li>1. Identify the preferred option from the Black Diamond Lake Feasibility Study and Master Planning report as Option 1: Complete ownership and management by the Department of Biodiversity, Conservation and Attractions;</li> <li>2. Advocate for State development of Black Diamond Lake through an Expression of Interest process for a commercial operator to lease and develop a day use area and high-end camping/eco-accommodation options; and</li> <li>3. Request staff to investigate wayfinding options that would encourage visitors to Black Diamond to come into the town of Collie.</li> </ol>	Open	CEO	<p>The DDS/CEO met with the DBCA in August to discuss Black Diamond Lake on 31 August 2022. The Shire continues to encourage the State to accept the recommendations of the Feasibility Study and Master Plan.</p>
8298	22-Oct-19	Recommendations of the Minutes of the Weeds and Waterways Advisory Committee	<p>That Council adopts en bloc the recommendations contained within the minutes of the Weeds and Waterways Advisory Committee held on 10 October 2019.</p> <p>That Council;</p> <ol style="list-style-type: none"> <li>10.4.1.1. supports the formation of a Recognised Biosecurity Group in accordance with the requirements of the Biosecurity and Agriculture Management Act 2007;</li> <li>2. enquire if all surrounding Shires are interested in the establishment of the recognized Biosecurity Group with the Shire of Collie and if they have similar priorities with regards to declared pests;</li> <li>3. advertise for the establishment members of the Recognised Biosecurity Group.</li> <li>4. In conjunction with the Department of Primary Industries and Regional Development, assist the Recognised Biosecurity Group to become incorporated and to form an Objective;</li> <li>5. investigate opportunities for cooperation and an MOU between the Recognised Biosecurity Group and the Shire of Collie; and</li> <li>6. request the Department of Primary Industries and Regional Development provide establishment funding for the Recognised Biosecurity Group.</li> </ol> <p>10.4.2 write to the Weeds and Waterways Advisory Committee members and guests thanking them for attending meetings and their input over the many years.</p>	Open	DDS / DTS	<p>Actions ongoing (10.4.1 2 and 10.4.2 completed) Engaging with adjacent Local Governments.</p> <p>Blackberry control project is funded to around \$1m. This will assist with mapping weed infestations and undertake one year of mitigation control.</p>

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
8271	01-Oct-19	Activities in Thoroughfares and Public Places and Trading Local Law 2019	<p>That Council by ABSOLUTE MAJORITY;</p> <p>1. Under Clause 2.8 add a sub point e) other verge treatments at the discretion of Council;</p> <p>2. Advertis its intention to make a new Activities in Thoroughfares and Public Places and Trading Local Law 2019 as per Appendix 5 and forwards a copy of the proposed Shire of Collie Activities in Thoroughfares and Public Places and Trading Local Law 2019 to the Department of Local Government, Sport and Cultural Industries for the Minister's consideration;</p> <p>3. Notes the purpose of the proposed Shire of Collie Activities in Thoroughfares and Public Places and Trading Local Law 2012 is to provide for the orderly management of the Shire's thoroughfares and public places;</p> <p>4. Notes the effect of the proposed Shire of Collie Activities in Thoroughfares and Public Places and Trading Local Law 2012 is to advise that some activities are prohibited and some activities are permitted only under permit on thoroughfares and public places within the Shire of Collie.</p> <p>That staff conduct a review of local governments that do not currently have an Activities in Thoroughfares and Public Places and Trading Local Law in place with a view to understanding how they manage risks and report back to Council prior to the adoption of this local law.</p>	Open	SP/DDS	<p>Discussion Paper was presented at briefing in September 2021.</p> <p>Officers have consulted with traders and the CCI over the local law review principles and draft Local Law. A further Discussion Paper will be presented to Councillors in November 2022 and a report presented to Council in April 2023.</p>
7830	19-Jun-18	Townscape Advisory Committee	<p>That Council adopts en bloc the recommendations contained within the minutes of the Townscape Advisory Committee held on 5 June 2018.</p> <p>10.2.1 That the Townscape Advisory Committee respond to the Miners Welfare Board confirming that the wording for the Patterson Road sign will include the entire history from the commencement of Coalfields to present time.</p> <p>10.2.2 That staff research a suitable lighting and sound company for a draft proposal to projecting lighting onto buildings surrounding the overhead bridge.</p>	Open	DTS	<p>10.2.1 Signage proofs with local supplier however 20/21 budget is not available for cost of \$2K</p> <p>10.2.2 Quote received in Oct 2018 - nil progress due to budget constraints DTS to confirm what has been actioned and what needs to be recosted.</p>

Resolution No.	Resolution Date	Title	Motion	Status	Action By	Comment
7809	28-May-18	Bush Fire Advisory Committee	<p>That Council adopts en bloc the recommendations contained within the minutes of the Bush Fires Advisory Committee held on 17 May 2018.</p> <p>That Council:</p> <p>10.5.1.1. Accept the tender from Bio Growth Partners PTY LTD previously called for mechanical fuel reduction on reserve 36801 on a cost neutral basis; and</p> <p>2. That Shire officers further investigate Shire reserves that require fuel reduction and risk mitigation for the mechanical fuel reduction process and provide a report to Council on reserves upon finalisation of the investigations.</p> <p>10.5.4 That Council write to the Ministers for Fire and Emergency Services and Volunteers and the Association of Volunteer Bush Fire Brigades President, highlighting the issue of volunteer fire fighters not being eligible for Income Protection Insurance by insurance companies across Australia and outline the risk to their families and income if they were to be injured or become sick from any source other than fire fighting duties.</p> <p>10.5.5 That Council Purchase Dress Shirts for Brigade Officers to raise the professionalism of brigades and enhance the public image of the volunteers. The Dress shirt would be the D1374-YB-VBFB Shirt available from Stewart and Heaton as the standard Bush Fire Brigade Shirt for Dress requirements, modified to show Shire of Collie logos and positions.</p>	Open	DDS	<p>10.5.2 ongoing, work completed.</p> <p>10.5.1, 10.5.4 and 10.5.5 completed. Mechanical thinning.</p> <p>Report awaiting the release of the report via the National Bushfire Mitigation Program</p>
6990	08-Mar-16	Adoption of the Recommendations of the Weeds and Waterways Advisory Committee	<p>That Council adopts en bloc the recommendations contained within the minutes of the Weeds and Waterways Advisory Committee meeting held on 11 February 2016:</p> <p>11.2.1 That Council endorses the Committee's Recommendation to:</p> <p>1. Request that the Public Transport Authority agrees to revoke management orders for Reserve 9012 and portion of Reserve 10519</p> <p>2. Once the Public Transport Authority agrees to revoke its management order in Reserve 9012 and excise portion of Reserve 10519, requests that the Department of Lands:</p> <p>1. Vest or designate Reserve 9012 as 'Water' given that it forms part of the Collie River waterway, or modify the Management Order of Reserve 9012 to vest the land with the Shire of Collie</p> <p>2. Excise portion of Reserve 10519 as identified on the attached plan and amalgamate this with Reserve 47298, or create a separate Reserve for Drainage vested in the Shire of Collie</p> <p>11.2.2 That Council endorse the Committee's Recommendation to collect Long Term Plans and Allocation Plan information for the river from various organisations and present to the Committee</p>	Open	DDS	<p>A final agreement is close to being (finalised). DDS met with the Department of Lands on 20 December 2022.</p>